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**APPENDIX E**

**ADDITIONAL SOURCES**

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## **Appendix E Contents:**

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# KBAB Beale Air Force Base

Marysville, California, USA



**GOING TO MARYSVILLE?**

**WESTIN**  
HOTELS & RESORTS

[Reserve a Hotel Room](#)

## FAA INFORMATION EFFECTIVE 08 SEPTEMBER 2022

### Location

FAA Identifier: BAB

Lat/Long: 39-08-09.9639N 121-26-11.7061W

39-08.166065N 121-26.195102W

39.1361011,-121.4365850

(estimated)

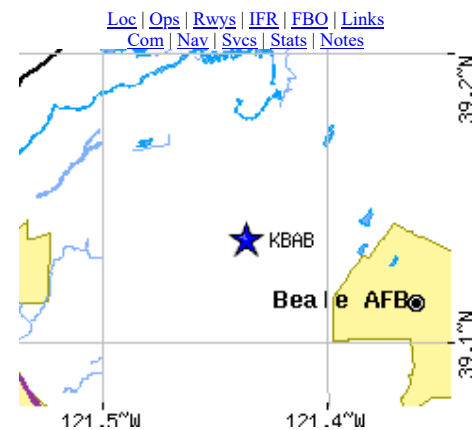
Elevation: 112.7 ft. / 34.4 m (surveyed)

Variation: 16E (1985)

From city: 6 miles E of MARYSVILLE, CA

Time zone: UTC -7 (UTC -8 during Standard Time)

Zip code: 95903



Road maps at: [MapQuest](#) [Bing](#) [Google](#)

### Airport Operations

Airport use: Private use. Permission required prior to landing

Activation date: 01/1960

Control tower: yes

ARTCC: OAKLAND CENTER

FSS: RANCHO MURIETA FLIGHT SERVICE STATION

NOTAMs facility: BAB (NOTAM-D service available)

Attendance: ALL

OPR H24 FR 1400Z++ MON THRU 0600Z++ SAT,  
AND/OR BY NOTAM; CLSD WKEND AND HOL.

Pattern altitude: TFC PAT: RECTANGULAR PAT 1100 FT; OVHD PAT  
2100 FT. FTR TYPE ACFT FLY RP RWY 15.

Wind indicator: yes

Segmented circle: no

Lights: SS-SR

Beacon: white-white-green (lighted military airport)

Operates sunset to sunrise.

International operations: international airport of entry

US CUSTOMS USER FEE ARPT.

### Aerial photo

WARNING: Photo may not be current or correct



Photo by Chris Leipelt  
Photo taken 12-Feb-2017  
looking southeast.

Do you have a better or more recent aerial photo of Beale Air Force Base that you would like to share? If so, please [send us your photo](#).

### Sectional chart

### Airport Communications

ATIS: 124.55 273.5 ;OPR DUR WG OPR  
 BEALE GROUND: 121.6 257.75 [OPR H24 FR 1400Z++ MON  
 THRU 0600Z++ SAT, AND/OR BY  
 NOTAM; CLSD WKEND AND HOL.]  
 BEALE TOWER: 119.4 284.75 [OPR H24 FR 1400Z++ MON  
 THRU 0600Z++ SAT, AND/OR BY  
 NOTAM; CLSD WKEND AND HOL.]

NORCAL APPROACH: 125.4  
 NORCAL DEPARTURE: 125.4  
 CLASS C: 125.4  
 COMD POST: 311.0 ;WING CMD POST 321.0 ;WING  
 CMD POST  
 EMERG: 121.5 243.0  
 PTD: 141.1 372.2  
 SOF: 139.6 240.225

WX ASOS at MYV (7 nm W): 118.475 (530-742-0695)  
 WX AWOS-3 at LHM (14 nm S): 124.25 (916-645-0698)  
 WX AWOS-3 at AUN (20 nm SE): 119.375 (530-888-8934)

- WING COMD POST - 321.0 311.0 (321.0 INBD ACFT CTC COMD POST 35 MIN PRIOR ETA WITH INTENTIONS.)
- PTD-141.1 FOR USE ONLY WITHIN 16.2 NM, 15,000 FT OR BLW.
- RADAR - PAR - NO NOTAM MP: 1500-1730Z++ MON-FRI.

**Nearby radio navigation aids**

VOR radial/distance	VOR name	Freq	Var
<a href="#">MYV</a> r055/6.7	MARYSVILLE VOR/DME	110.80	16E
<a href="#">ILA</a> r064/27.8	WILLIAMS VORTAC	114.40	18E
<a href="#">MCC</a> r340/28.2	MC CLELLAN VOR/DME	109.20	17E

**Airport Services**

Parking: hangars  
 Airframe service: MINOR  
 Powerplant service: MINOR  
 Bottled oxygen: LOW  
 Bulk oxygen: LOW

**Runway Information**

**Runway 15/33**

Dimensions: 12001 x 300 ft. / 3658 x 91 m  
 RWY 300 FT WIDE MARKED AT 200 FT; FULL  
 300 FT WIDTH USBL.

Surface: concrete/grooved  
 Weight bearing capacity: PCN 84 /R/B/W/T  
 Runway edge lights: high intensity

**RUNWAY 15**  
 Latitude: 39-09.102640N  
 Longitude: 121-26.600955W  
 Elevation: 112.7 ft.  
 Traffic pattern: left  
 Runway heading: 146 magnetic, 162 true  
 Markings: precision, in good

**RUNWAY 33**  
 39-07.229488N  
 121-25.789250W  
 105.0 ft.  
 left  
 326 magnetic, 342 true  
 precision, in good



**Airport diagram**



[Download PDF](#)  
 of official airport diagram from the FAA

**Airport distance calculator**

Flying to Beale Air Force Base? Find the distance to fly.

From  to KBAB

[CALCULATE DISTANCE](#)

**Sunrise and sunset**

Times for 04-Oct-2022

	Local (UTC-7)	Zulu (UTC)
Morning civil twilight	06:39	13:39
Sunrise	07:06	14:06
Sunset	18:43	01:43
Evening civil twilight	19:10	02:10

**Current date and time**

Zulu (UTC) 04-Oct-2022 20:19:59  
 Local (UTC-7) 04-Oct-2022 13:19:59

	condition	condition
Visual slope indicator:	4-light PAPI on left (2.75 degrees glide path)	4-light PAPI on left (3.00 degrees glide path)
RVR equipment:	touchdown	touchdown
Approach lights:	ALSFL: standard 2,400 foot high intensity approach lighting system with centerline sequenced flashers (category I)	ALSFL: standard 2,400 foot high intensity approach lighting system with centerline sequenced flashers (category I)
Runway end identifier lights:	no	no
Touchdown point:	yes, no lights	yes, no lights
Instrument approach:	LOC/GS	LOC/GS

**METAR**

**KBAB** 041955Z AUTO 26005KT 10SM CLR 27/12 A2997 RMK AO2 SLP151 T02700122 \$

**KMYV** 041953Z AUTO VRB04KT 10SM CLR 6nm W 28/12 A2999 RMK AO2 SLP157 T02830122

**KLHM** 041955Z AUTO 00000KT 10SM CLR 14nm S 27/11 A2998 RMK AO1

**KAUN** 041955Z AUTO 26008KT 9SM CLR 20nm SE 27/11 A3004 RMK AO1

**TAF**

**KBAB** **041058Z** 0411/0517 VRB06KT 9999 SKC QNH2994INS BECMG 0416/0417 21006KT 9999 SKC QNH2990INS WND VRB06KT AFT 0503 TX30/0423Z TN12/0414Z

**NOTAMS**

[Click for the latest NOTAMs](#)  
NOTAMs are issued by the DoD/FAA and will open in a separate window not controlled by AirNav.

**Airport Ownership and Management from official FAA records**

Ownership: U.S. Air Force  
Owner: USAF  
BEALE AFB  
MARYSVILLE, CA 95903  
Manager: BASE OPERATIONS (USAF)  
9TH CBAT SUP GP(SAC)BEALE AFB  
MARYSVILLE, CA 95903  
Phone 530-634-4823

**Airport Operational Statistics**

Aircraft based on the field: 4  
Military aircraft: 4

**Additional Remarks**

- BEARING STRENGTH RWY 15/33: S160 T300 ST175 ST175 SBTT620 TT490 TDT840.
- CSTMS/AG/IMG: 24 HR PN RQR FOR CSTMS AND AG.
- MISC: TRAN ACFT EXP PROGRESSIVE TAXI. NO COMSEC MATERIAL AVBL. TRAN AIRCREW SHOULD PLAN TO ARR WITH APPROPRIATE COMSEC TO COMPLETE ENTIRE MSN. RWY 15-33 GROOVED. CLASS C AIRSPACE CONT.
- RWY LGTS: RY 15, SF.
- CAUTION: BEALE AFB IS LCTD ON A MAJ MIGRATORY BIRD FLYWAY.
- BEARING STRENGTH RWY 15/33: S81, T122, ST175, SBTT590, TT490, TDT840.
- PMSV METRO: WX OBSN AVBL H24 VIA AUTO OBSN SYS; WX SVC AVBL 1 HR PRIOR TO AFLD OPR HRS AND DUR FCST SEVERE WX DSN 368-9134, C530-634-9134. DUR WX FLT CLOSURES REMOTE BRIEFING SVC AVBL FROM 25 OP WX SQ DSN 228-6598/6599/6588.
- JASU: (AM32A-60A) (A/M32A-86) 7(MC-1A) (MC-2A).
- PMSV METRO: WHEN AUTO OBSN SYS INOP, OBST FR 325-060 DEG, 080-220 DEG, AND 245-280 DEG MAY IMPACT PREVAILING VIS.
- CAUTION: USE EXTREME CAUTION FOR UNMANNED ACFT ACT IN VCNTY OF BEALE AFB.
- CSTMS/AG/IMG: LTD CSTMS/AG AVBL TO MIL ACFT ONLY, 24 HR PN RQR. CTC AFLD MGT AT C530-634-2002 OR DSN 368-2002.
- ATIS: OPR WHEN AERODROME IS OPEN.
- FOR CD WHEN ATCT IS CLSD CTC NORCAL APCH AT 916-361-6874
- MISC: NO SPACE-A PAX SUPPORT AVBL ON WKENDS, HOL, AND ACC FAMILY DAYS.
- RSTD: VIP PRKG RSTD TO ACFT WITH WINGSPAN 95 FT OR LESS. LRGR DV ACFT WILL PARK ON CARGO SPOTS.

- MISC: WX SVC AVBL H24. CURRENT WX OBSN AVBL VIA ATIS OR CTC ATC.
- FUEL: J8.
- SVC TRAN ALERT: LAV CART AVBL FOR TSNT ACFT WITH PRIOR CDN. AIRCREW WILL HAVE TO PERFORM THEIR OWN LAV SVC AND CLEANUP.
- SVC TRAN ALERT: NO POTABLE WATER OR ICE SVC.
- AFRC: 940TH COMD POST, DSN 368-1960, C530-634-1960.
- MISC: FOR SUPPORT OUTSIDE OF AIRFIELD OPR HRS (I.E., WKENDS, WING DOWN DAYS AND HOL) CTC BEALE 9RW COMMAND POST, DSN 368-5700, C530-634-5700.
- FLUID: W SP LPOX LOX.
- RWYLGTS: RY 33, SF.
- OIL: O-128-133-148.
- TRAN ALERT :SVC AVBL 1500-0000Z++ MON-FRI EXC FEDERAL HOL. ACFT THAT ARR AFTER 2300Z++ WILL NOT BE SVC TIL NEXT DUTY DAY. FLEET SVC AVBL, 24 HR PN RQR.
- RSTD: PPR 24 HR PN, CTC BASE OPS DSN 368-2002/9120, C530-634-2002/9120. ISSUED PPR VALID 1 HR +/- ETA, EARLY/LATE ARR/DEP MUST RE-COORD.
- RSTD: NO UNANNOUNCED ACFT PRACTICE APCH. INBOUND TSNT ACFT OBTAIN APVL FROM CTL TWR DSN 368-9140 FOR ACFT PRACTICE APCH PRIOR TO FLT. LTD PRKG AVBL.

## Instrument Procedures

NOTE: All procedures below are presented as PDF files. If you need a reader for these files, you should [download](#) the free Adobe Reader.

**NOT FOR NAVIGATION.** Please procure official charts for flight.

FAA instrument procedures published for use from 8 September 2022 at 0901Z to 6 October 2022 at 0900Z.

### IAPs - Instrument Approach Procedures

HI-ILS OR LOC Z RWY 15	<a href="#">download</a> (130KB)
HI-ILS OR LOC Z RWY 33	<a href="#">download</a> (119KB)
ILS OR LOC Y RWY 15	<a href="#">download</a> (98KB)
ILS OR LOC Y RWY 33	<a href="#">download</a> (115KB)
RNAV (GPS) RWY 15	<a href="#">download</a> (127KB)
RNAV (GPS) RWY 33	<a href="#">download</a> (119KB)
HI-TACAN Z RWY 15	<a href="#">download</a> (154KB)
HI-TACAN Z RWY 33	<a href="#">download</a> (114KB)
TACAN Y RWY 15	<a href="#">download</a> (98KB)
TACAN Y RWY 33	<a href="#">download</a> (103KB)

### Departure Procedures

PYNUN SIX	<a href="#">download</a> (90KB)
NOTE: Special Take-Off Minimums/Departure Procedures apply	<a href="#">download</a>

Other nearby airports with instrument procedures:

- [KMYV](#) - Yuba County Airport (7 nm W)
- [KLHM](#) - Lincoln Regional Airport/Karl Harder Field (14 nm S)
- [KAUN](#) - Auburn Municipal Airport (20 nm SE)
- [KGOO](#) - Nevada County Airport (21 nm E)
- [KOVE](#) - Oroville Municipal Airport (23 nm N)

## Would you like to see your business listed on this page?

If your business provides an interesting product or service to pilots, flight crews, aircraft, or users of the Beale Air Force Base, you should consider listing it here. To start the listing process, click on the button below

ADD YOUR BUSINESS OR SERVICE

## Other Pages about Beale Air Force Base

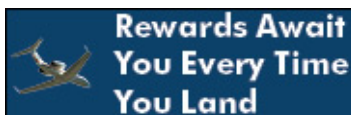
[www.beale.af.mil](http://www.beale.af.mil)

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# KLHM Lincoln Regional Airport/Karl Harder Field

Lincoln, California, USA



GOING TO LINCOLN?

CURIO

A COLLECTION BY HILTON

[Reserve a Hotel Room](#)

## FAA INFORMATION EFFECTIVE 08 SEPTEMBER 2022

### Location

FAA Identifier: LHM

Lat/Long: 38-54-33.0000N 121-21-04.8000W

38-54.550000N 121-21.080000W

38.9091667,-121.3513333

(estimated)

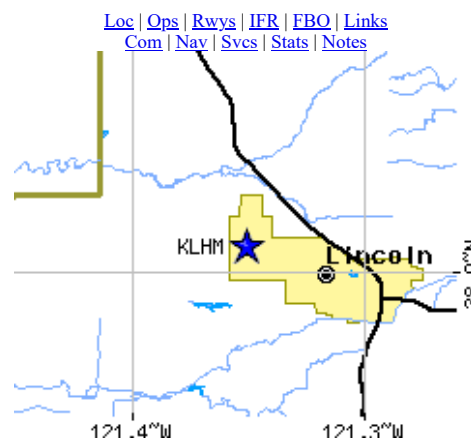
Elevation: 121.4 ft. / 37.0 m (surveyed)

Variation: 14E (2010)

From city: 3 miles W of LINCOLN, CA

Time zone: UTC -7 (UTC -8 during Standard Time)

Zip code: 95648

Road maps at: [MapQuest](#) [Bing](#) [Google](#)

### Airport Operations

Airport use: Open to the public

Activation date: 07/1944

Control tower: no

ARTCC: OAKLAND CENTER

FSS: RANCHO MURIETA FLIGHT SERVICE STATION

NOTAMs facility: RIU (NOTAM-D service available)

Attendance: MON-FRI 0630 - 1500

Wind indicator: lighted

Segmented circle: yes

Lights: ACTVT MALSR RWY 15; MIRL RWY 15/33, HELI  
PERIMETER LGTS - CTAF. PAPI RWYS 15 & 33  
TURNED ON DURING DALGT HRS, AFTER DARK  
ACTVT - CTAF.

Beacon: white-green (lighted land airport)

Operates sunset to sunrise.

### Airport Communications

CTAF/UNICOM: 123.0

WX AWOS-3: 124.25 (916-645-0698)

### Aerial photo

WARNING: Photo may not be current or correct



Photo by Rockne Green  
Photo taken 29-Sep-2009

Do you have a better or more recent aerial photo of Lincoln Regional Airport/Karl Harder Field that you would like to share? If so, please [send us your photo](#).

### Sectional chart

NORCAL APPROACH: 125.4 [1600-0800Z++ MON-FRI, 1800-0200Z++ SAT-SUN]

NORCAL DEPARTURE: 125.4 [1600-0800Z++ MON-FRI, 1800-0200Z++ SAT-SUN]

WX AWOS-3 at AUN (13 nm E): 119.375 (530-888-8934)

WX AWOS-3 at MCC (15 nm S): 125.975 (916-641-1272)

WX ASOS at MYV (15 nm NW): 118.475 (530-742-0695)

WX ASOS at SMF (17 nm SW): PHONE 916-649-3996

### Nearby radio navigation aids

VOR radial/distance	VOR name	Freq	Var
<a href="#">MCC</a> r353/14.7	MC CLELLAN VOR/DME	109.20	17E
<a href="#">MYV</a> r122/15.4	MARYSVILLE VOR/DME	110.80	16E
<a href="#">SAC</a> r002/29.5	SACRAMENTO VORTAC	115.20	17E
<a href="#">HNW</a> r274/30.2	HANGTOWN VOR/DME	115.50	17E
<a href="#">ILA</a> r089/33.0	WILLIAMS VORTAC	114.40	18E

### Airport Services

Fuel available: 100LL JET-A  
 100LL:FOR JET A AND 100LL FUEL TRUCK CTC  
 (916) 257-4854, 0600-1700. SELF SVC FUEL AVBL 24  
 HRS.

Parking: tiedowns  
 Airframe service: MAJOR  
 Powerplant service: MAJOR  
 Bottled oxygen: NONE  
 Bulk oxygen: NONE

### Runway Information

#### Runway 15/33

Dimensions: 6001 x 100 ft. / 1829 x 30 m  
 Surface: asphalt, in good condition  
 Weight bearing capacity: Single wheel: 30.0  
 Double wheel: 60.0  
 Runway edge lights: medium intensity  
**RUNWAY 15**  
 Latitude: 38-55.027855N  
 Longitude: 121-21.240792W  
 Elevation: 119.8 ft.  
 Traffic pattern: left  
 Runway heading: 151 magnetic, 165 true  
 Markings: precision, in good condition

Visual slope indicator: 4-light PAPI on left (3.00 degrees glide path)

#### RUNWAY 33

38-54.071655N  
 121-20.919870W  
 119.7 ft.  
 left  
 331 magnetic, 345 true  
 nonprecision, in good condition  
 4-light PAPI on left (3.00



### Airport distance calculator

Flying to Lincoln Regional Airport/Karl Harder Field? Find the distance to fly.

From  to KLHM

### Sunrise and sunset

Times for 04-Oct-2022

	Local (UTC-7)	Zulu (UTC)
Morning civil twilight	06:39	13:39
Sunrise	07:05	14:05
Sunset	18:43	01:43
Evening civil twilight	19:10	02:10

### Current date and time

Zulu (UTC)	04-Oct-2022 20:21:05
Local (UTC-7)	04-Oct-2022 13:21:05

### METAR

**KLHM** 041955Z AUTO 0000KT 10SM CLR 27/11 A2998 RMK AO1  
**KAUN** 041955Z AUTO 26008KT 9SM CLR 13nm E 27/11 A3004 RMK AO1  
**KBAB** 041955Z AUTO 26005KT 10SM CLR 14nm N 27/12 A2997 RMK AO2 SLP151 T02700122 \$  
**KMCC** 041955Z AUTO 21004KT 10SM 15nm S 26/12 A2998 RMK AO2  
**KMYV** 041953Z AUTO VRB04KT 10SM CLR 15nm NW 28/12 A2999 RMK AO2 SLP157 T02830122  
**KSMF** 041953Z VRB03KT 10SM CLR 17nm SW 27/13 A2998 RMK AO2 SLP151 T02720128

### TAF

**KBAB** 041058Z 0411/0517 VRB06KT 999 SKC QNH2994INS BECMG 0416/0417 21006KT 999 SKC QNH2990INS WND VRB06KT AFT 0503 TX30/0423Z TN12/0414Z  
**KMCC** 041720Z 0418/0518 15006KT P6SM SKC FM041900 VRB04KT P6SM SKC  
**KSMF** 041720Z 0418/0518 16005KT P6SM SKC

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degrees glide path) NOTAMs are issued by the DoD/FAA and will open in a separate window not controlled by AirNav.

Approach lights: MALSR: 1,400 foot medium intensity approach lighting system with runway alignment indicator lights

Runway end identifier lights: no	no
Touchdown point: yes, no lights	yes, no lights
Instrument approach: ILS/DME	
Obstructions: 25 ft. tree, 1000 ft. from runway, 32:1 slope to clear	40 ft. trees, 1600 ft. from runway, 35:1 slope to clear

## Helipad H1

Dimensions: 60 x 60 ft. / 18 x 18 m

Surface: concrete

Runway edge lights: PERI

Latitude: 38-54.208117N

Longitude: 121-20.726117W

Elevation: 118.0 ft.

Traffic pattern: left left

## Airport Ownership and Management from official FAA records

Ownership: Publicly-owned

Owner: CITY OF LINCOLN

600 6TH STREET

LINCOLN, CA 95648

Phone (916) 434-2450

Manager: RICHARD SPINALE

1480 FLIGHTLINE DR.

LINCOLN, CA 95648

Phone 916-645-3443

AIRPORT@CI.LINCOLN.CA.US,

JHANSON@CI.LINCOLN.CA.US

## Airport Operational Statistics

Aircraft based on the field: 62	Aircraft operations: avg 204/day *
Single engine airplanes: 58	50% local general aviation
Multi engine airplanes: 2	46% transient general aviation
Helicopters: 2	4% air taxi

\* for 12-month period ending 31 December 2017

## Additional Remarks

A30A-15 RY 15 CALM WND RY.

- FOR CD CTC NORCAL APCH AT 916-361-6874.

- PWRD PRCHT ACT SW QUAD OF ARPT.

## Instrument Procedures

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 FAA instrument procedures published for use from 8 September 2022 at 0901Z to 6 October 2022 at 0900Z.

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- [KSME](#) - Sacramento International Airport (17 nm SW)

**FBO, Fuel Providers, and Aircraft Ground Support**

Business Name	Contact	Services / Description	Fuel Prices	Comments
<a href="#">Lincoln Regional Airport/Karl Harder Field</a>	916-645-3443 <a href="#">[web site]</a> <a href="#">[email]</a>	Airport management, Aviation fuel, Aircraft parking (ramp or tiedown), Hangar leasing / sales, Passenger terminal and lounge, Flight training, ...	EPIC 100LL Jet A FS \$7.27 \$7.29 SS \$6.97 \$7.24 Updated 27-Sep-2022	not yet rated <a href="#">write</a>
		     <p>More info about Lincoln Regional Airport/Karl Harder Field</p>	FS= <a href="#">Full service</a> SS= <a href="#">Self service</a>	<a href="#">UPDATE PRICES</a>

**Aviation Businesses, Services, and Facilities**

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<a href="#">Lincoln Skyways</a>	916-645-3449 916-730-0788 <a href="#">[web site]</a> <a href="#">[email]</a>	Aircraft ground handling, Oxygen service, Hangar leasing / sales, GPU / Power cart, Flight training, Aircraft rental, Aircraft maintenance, Aircraft modifications, ...	on airport	not yet rated <a href="#">write</a>
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Skyways

no information available

Kracon Aircraft Refinishing

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# **AIR QUALITY AND LAND USE HANDBOOK: A COMMUNITY HEALTH PERSPECTIVE**



**April 2005**

California Environmental Protection Agency  
California Air Resources Board



# Air Agency Contacts

## Federal-

### U.S. EPA, Region 9

Phone: (866)-EPA-WEST  
Website: [www.epa.gov/region09](http://www.epa.gov/region09)  
Email: [r9.info@epa.gov](mailto:r9.info@epa.gov)

## -State-

### California Air Resources Board

Phone: (916) 322-2990 (public info)  
(800) 363-7664 (public info)  
(800) 952-5588 (complaints)  
(866)-397-5462 (env. justice)  
Website: [www.arb.ca.gov](http://www.arb.ca.gov)  
Email: [helpline@arb.ca.gov](mailto:helpline@arb.ca.gov)

## -Local-

### Amador County APCD

Phone: (209) 257-0112  
Website: [www.amadorapcd.org](http://www.amadorapcd.org)  
E-Mail: [jharris@amadorapcd.org](mailto:jharris@amadorapcd.org)

### Antelope Valley AQMD

Phone: (661) 723-8070  
Complaint Line: (888) 732-8070  
Website: [www.avaqmd.ca.gov](http://www.avaqmd.ca.gov)  
E-Mail: [bbanks@avaqmd.ca.gov](mailto:bbanks@avaqmd.ca.gov)

### Bay Area AQMD

Phone: (415) 749-5000  
Complaint Line: (800) 334-6367  
Website: [www.baaqmd.gov](http://www.baaqmd.gov)  
E-Mail: [webmaster@baaqmd.gov](mailto:webmaster@baaqmd.gov)

### Butte County AQMD

Phone: (530) 891-2882  
Website: [www.bcaqmd.org](http://www.bcaqmd.org)  
E-Mail: [air@bcaqmd.org](mailto:air@bcaqmd.org)

### Calaveras County APCD

Phone: (209) 754-6504  
E-Mail: [jgrewal@co.calaveras.ca.us](mailto:jgrewal@co.calaveras.ca.us)

### Colusa County APCD

Phone: (530) 458-0590  
Website: [www.colusanet.com/apcd](http://www.colusanet.com/apcd)  
E-Mail: [ccair@colusanet.com](mailto:ccair@colusanet.com)

### El Dorado County AQMD

Phone: (530) 621-6662  
Website: [www.co.el-dorado.ca.us/emd/apcd](http://www.co.el-dorado.ca.us/emd/apcd)  
E-Mail: [mcctaggart@co.el-dorado.ca.us](mailto:mcctaggart@co.el-dorado.ca.us)

### Feather River AQMD

Phone: (530) 634-7659  
Website: [www.fraqmd.org](http://www.fraqmd.org)  
E-Mail: [fracmd@fracmd.org](mailto:fracmd@fracmd.org)

### Glenn County APCD

Phone: (530) 934-6500  
[http://www.countyofglenn.net/air\\_pollution\\_control](http://www.countyofglenn.net/air_pollution_control)  
E-Mail: [ktokunaga@countyofglenn.net](mailto:ktokunaga@countyofglenn.net)

### Great Basin Unified APCD

Phone: (760) 872-8211  
Website: [www.gbuapcd.org](http://www.gbuapcd.org)  
E-Mail: [gb1@greatbasinapcd.org](mailto:gb1@greatbasinapcd.org)

### Imperial County APCD

Phone: (760) 482-4606  
E-Mail: [reyesromero@imperialcounty.net](mailto:reyesromero@imperialcounty.net)

### Kern County APCD

Phone: (661) 862-5250  
Website: [www.kernair.org](http://www.kernair.org)  
E-Mail: [kcapcd@co.kern.ca.us](mailto:kcapcd@co.kern.ca.us)

### Lake County AQMD

Phone: (707) 263-7000  
Website: [www.lcaqmd.net](http://www.lcaqmd.net)  
E-Mail: [bohr@pacific.net](mailto:bohr@pacific.net)

### Lassen County APCD

Phone: (530) 251-8110  
E-Mail: [lassenag@psln.com](mailto:lassenag@psln.com)

### Mariposa County APCD

Phone: (209) 966-2220  
E-Mail: [air@mariposacounty.org](mailto:air@mariposacounty.org)

### Mendocino County AQMD

Phone: (707) 463-4354  
Website: [www.co.mendocino.ca.us/aqmd](http://www.co.mendocino.ca.us/aqmd)  
E-Mail: [mcaqmd@co.mendocino.ca.us](mailto:mcaqmd@co.mendocino.ca.us)

### Modoc County APCD

Phone: (530) 233-6419  
E-Mail: [modapcd@hdo.net](mailto:modapcd@hdo.net)

### Mojave Desert AQMD

Phone: (760) 245-1661  
(800) 635-4617  
Website: [www.mdagmd.ca.gov](http://www.mdagmd.ca.gov)

### Monterey Bay Unified APCD

Phone: (831) 647-9411  
(800) 253-6028 (Complaints)  
Website: [www.mbuapcd.org](http://www.mbuapcd.org)  
E-Mail: [dquetin@mbuapcd.org](mailto:dquetin@mbuapcd.org)

### North Coast Unified AQMD

Phone: (707) 443-3093  
Website: [www.ncuaqmd.org](http://www.ncuaqmd.org)  
E-Mail: [lawrence@ncuaqmd.org](mailto:lawrence@ncuaqmd.org)

### Northern Sierra AQMD

Phone: (530) 274-9360  
Website: [www.myairdistrict.com](http://www.myairdistrict.com)  
E-Mail: [office@myairdistrict.com](mailto:office@myairdistrict.com)

### Northern Sonoma County APCD

Phone: (707) 433-5911  
E-Mail: [nsc@sonic.net](mailto:nsc@sonic.net)

### Placer County APCD

Phone: (530) 889-7130  
Website: <http://www.placer.ca.gov/airpollution/airpollut.htm>  
E-Mail: [pcapcd@placer.ca.gov](mailto:pcapcd@placer.ca.gov)

### Sacramento Metro AQMD

Phone: (916) 874-4800  
Website: [www.airquality.org](http://www.airquality.org)  
E-Mail: [kshearer@airquality.org](mailto:kshearer@airquality.org)

### San Diego County APCD

Phone: (858) 650-4700  
Website: [www.sdapcd.org](http://www.sdapcd.org)

### San Joaquin Valley APCD

Phone: (559) 230-6000 (General)  
(800) 281-7003  
(San Joaquin, Stanislaus, Merced)  
(800) 870-1037  
(Madera, Fresno, Kings)  
(800) 926-5550  
(Tulare and Valley portion of Kern)  
Website: [www.valleyair.org](http://www.valleyair.org)  
E-Mail: [svapcd@valleyair.org](mailto:svapcd@valleyair.org)

### San Luis Obispo County APCD

Phone: (805) 781-5912  
Website: [www.slocleanair.org](http://www.slocleanair.org)  
E-Mail: [info@slocleanair.org](mailto:info@slocleanair.org)

### Santa Barbara County APCD

Phone (805) 961-8800  
Website: [www.sbcapcd.org](http://www.sbcapcd.org)  
Email us: [apcd@sbcapcd.org](mailto:apcd@sbcapcd.org)

### Shasta County AQMD

Phone: (530) 225-5789  
Website: [www.co.shasta.ca.us/Departments/ResourceMgmt/drm/aqmain.htm](http://www.co.shasta.ca.us/Departments/ResourceMgmt/drm/aqmain.htm)  
E-Mail: [scdrm@snowcrest.net](mailto:scdrm@snowcrest.net)

### Siskiyou County APCD

Phone: (530) 841-4029  
E-Mail: [ebeck@siskiyou.ca.us](mailto:ebeck@siskiyou.ca.us)

### South Coast AQMD

Phone: (909) 396-2000  
Complaint Line: 1-800-CUT-SMOG  
Website: [www.aqmd.gov](http://www.aqmd.gov)  
Email: [bwallerstein@aqmd.gov](mailto:bwallerstein@aqmd.gov)

### Tehama County APCD

Phone: (530) 527-3717  
Website: [www.tehcoapcd.net](http://www.tehcoapcd.net)  
Email: [general@tehcoapcd.net](mailto:general@tehcoapcd.net)

### Tuolumne County APCD

Phone: (209) 533-5693  
E-Mail: [bsandman@co.tuolumne.ca.us](mailto:bsandman@co.tuolumne.ca.us)

### Ventura County APCD

Phone: (805) 645-1400  
Complaint Line: (805) 654-2797  
Website: [www.vcapcd.org](http://www.vcapcd.org)  
E-Mail: [info@vcapcd.org](mailto:info@vcapcd.org)

### Yolo-Solano AQMD

Phone: (530) 757-3650  
Website: [www.ysaqmd.org](http://www.ysaqmd.org)  
Email: [administration@ysaqmd.org](mailto:administration@ysaqmd.org)

## ***To My Local Government Colleagues....***

I am pleased to introduce this informational guide to air quality and land use issues focused on community health. As a former county supervisor, I know from experience the complexity of local land use decisions. There are multiple factors to consider and balance. This document provides important public health information that we hope will be considered along with housing needs, economic development priorities, and other quality of life issues.

An important focus of this document is prevention. We hope the air quality information provided will help inform decision-makers about the benefits of avoiding certain siting situations. The overarching goal is to avoid placing people in harm's way. Recent studies have shown that public exposure to air pollution can be substantially elevated near freeways and certain other facilities. What is encouraging is that the health risk is greatly reduced with distance. For that reason, we have provided some general recommendations aimed at keeping appropriate distances between sources of air pollution and land uses such as residences.

Land use decisions are a local government responsibility. The Air Resources Board's role is advisory and these recommendations do not establish regulatory standards of any kind. However, we hope that the information in this document will be seriously considered by local elected officials and land use agencies. We also hope that this document will promote enhanced communication between land use agencies and local air pollution control agencies. We developed this document in close coordination with the California Air Pollution Control Officers Association with that goal in mind.

I hope you find this document both informative and useful.



Mrs. Barbara Riordian  
Interim Chairman  
California Air Resources Board

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## **Acknowledgments**

The ARB staff would like to acknowledge the exceptional contributions made to this document by members of the ARB Environmental Justice Stakeholders Group. Since 2001, ARB staff has consistently relied on this group to provide critical and constructive input on implementing the specifics of ARB's environmental justice policies and actions. The Stakeholders Group is convened by the ARB, and comprised of representatives from local land use and air agencies, community interest groups, environmental justice organizations, academia, and business. Their assistance and suggestions throughout the development of this Handbook have been invaluable.



## Executive Summary

The Air Resources Board's (ARB) primary goal in developing this document is to provide information that will help keep California's children and other vulnerable populations out of harm's way with respect to nearby sources of air pollution. Recent air pollution studies have shown an association between respiratory and other non-cancer health effects and proximity to high traffic roadways. Other studies have shown that diesel exhaust and other cancer-causing chemicals emitted from cars and trucks are responsible for much of the overall cancer risk from airborne toxics in California. Also, ARB community health risk assessments and regulatory programs have produced important air quality information about certain types of facilities that should be considered when siting new residences, schools, day care centers, playgrounds, and medical facilities (i.e., sensitive land uses). Sensitive land uses deserve special attention because children, pregnant women, the elderly, and those with existing health problems are especially vulnerable to the non-cancer effects of air pollution. There is also substantial evidence that children are more sensitive to cancer-causing chemicals.

Focusing attention on these siting situations is an important preventative action. ARB and local air districts have comprehensive efforts underway to address new and existing air pollution sources under their respective jurisdictions. The issue of siting is a local government function. As more data on the connection between proximity and health risk from air pollution become available, it is essential that air agencies share what we know with land use agencies. We hope this document will serve that purpose.

The first section provides ARB recommendations regarding the siting of new sensitive land uses near freeways, distribution centers, rail yards, ports, refineries, chrome plating facilities, dry cleaners, and gasoline dispensing facilities. This list consists of the air pollution sources that we have evaluated from the standpoint of the proximity issue. It is based on available information and reflects ARB's primary areas of jurisdiction – mobile sources and toxic air contaminants. A key air pollutant common to many of these sources is particulate matter from diesel engines. Diesel particulate matter (diesel PM) is a carcinogen identified by ARB as a toxic air contaminant and contributes to particulate pollution statewide.

Reducing diesel particulate emissions is one of ARB's highest public health priorities and the focus of a comprehensive statewide control program that is reducing diesel PM emissions each year. ARB's long-term goal is to reduce diesel PM emissions 85% by 2020. However, cleaning up diesel engines will take time as new engine standards phase in and programs to accelerate fleet turnover or retrofit existing engines are implemented. Also, these efforts are reducing diesel particulate emissions on a statewide basis, but do not yet capture every site where diesel vehicles and engines may congregate. Because living or going to school too close to such air pollution sources may increase both cancer and non-cancer health risks, we are recommending that proximity be considered in the siting of new sensitive land uses.

There are also other key toxic air contaminants associated with specific types of facilities. Most of these are subject to stringent state and local air district regulations. However, what we know today indicates that keeping new homes and other sensitive land uses from siting too close to such facilities would provide additional health protection. Chrome platers are a prime example of facilities that should not be located near vulnerable communities because of the cancer health risks from exposure to the toxic material used during their operations.

In addition to source specific recommendations, we also encourage land use agencies to use their planning processes to ensure the appropriate separation of industrial facilities and sensitive land uses. While we provide some suggestions, how to best achieve that goal is a local issue. In the development of these guidelines, we received valuable input from local government about the spectrum of issues that must be considered in the land use planning process. This includes addressing housing and transportation needs, the benefits of urban infill, community economic development priorities, and other quality of life issues. All of these factors are important considerations. The recommendations in the Handbook need to be balanced with other State and local policies.

Our purpose with this document is to highlight the potential health impacts associated with proximity to air pollution sources so planners explicitly consider this issue in planning processes. We believe that with careful evaluation, infill development, mixed use, higher density, transit-oriented development, and other concepts that benefit regional air quality can be compatible with protecting the health of individuals at the neighborhood level. One suggestion for achieving this goal is more communication between air agencies and land use planners. Local air districts are an important resource that should be consulted regarding sources of air pollution in their jurisdictions. ARB staff will also continue to provide updated technical information as it becomes available.

Our recommendations are as specific as possible given the nature of the available data. In some cases, like refineries, we suggest that the siting of new sensitive land uses should be avoided immediately downwind. However, we leave definition of the size of this area to local agencies based on facility specific considerations. Also, project design that would reduce air pollution exposure may be part of the picture and we encourage consultation with air agencies on this subject.

In developing the recommendations, our first consideration was the adequacy of the data available for an air pollution source category. Using that data, we assessed whether we could reasonably characterize the relative exposure and health risk from a proximity standpoint. That screening provided the list of air pollution sources that we were able to address with specific recommendations. We also considered the practical implications of making hard and fast recommendations where the potential impact area is large, emissions will be reduced with time, and air agencies are in the process of looking at options for additional emission control. In the end, we tailored our recommendations to minimize the highest exposures for each source category independently. Due to the large variability in relative risk in the source categories, we chose not to apply

a uniform, quantified risk threshold as is typically done in air quality permitting programs. Instead, because these guidelines are not regulatory or binding on local agencies, we took a more qualitative approach in developing the distance-based recommendations.

Where possible, we recommend a minimum separation between a new sensitive land use and known air pollution risks. In other cases, we acknowledge that the existing health risk is too high in a relatively large area, that air agencies are working to reduce that risk, and that in the meantime, we recommend keeping new sensitive land uses out of the highest exposure areas. However, it is critical to note that our implied identification of the high exposure areas for these sources does not mean that the risk in the remaining impact area is insignificant. Rather, we hope this document will bring further attention to the potential health risk throughout the impact area and help garner support for our ongoing efforts to reduce health risk associated with air pollution sources. Areas downwind of major ports, rail yards, and other inter-modal transportation facilities are prime examples.

We developed these recommendations as a means to share important public health information. The underlying data are publicly available and referenced in this document. We also describe our rationale and the factors considered in developing each recommendation, including data limitations and uncertainties. These recommendations are advisory and should not be interpreted as defined “buffer zones.” We recognize the opportunity for more detailed site-specific analyses always exists, and that there is no “one size fits all” solution to land use planning.

As California continues to grow, we collectively have the opportunity to use all the information at hand to avoid siting scenarios that may pose a health risk. As part of ARB’s focus on communities and children’s health, we encourage land use agencies to apply these recommendations and work more closely with air agencies. We also hope that this document will help educate a wider audience about the value of preventative action to reduce environmental exposures to air pollution.



## **1. ARB Recommendations on Siting New Sensitive Land Uses**

Protecting California's communities and our children from the health effects of air pollution is one of the most fundamental goals of state and local air pollution control programs. Our focus on children reflects their special vulnerability to the health impacts of air pollution. Other vulnerable populations include the elderly, pregnant women, and those with serious health problems affected by air pollution. With this document, we hope to more effectively engage local land use agencies as partners in our efforts to reduce health risk from air pollution in all California communities.

Later sections emphasize the need to strengthen the connection between air quality and land use in both planning and permitting processes. Because the siting process for many, but not all air pollution sources involves permitting by local air districts, there is an opportunity for interagency coordination where the proposed location might pose a problem. To enhance the evaluation process from a land use perspective, section 4 includes recommended project related questions to help screen for potential proximity related issues.

Unlike industrial and other stationary sources of air pollution, the siting of new homes or day care centers does not require an air quality permit. Because these situations fall outside the air quality permitting process, it is especially important that land use agencies be aware of potential air pollution impacts.

The following recommendations address the issue of siting "sensitive land uses" near specific sources of air pollution; namely:

- High traffic freeways and roads
- Distribution centers
- Rail yards
- Ports
- Refineries
- Chrome plating facilities
- Dry cleaners
- Large gas dispensing facilities

The recommendations for each category include a summary of key information and guidance on what to avoid from a public health perspective.

*Sensitive individuals refer to those segments of the population most susceptible to poor air quality (i.e., children, the elderly, and those with pre-existing serious health problems affected by air quality). Land uses where sensitive individuals are most likely to spend time include schools and schoolyards, parks and playgrounds, daycare centers, nursing homes, hospitals, and residential communities (sensitive sites or sensitive land uses).*

We are characterizing sensitive land uses as simply as we can by using the example of residences, schools, day care centers, playgrounds, and medical facilities. However, a variety of facilities are encompassed. For example, residences can include houses, apartments, and senior living complexes. Medical facilities can include hospitals, convalescent homes, and health clinics. Playgrounds could be play areas associated with parks or community centers.

In developing these recommendations, ARB first considered the adequacy of the data available for each air pollution source category. We assessed whether we could generally characterize the relative exposure and health risk from a proximity standpoint. The documented non-cancer health risks include triggering of asthma attacks, heart attacks, and increases in daily mortality and hospitalization for heart and respiratory diseases. These health impacts are well documented in epidemiological studies, but less easy to quantify from a particular air pollution source. Therefore, the cancer health impacts are used in this document to provide a picture of relative risk. This screening process provided the list of source categories we were able to address with specific recommendations. In evaluating the available information, we also considered the practical implications of making hard and fast recommendations where the potential impact area is large, emissions will be reduced with time, and air agencies are in the process of looking at options for additional emission control. Due to the large variability in relative risk between the source categories, we chose not to apply a uniform, quantified risk threshold as is typically done in regulatory programs. Therefore, in the end, we tailored our recommendations to minimize the highest exposures for each source category independently. Additionally, because this guidance is not regulatory or binding on local agencies, we took a more qualitative approach to developing distance based recommendations.

Where possible, we recommend a minimum separation between new sensitive land uses and existing sources. However, this is not always possible, particularly where there is an elevated health risk over large geographical areas. Areas downwind of ports and rail yards are prime examples. In such cases, we recommend doing everything possible to avoid locating sensitive receptors within the highest risk zones. Concurrently, air agencies and others will be working to reduce the overall risk through controls and measures within their scope of authority.

The recommendations were developed from the standpoint of siting new sensitive land uses. Project-specific data for new and existing air pollution sources are available as part of the air quality permitting process. Where such information is available, it should be used. Our recommendations are designed to fill a gap where information about existing facilities may not be readily available. These recommendations are only guidelines and are not designed to substitute for more specific information if it exists.

A summary of our recommendations is shown in Table 1-1. The basis and references<sup>1</sup> supporting each of these recommendations, including health studies, air quality modeling and monitoring studies is discussed below beginning with freeways and summarized in Table 1-2. As new information becomes available, it will be included on ARB's community health web page.

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<sup>1</sup>Detailed information on these references are available on ARB's website at: <http://www.ARB.ca.gov/ch/landuse.htm>.

**Table 1-1**

**Recommendations on Siting New Sensitive Land Uses  
Such As Residences, Schools, Daycare Centers, Playgrounds, or Medical  
Facilities\***

<b>Source Category</b>	<b>Advisory Recommendations</b>
Freeways and High-Traffic Roads	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.</li> </ul>
Distribution Centers	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating transport refrigeration units (TRUs) per day, or where TRU unit operations exceed 300 hours per week).</li> <li>• Take into account the configuration of existing distribution centers and avoid locating residences and other new sensitive land uses near entry and exit points.</li> </ul>
Rail Yards	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a major service and maintenance rail yard.</li> <li>• Within one mile of a rail yard, consider possible siting limitations and mitigation approaches.</li> </ul>
Ports	<ul style="list-style-type: none"> <li>• Avoid siting of new sensitive land uses immediately downwind of ports in the most heavily impacted zones. Consult local air districts or the ARB on the status of pending analyses of health risks.</li> </ul>
Refineries	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses immediately downwind of petroleum refineries. Consult with local air districts and other local agencies to determine an appropriate separation.</li> </ul>
Chrome Platers	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 1,000 feet of a chrome plater.</li> </ul>
Dry Cleaners Using Perchloro-ethylene	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 300 feet of any dry cleaning operation. For operations with two or more machines, provide 500 feet. For operations with 3 or more machines, consult with the local air district.</li> <li>• Do not site new sensitive land uses in the same building with perc dry cleaning operations.</li> </ul>
Gasoline Dispensing Facilities	<ul style="list-style-type: none"> <li>• Avoid siting new sensitive land uses within 300 feet of a large gas station (defined as a facility with a throughput of 3.6 million gallons per year or greater). A 50 foot separation is recommended for typical gas dispensing facilities.</li> </ul>

**\*Notes:**

- These recommendations are advisory. Land use agencies have to balance other considerations, including housing and transportation needs, economic development priorities, and other quality of life issues.

- Recommendations are based primarily on data showing that the air pollution exposures addressed here (i.e., localized) can be reduced as much as 80% with the recommended separation.
- The relative risk for these categories varies greatly (see Table 1-2). To determine the actual risk near a particular facility, a site-specific analysis would be required. Risk from diesel PM will decrease over time as cleaner technology phases in.
- These recommendations are designed to fill a gap where information about existing facilities may not be readily available and are not designed to substitute for more specific information if it exists. The recommended distances take into account other factors in addition to available health risk data (see individual category descriptions).
- Site-specific project design improvements may help reduce air pollution exposures and should also be considered when siting new sensitive land uses.
- This table does not imply that mixed residential and commercial development in general is incompatible. Rather it focuses on known problems like dry cleaners using perchloroethylene that can be addressed with reasonable preventative actions.
- A summary of the basis for the distance recommendations can be found in Table 1-2.

**Table 1-2**

**Summary of Basis for Advisory Recommendations**

Source Category	Range of Relative Cancer Risk <sup>1,2</sup>	Summary of Basis for Advisory Recommendations
Freeways and High-Traffic Roads	300 – 1,700	<ul style="list-style-type: none"> <li>In traffic-related studies, the additional non-cancer health risk attributable to proximity was seen within 1,000 feet and was strongest within 300 feet. California freeway studies show about a 70% drop off in particulate pollution levels at 500 feet.</li> </ul>
Distribution Centers <sup>3</sup>	Up to 500	<ul style="list-style-type: none"> <li>Because ARB regulations will restrict truck idling at distribution centers, transport refrigeration unit (TRU) operations are the largest onsite diesel PM emission source followed by truck travel in and out of distribution centers.</li> <li>Based on ARB and South Coast District emissions and modeling analyses, we estimate an 80 percent drop-off in pollutant concentrations at approximately 1,000 feet from a distribution center.</li> </ul>
Rail Yards	Up to 500	<ul style="list-style-type: none"> <li>The air quality modeling conducted for the Roseville Rail Yard Study predicted the highest impact is within 1,000 feet of the Yard, and is associated with service and maintenance activities. The next highest impact is between a half to one mile of the Yard, depending on wind direction and intensity.</li> </ul>
Ports	Studies underway	<ul style="list-style-type: none"> <li>ARB will evaluate the impacts of ports and develop a new comprehensive plan that will describe the steps needed to reduce public health impacts from port and rail activities in California. In the interim, a general advisory is appropriate based on the magnitude of diesel PM emissions associated with ports.</li> </ul>
Refineries	Under 10	<ul style="list-style-type: none"> <li>Risk assessments conducted at California refineries show risks from air toxics to be under 10 chances of cancer per million.<sup>4</sup></li> <li>Distance recommendations were based on the amount and potentially hazardous nature of many of the pollutants released as part of the refinery process, particularly during non-routine emissions releases.</li> </ul>
Chrome Platers	10-100	<ul style="list-style-type: none"> <li>ARB modeling and monitoring studies show localized risk of hexavalent chromium diminishing significantly at 300 feet. There are data limitations in both the modeling and monitoring studies. These include variability of plating activities and uncertainty of emissions such as fugitive dust. Hexavalent chromium is one of the most potent toxic air contaminants. Considering these factors, a distance of 1,000 feet was used as a precautionary measure.</li> </ul>
Dry Cleaners Using Perchloroethylene (perc)	15-150	<ul style="list-style-type: none"> <li>Local air district studies indicate that individual cancer risk can be reduced by as much as 75 percent by establishing a 300 foot separation between a sensitive land use and a one-machine perc dry cleaning operation. For larger operations (2 machines or more), a separation of 500 feet can reduce risk by over 85 percent.</li> </ul>

Source Category	Range of Relative Cancer Risk <sup>1,2</sup>	Summary of Basis for Advisory Recommendations
Gasoline Dispensing Facilities (GDF) <sup>5</sup>	<p>Typical GDF: Less than 10</p> <p>Large GDF: Between Less than 10 and 120</p>	<ul style="list-style-type: none"> <li>Based on the CAPCOA Gasoline Service Station Industry-wide Risk Assessment Guidelines, most typical GDFs (less than 3.6 million gallons per year) have a risk of less than 10 at 50 feet under urban air dispersion conditions. Over the last few years, there has been a growing number of extremely large GDFs with sales over 3.6 and as high as 19 million gallons per year. Under rural air dispersion conditions, these large GDFs can pose a larger risk at a greater distance.</li> </ul>

<sup>1</sup>For cancer health effects, risk is expressed as an estimate of the increased chances of getting cancer due to facility emissions over a 70-year lifetime. This increase in risk is expressed as chances in a million (e.g., 10 chances in a million).

<sup>2</sup>The estimated cancer risks are a function of the proximity to the specific category and were calculated independent of the regional health risk from air pollution. For example, the estimated regional cancer risk from air toxics in the Los Angeles region (South Coast Air Basin) is approximately 1,000 in a million.

<sup>3</sup>Analysis based on refrigerator trucks.

<sup>4</sup>Although risk assessments performed by refineries indicate they represent a low cancer risk, there is limited data on non-cancer effects of pollutants that are emitted from these facilities. Refineries are also a source of non-routine emissions and odors.

<sup>5</sup>A typical GDF in California dispenses under 3.6 million gallons of gasoline per year. The cancer risk for this size facility is likely to be less than 10 in a million at the fence line under urban air dispersion conditions.

A large GDF has fuel throughputs that can range from 3.6 to 19 million gallons of gasoline per year. The upper end of the risk range (i.e., 120 in a million) represents a hypothetical worst case scenario for an extremely large GDF under rural air dispersion conditions.

## **Freeways and High Traffic Roads**

Air pollution studies indicate that living close to high traffic and the associated emissions may lead to adverse health effects beyond those associated with regional air pollution in urban areas. Many of these epidemiological studies have focused on children. A number of studies identify an association between adverse non-cancer health effects and living or attending school near heavily traveled roadways (see findings below). These studies have reported associations between residential proximity to high traffic roadways and a variety of respiratory symptoms, asthma exacerbations, and decreases in lung function in children.

One such study that found an association between traffic and respiratory symptoms in children was conducted in the San Francisco Bay Area. Measurements of traffic-related pollutants showed concentrations within 300 meters (approximately 1,000 feet) downwind of freeways were higher than regional values. Most other studies have assessed exposure based on proximity factors such as distance to freeways or traffic density.

These studies linking traffic emissions with health impacts build on a wealth of data on the adverse health effects of ambient air pollution. The data on the effects of proximity to traffic-related emissions provides additional information that can be used in land use siting and regulatory actions by air agencies. The key observation in these studies is that close proximity increases both exposure and the potential for adverse health effects. Other effects associated with traffic emissions include premature death in elderly individuals with heart disease.

### **Key Health Findings**

- Reduced lung function in children was associated with traffic density, especially trucks, within 1,000 feet and the association was strongest within 300 feet. (Brunekreef, 1997)
- Increased asthma hospitalizations were associated with living within 650 feet of heavy traffic and heavy truck volume. (Lin, 2000)
- Asthma symptoms increased with proximity to roadways and the risk was greatest within 300 feet. (Venn, 2001)
- Asthma and bronchitis symptoms in children were associated with proximity to high traffic in a San Francisco Bay Area community with good overall regional air quality. (Kim, 2004)
- A San Diego study found increased medical visits in children living within 550 feet of heavy traffic. (English, 1999)

In these and other proximity studies, the distance from the roadway and truck traffic densities were key factors affecting the strength of the association with adverse health effects. In the above health studies, the association of traffic-related emissions with adverse health effects was seen within 1,000 feet and was

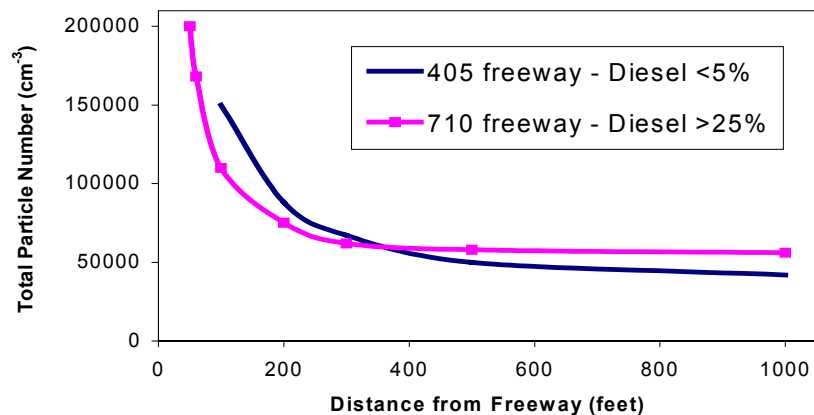
strongest within 300 feet. This demonstrates that the adverse effects diminished with distance.

In addition to the respiratory health effects in children, proximity to freeways increases potential cancer risk and contributes to total particulate matter exposure. There are three carcinogenic toxic air contaminants that constitute the majority of the known health risk from motor vehicle traffic – diesel particulate matter (diesel PM) from trucks, and benzene and 1,3-butadiene from passenger vehicles. On a typical urban freeway (truck traffic of 10,000-20,000/day), diesel PM represents about 70 percent of the potential cancer risk from the vehicle traffic. Diesel particulate emissions are also of special concern because health studies show an association between particulate matter and premature mortality in those with existing cardiovascular disease.

### Distance Related Findings

A southern California study (Zhu, 2002) showed measured concentrations of vehicle-related pollutants, including ultra-fine particles, decreased dramatically within approximately 300 feet of the 710 and 405 freeways. Another study looked at the validity of using distance from a roadway as a measure of exposure

**Figure 1-1  
Decrease In Concentration of Freeway Diesel PM Emissions  
With Distance**



to traffic related air pollution (Knape, 1999). This study showed that concentrations of traffic related pollutants declined with distance from the road, primarily in the first 500 feet.

These findings are consistent with air quality modeling and risk analyses done by ARB staff that show an estimated range of potential cancer risk that decreases with distance from freeways. The estimated risk varies with the local meteorology, including wind pattern. As an example, at 300 feet downwind from a freeway (Interstate 80) with truck traffic of 10,000 trucks per day, the potential cancer risk was as high as 100 in one million (ARB Roseville Rail Yard Study). The cancer health risk at 300 feet on the upwind side of the freeway was much

less. The risk at that distance for other freeways will vary based on local conditions – it may be higher or lower. However, in all these analyses the relative exposure and health risk dropped substantially within the first 300 feet. This phenomenon is illustrated in Figure 1-1.

State law restricts the siting of new schools within 500 feet of a freeway, urban roadways with 100,000 vehicles/day, or rural roadways with 50,000 vehicles with some exceptions.<sup>2</sup> However, no such requirements apply to the siting of residences, day care centers, playgrounds, or medical facilities. The available data show that exposure is greatly reduced at approximately 300 feet. In the traffic-related studies the additional health risk attributable to the proximity effect was strongest within 1,000 feet.

The combination of the children's health studies and the distance related findings suggests that it is important to avoid exposing children to elevated air pollution levels immediately downwind of freeways and high traffic roadways. These studies suggest a substantial benefit to a 500-foot separation.

The impact of traffic emissions is on a gradient that at some point becomes indistinguishable from the regional air pollution problem. As air agencies work to reduce the underlying regional health risk from diesel PM and other pollutants, the impact of proximity will also be reduced. In the meantime, as a preventative measure, we hope to avoid exposing more children and other vulnerable individuals to the highest concentrations of traffic-related emissions.

### Recommendation

- Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 100,000 vehicles/day, or rural roads with 50,000 vehicles/day.

### References

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- Lin, S. et al. "Childhood asthma hospitalization and residential exposure to state route traffic." Environ Res. 2002;88:73-81
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- Kim, J. et al. "Traffic-related air pollution and respiratory health: East Bay Children's Respiratory Health Study." American Journal of Respiratory and Critical Care Medicine 2004; Vol. 170. pp. 520-526

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<sup>2</sup> Section 17213 of the California Education Code and section 21151.8 of the California Public Resources Code. See also Appendix E for a description of special processes that apply to school siting.

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### **Distribution Centers**

Distribution centers or warehouses are facilities that serve as a distribution point for the transfer of goods. Such facilities include cold storage warehouses, goods transfer facilities, and inter-modal facilities such as ports. These operations involve trucks, trailers, shipping containers, and other equipment with diesel engines. A distribution center can be comprised of multiple centers or warehouses within an area. The size can range from several to hundreds of acres, involving a number of different transfer operations and long waiting periods. A distribution center can accommodate hundreds of diesel trucks a day that deliver, load, and/or unload goods up to seven days a week. To the extent that these trucks are transporting perishable goods, they are equipped with diesel-powered transport refrigeration units (TRUs) or TRU generator sets.

The activities associated with delivering, storing, and loading freight produces diesel PM emissions. Although TRUs have relatively small diesel-powered engines, in the normal course of business, their emissions can pose a significant health risk to those nearby. In addition to onsite emissions, truck travel in and out of distribution centers contributes to the local pollution impact.

ARB is working to reduce diesel PM emissions through regulations, financial incentives, and enforcement programs. In 2004, ARB adopted two airborne toxic control measures that will reduce diesel PM emissions associated with distribution centers. The first will limit nonessential (or unnecessary) idling of diesel-fueled commercial vehicles, including those entering from other states or countries. This statewide measure, effective in 2005, prohibits idling of a vehicle more than five minutes at any one location.<sup>3</sup> The elimination of unnecessary idling will reduce the localized impacts caused by diesel PM and other air toxics

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<sup>3</sup> For further information on the Anti-Idling ATCM, please click on:  
<http://www.arb.ca.gov/toxics/idling/outreach/factsheet.pdf>

in diesel vehicle exhaust. This should be a very effective new strategy for reducing diesel PM emissions at distribution centers as well as other locations.

The second measure requires that TRUs operating in California become cleaner over time. The measure establishes in-use performance standards for existing TRU engines that operate in California, including out-of-state TRUs. The requirements are phased-in beginning in 2008, and extend to 2019.<sup>4</sup>

ARB also operates a smoke inspection program for heavy-duty diesel trucks that focuses on reducing truck emissions in California communities. Areas with large numbers of distribution centers are a high priority.

### Key Health Findings

Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

### Distance Related Findings

Although distribution centers are located throughout the state, they are usually clustered near transportation corridors, and are often located in or near population centers. Diesel PM emissions from associated delivery truck traffic and TRUs at these facilities may result in elevated diesel PM concentrations in neighborhoods surrounding those sites. Because ARB regulations will restrict truck idling at distribution centers, the largest continuing onsite diesel PM emission source is the operation of TRUs. Truck travel in and out of distribution centers also contributes to localized exposures, but specific travel patterns and truck volumes would be needed to identify the exact locations of the highest concentrations.

As part of the development of ARB's regulation for TRUs, ARB staff performed air quality modeling to estimate exposure and the associated potential cancer risk of onsite TRUs for a typical distribution center. For an individual person, cancer risk estimates for air pollution are commonly expressed as a probability of developing cancer from a lifetime (i.e., 70 years) of exposure. These risks were calculated independent of regional risk. For example, the estimated regional cancer risk from air toxics in the Los Angeles region (South Coast Air Basin) is approximately 1,000 additional cancer cases per one million population.

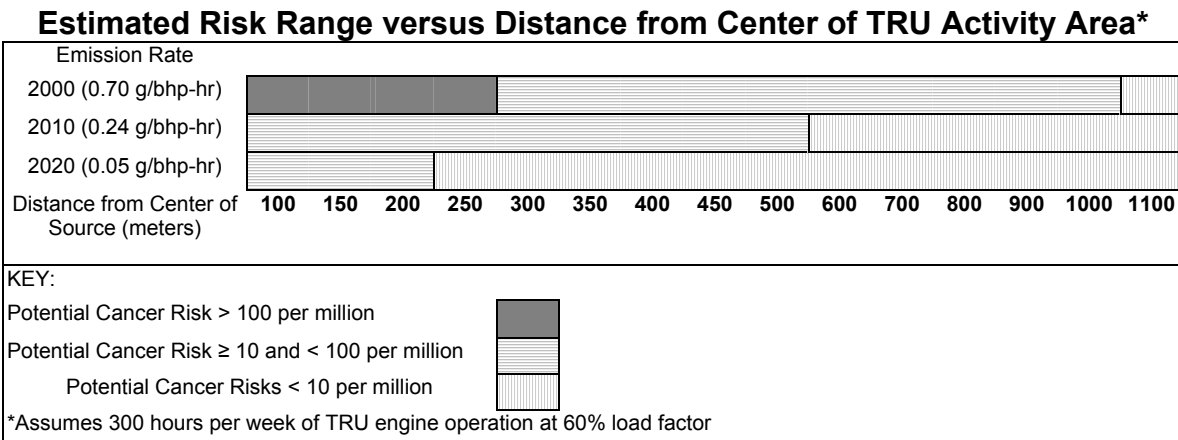
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<sup>4</sup> For further information on the Transport Refrigeration Unit ATCM, please click on: <http://www.arb.ca.gov/diesel/documents/trufa.pdf>

The diesel PM emissions from a facility are dependent on the size (horsepower), age, and number of engines, emission rates, the number of hours the truck engines and/or TRUs operate, distance, and meteorological conditions at the site. This assessment assumes a total on-site operating time for all TRUs of 300 hours per week. This would be the equivalent of 40 TRU-equipped trucks a day, each loading or unloading on-site for one hour, 12 hours a day and seven days a week.

As shown in Figure 1-2 below, at this estimated level of activity and assuming a current fleet diesel PM emission rate, the potential cancer risk would be over 100 in a million at 800 feet from the center of the TRU activity. The estimated potential cancer risk would be in the 10 to 100 per million range between 800 to 3,300 feet and fall off to less than 10 per million at approximately 3,600 feet. However with the implementation of ARB’s regulation on TRUs, the risk will be significantly reduced.<sup>5</sup> We have not conducted a risk assessment for distribution centers based on truck traffic alone, but on an emissions basis, we would expect similar risks for a facility with truck volumes in the range of 100 per day.

**Figure 1-2**

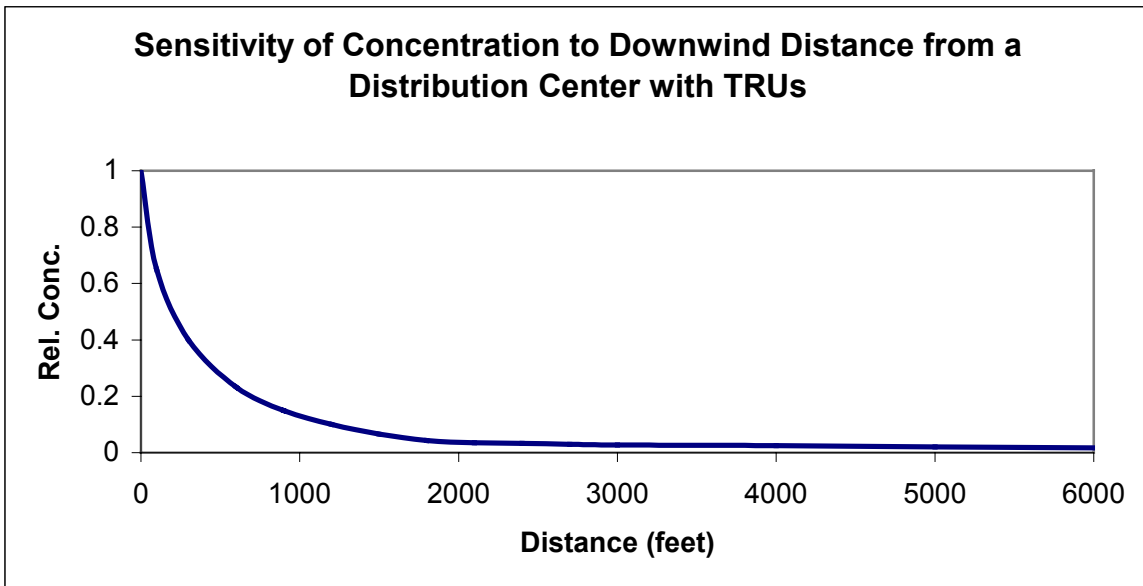


The estimated potential cancer risk level in Figure 1-2 is based on a number of assumptions that may not reflect actual conditions for a specific site. For example, increasing or decreasing the hours of diesel engine operations would change the potential risk levels. Meteorological and other facility specific parameters can also impact the results. Therefore, the results presented here are not directly applicable to any particular facility or operation. Rather, this information is intended to provide an indication as to the potential relative levels of risk that may be observed from operations at distribution centers. As shown in Figure 1-2, the estimated risk levels will decrease over time as lower-emitting diesel engines are used.

<sup>5</sup> These risk values assume an exposure duration of 70 years for a nearby resident and uses the methodology specified in the 2003 OEHHA health risk assessment guidelines.

Another air modeling analysis, performed by the South Coast Air Quality Management District (South Coast AQMD), evaluated the impact of diesel PM emissions from distribution center operations in the community of Mira Loma in southern California. Based on dispersion of diesel PM emissions from a large distribution center, Figure 1-3 shows the relative pollution concentrations at varying distances downwind. As Figure 1-3 shows, there is about an 80 percent drop off in concentration at approximately 1,000 feet.

**Figure 1-3**  
**Decrease In Relative Concentration of Risk**  
**With Distance**



Both the ARB and the South Coast AQMD analyses indicate that providing a separation of 1,000 feet would substantially reduce diesel PM concentrations and public exposure downwind of a distribution center. While these analyses do not provide specific risk estimates for distribution centers, they provide an indication of the range of risk and the benefits of providing a separation. ARB recommends a separation of 1,000 feet based on the combination of risk analysis done for TRUs and the decrease in exposure predicted with the South Coast AQMD modeling. However, ARB staff plans to provide further information on distribution centers as we collect more data and implement the TRU control measure.

Taking into account the configuration of distribution centers can also reduce population exposure and risk. For example, locating new sensitive land uses away from the main entry and exit points helps to reduce cancer risk and other health impacts.

## Recommendations

- Avoid siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day, more than 40 trucks with operating TRUs per day, or where TRU unit operations exceed 300 hours per week).
- Take into account the configuration of existing distribution centers and avoid locating residences and other new sensitive land uses near entry and exit points.

## References

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<http://www.arb.ca.gov/regact/idling/idling.htm>
- *Revised Staff Report: Initial Statement of Reasons for Proposed Rulemaking. Airborne Toxic Control Measure for In-Use Diesel-Fueled Transport Refrigeration Units (TRU) and TRU Generator Sets, and Facilities Where TRUs Operate*. ARB (October 28, 2003).  
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- *Health Risk Assessment Guidance for Analyzing Cancer Risks from Mobile Source Diesel Idling Emissions for CEQA Air Quality Analysis*. SCAQMD (August 2003) [http://www.aqmd.gov/ceqa/handbook/diesel\\_analysis.doc](http://www.aqmd.gov/ceqa/handbook/diesel_analysis.doc)
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## Rail Yards

Rail yards are a major source of diesel particulate air pollution. They are usually located near inter-modal facilities, which attract heavy truck traffic, and are often sited in mixed industrial and residential areas. ARB, working with the Placer County air district and Union Pacific Railroad, recently completed a study<sup>6</sup> of the Roseville Rail Yard (Yard) in northern California that focused on the health risk from diesel particulate. A comprehensive emissions analysis and air quality modeling were conducted to characterize the estimated potential cancer risk associated with the facility.

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<sup>6</sup> To review the study, please click on: <http://www.arb.ca.gov/diesel/documents/rstudy.htm>

The Yard encompasses about 950 acres on a one-quarter mile wide by four-mile long strip of land that parallels Interstate 80. It is surrounded by commercial, industrial, and residential properties. The Yard is one of the largest service and maintenance rail yards in the West with over 30,000 locomotives visiting annually.

Using data provided by Union Pacific Railroad, the ARB determined the number and type of locomotives visiting the Yard annually and what those locomotives were doing - moving, idling, or undergoing maintenance testing. Union Pacific provided the annual, monthly, daily, and hourly locomotive activity in the yard including locomotive movements; routes for arrival, departure, and through trains; and locomotive service and testing. This information was used to estimate the emissions of particulate matter from the locomotives, which was then used to model the potential impacts on the surrounding community.

The key findings of the study are:

- Diesel PM emissions in 2000 from locomotive operations at the Roseville Yard were estimated at about 25 tons per year.
- Of the total diesel PM in the Yard, moving locomotives accounted for about 50 percent, idling locomotives about 45 percent, and locomotive testing about five percent.
- Air quality modeling predicts potential cancer risks greater than 500 in a million (based on 70 years of exposure) in a 10-40 acre area immediately adjacent to the Yard's maintenance operations.
- The risk assessment also showed elevated cancer risk impacting a larger area covering about a 10 by 10 mile area around the Yard.

The elevated concentrations of diesel PM found in the study contribute to an increased risk of cancer and premature death due to cardiovascular disease, and non-cancer health effects such as asthma and other respiratory illnesses. The magnitude of the risk, the general location, and the size of the impacted area depended on the meteorological data used to characterize conditions at the Yard, the dispersion characteristics, and exposure assumptions. In addition to these variables, the nature of locomotive activity will influence a risk characterization at a particular rail yard. For these reasons, the quantified risk estimates in the Roseville Rail Yard Study cannot be directly applied to other rail yards. However, the study does indicate the health risk due to diesel PM from rail yards needs to be addressed. ARB, in conjunction with the U.S. Environmental Protection Agency (U.S. EPA), and local air districts, is working with the rail industry to identify and implement short term, mid-term and long-term mitigation strategies. ARB also intends to conduct a second rail study in southern California to increase its understanding of rail yard operations and the associated public health impacts.

## Key Health Findings

Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

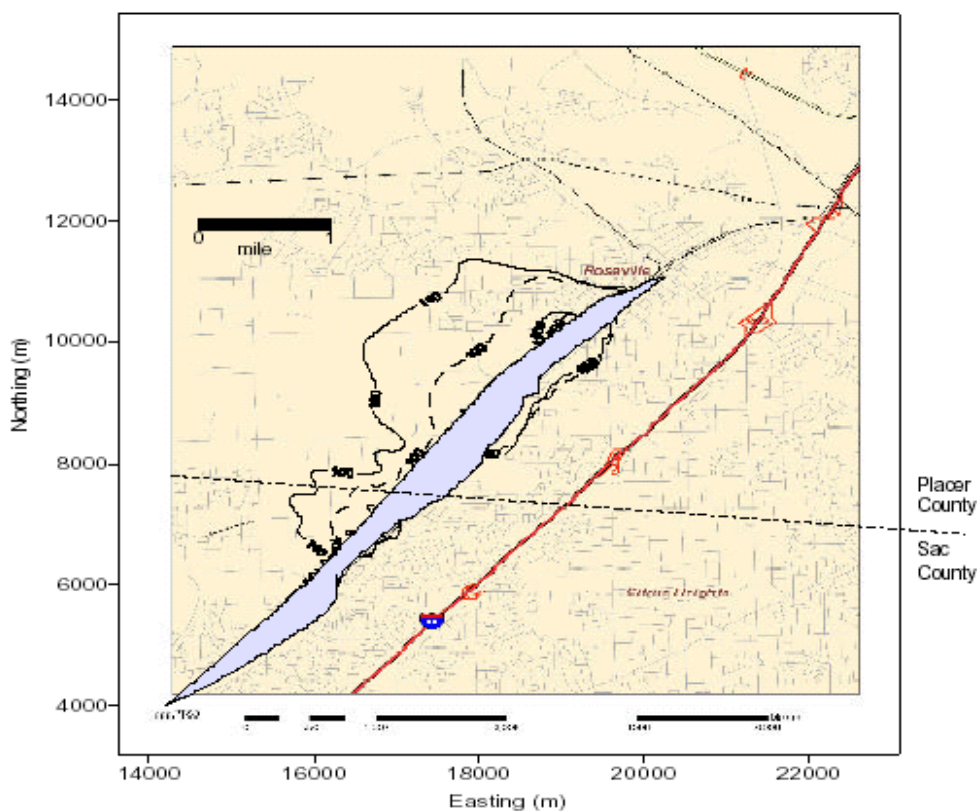
## Distance Related Findings

Two sets of meteorological data were used in the Roseville study because of technical limitations in the data. The size of the impact area was highly dependent on the meteorological data set used. The predicted highest impact area ranged from 10 - 40 acres with the two different meteorological data sets. This area, with risks estimated above 500 in a million, is adjacent to an area that includes a maintenance shop (see Figure 1-4). The high concentration of diesel PM emissions is due to the number of locomotives and nature of activities in this area, particularly idling locomotives.

The area of highest impact is within 1,000 feet of the Yard. The next highest impact zone as defined in the report had a predicted risk between 500 and 100 in one million and extends out between a half to one mile in some spots, depending on which meteorological conditions were assumed. The impact areas are irregular in shape making it difficult to generalize about the impact of distance at a particular location. However, the Roseville Rail Yard Study clearly indicates that the localized health risk is high, the impact area is large, and mitigation of the locomotive diesel PM emissions is needed.

For facilities like rail yards and ports, the potential impact area is so large that the real solution is to substantially reduce facility emissions. However, land use planners can avoid encroaching upon existing rail facilities and those scheduled for expansion. We also recommend that while air agencies tackle this problem, land use planners try not to add new sensitive individuals into the highest exposure areas. Finally, we recommend that land use agencies consider the potential health impacts of rail yards in their planning and permitting processes. Additional limitations and mitigation may be feasible to further reduce exposure on a site-specific basis.

**Figure 1-4**  
**Estimated Cancer Risk from the Yard**  
**(100 and 500 in a million risk isopleths)**



Notes: 100/Million Contours: Solid Line – Roseville Met Data; Dashed Line-McClellan Met Data, Urban Dispersion Coefficients, 80<sup>th</sup> Percentile Breathing Rate, All Locomotives' Activities (23 TPY), 70-Year Exposure

### Recommendation

- Avoid siting new sensitive land uses within 1,000 feet of a major service and maintenance rail yard<sup>7</sup>.
- Within one mile of a rail yard, consider possible siting limitations and mitigation approaches.

### References

- *Roseville Rail Yard Study*. ARB (2004)

<sup>7</sup> The rail yard risk analysis was conducted for the Union Pacific rail yard in Roseville, California. This rail yard is one of the largest in the state. There are other rail yards in California with comparable levels of activity that should be considered "major" for purposes of this Handbook.

## Ports

Air pollution from maritime port activities is a growing concern for regional air quality as well as air quality in nearby communities. The primary air pollutant associated with port operations is directly emitted diesel particulate. Port-related activities also result in emissions that form ozone and secondary particulate in the atmosphere. The emission sources associated with ports include diesel engine-powered ocean-going ships, harbor craft, cargo handling equipment, trucks, and locomotives. The size and concentration of these diesel engines makes ports one of the biggest sources of diesel PM in the state. For that reason, ARB has made it a top priority to reduce diesel PM emissions at the ports, in surrounding communities, and throughout California.

International, national, state, and local government collaboration is critical to reducing port emissions based on both legal and practical considerations. For example, the International Maritime Organization (IMO) and the U.S. EPA establish emission standards for ocean-going vessels and U.S.-flagged harbor craft, respectively. ARB is pursuing further federal actions to tighten these standards. In addition, ARB and local air districts are reducing emissions from ports through a variety of approaches. These include: incentive programs to fund cleaner engines, enhanced enforcement of smoke emissions from ships and trucks, use of dockside electricity instead of diesel engines, cleaner fuels for ships, harbor craft, locomotives, and reduced engine idling. The two ATCMs that limit truck idling and reduce emissions from TRUs (discussed under “Distribution Centers”) also apply to ports.

ARB is also developing several other regulations that will reduce port-related emissions. One rule would require ocean-going ships to use a cleaner marine diesel fuel to power auxiliary engines while in California coastal waters and at dock. Ships that frequently visit California ports would also be required to further reduce their emissions. ARB has adopted a rule that would require harbor craft to use the same cleaner diesel fuel used by on-road trucks in California. In 2005, ARB will consider a rule that would require additional controls for in-use harbor craft, such as the use of add-on emission controls and accelerated turnover of older engines.

## Key Health Findings

Port activities are a major source of diesel PM. Diesel PM has been identified by ARB as a toxic air contaminant and represents 70 percent of the known potential cancer risk from air toxics in California. Diesel PM is an important contributor to particulate matter air pollution. Particulate matter exposure is associated with premature mortality and health effects such as asthma exacerbation and hospitalization due to aggravating heart and lung disease.

## Distance Related Findings

The Ports of Los Angeles and Long Beach provide an example of the emissions impact of port operations. A comprehensive emissions inventory was completed in June 2004. These ports combined are one of the world's largest and busiest seaports. Located in San Pedro Bay, about 20 miles south of downtown Los Angeles, the port complex occupies approximately 16 square miles of land and water. Port activities include five source categories that produce diesel emissions. These are ocean-going vessels, harbor craft, cargo handling equipment, railroad locomotives, and heavy-duty trucks.

The baseline emission inventory provides emission estimates for all major air pollutants. This analysis focuses on diesel PM from in-port activity because these emissions have the most potential health impact on the areas adjacent to the port. Ocean vessels are the largest overall source of diesel PM related to the ports, but these emissions occur primarily outside of the port in coastal waters, making the impact more regional in nature.

The overall in-port emission inventory for diesel particulate for the ports of Los Angeles and Long Beach is estimated to be 550 tons per year. The emissions fall in the following major categories: ocean-going vessels (17%), harbor craft (25%), cargo handling (47%), railroad locomotive (3%), and heavy duty vehicles (8%). In addition to in-port emissions, ship, rail, and trucking activities also contribute to regional emissions and increase emissions in nearby neighborhoods. Off-port emissions associated with related ship, rail, and trucking activities contribute an additional 680 tons per year of diesel particulate at the Port of Los Angeles alone.

To put this in perspective, the diesel PM emissions estimated for the Roseville Yard in ARB's 2004 study are 25 tons per year. The potential cancer risk associated with these emissions is 100 in one million at a distance of one mile, or one half mile, depending on the data set used. This rail yard covers one and a half square miles. The Los Angeles and Long Beach ports have combined diesel PM emissions of 550 tons per year emitted from a facility that covers a much larger area - 16 miles. The ports have about twice the emission density of the rail yard - 34 tons per year per square mile compared to 16 tons per year per square mile. However, while this general comparison is illustrative of the overall size of the complex, a detailed air quality modeling analysis would be needed to assess the potential health impact on specific downwind areas near the ports.

ARB is in the process of evaluating the various port-related emission sources from the standpoint of existing emissions, growth forecasts, new control options, regional air quality impacts, and localized health risk. A number of public processes - both state and local - are underway to address various aspects of these issues. Until more of these analyses are complete, there is little basis for recommending a specific separation between new sensitive land uses and ports.

For example, the type of data we have showing the relationship between air pollutant concentrations and distance from freeways is not yet available.

Also, the complexity of the port facilities makes a site-specific analysis critical. Ports are a concentration of multiple emission sources with differing dispersion and other characteristics. In the case of the Roseville rail yard, we found a high, very localized impact associated with a particular activity, service and maintenance. By contrast, the location, size, and nature of impact areas can be expected to vary substantially for different port activities. For instance, ground level emissions from dockside activities would behave differently from ship stack level emissions.

Nonetheless, on an emissions basis alone, we expect locations downwind of ports to be substantially impacted. For that reason, we recommend that land use agencies track the current assessment efforts, and consider limitations on the siting of new sensitive land uses in areas immediately downwind of ports.

### Recommendations

Avoid siting new sensitive land uses immediately downwind of ports in the most heavily impacted zones. Consult local air districts or the ARB on the status of pending analyses of health risks.

### References

- *Roseville Rail Yard Study*. ARB (2004)
- Final Draft, "*Port-Wide Baseline Air Emissions Inventory*." Port of Los Angeles (June 2004)
- Final Draft, "*2002 Baseline Air Emissions Inventory*." Port of Long Beach (February 2004)

### Petroleum Refineries

A petroleum refinery is a complex facility where crude oil is converted into petroleum products (primarily gasoline, diesel fuel, and jet fuel), which are then transported through a system of pipelines and storage tanks for final distribution by delivery truck to fueling facilities throughout the state. In California, most crude oil is delivered either by ship from Alaska or foreign sources, or is delivered via pipeline from oil production fields within the state. The crude oil then undergoes many complex chemical and physical reactions, which include distillation, catalytic cracking, reforming, and finishing. These refining processes have the potential to emit air contaminants, and are subject to extensive emission controls by district regulations.

As a result of these regulations covering the production, marketing, and use of gasoline and other oil by-products, California has seen significant regional air quality benefits both in terms of cleaner fuels and cleaner operating facilities. In

the 1990s, California refineries underwent significant modifications and modernization to produce cleaner fuels in response to changes in state law. Nevertheless, while residual emissions are small when compared to the total emissions controlled from these major sources, refineries are so large that even small amounts of fugitive, uncontrollable emissions and associated odors from the operations, can be significant. This is particularly the case for communities that may be directly downwind of the refinery. Odors can cause health symptoms such as nausea and headache. Also, because of the size, complexity, and vast numbers of refinery processes onsite, the occasional refinery upset or malfunction can potentially result in acute or short-term health effects to exposed individuals.

### Key Health Findings

Petroleum refineries are large single sources of emissions. For volatile organic compounds (VOCs), eight of the ten largest stationary sources in California are petroleum refineries. For oxides of nitrogen (NO<sub>x</sub>), four of the ten largest stationary sources in California are petroleum refineries. Both of these compounds react in the presence of sunlight to form ozone. Ozone impacts lung function by irritating and damaging the respiratory system. Petroleum refineries are also large stationary sources of both particulate matter under 10 microns in size (PM<sub>10</sub>) and particulate matter under 2.5 microns in size (PM<sub>2.5</sub>). Exposure to particulate matter aggravates a number of respiratory illnesses, including asthma, and is associated with premature mortality in people with existing cardiac and respiratory disease. Both long-term and short-term exposure can have adverse health impacts. Finer particles pose an increased health risk because they can deposit deep in the lung and contain substances that are particularly harmful to human health. NO<sub>x</sub> are also significant contributors to the secondary formation of PM<sub>2.5</sub>.

Petroleum refineries also emit a variety of toxic air pollutants. These air toxics vary by facility and process operation but may include: acetaldehyde, arsenic, antimony, benzene, beryllium, 1,3-butadiene, cadmium compounds, carbonyl sulfide, carbon disulfide, chlorine, dibenzofurans, diesel particulate matter, formaldehyde, hexane, hydrogen chloride, lead compounds, mercury compounds, nickel compounds, phenol, 2,3,7,8 tetrachlorodibenzo-p-dioxin, toluene, and xylenes (mixed) among others. The potential health effects associated with these air toxics can include cancer, respiratory irritation, and damage to the central nervous system, depending on exposure levels.

### Distance Related Findings

Health risk assessments for petroleum refineries have shown risks from toxic air pollutants that have quantifiable health risk values to be around 10 potential cancer cases per million. Routine air monitoring and several air monitoring studies conducted in the San Francisco Bay Area (Crockett) and the South Coast Air Basin (Wilmington) have not identified significant health risks specifically

associated with refineries. However, these studies did not measure diesel PM as no accepted method currently exists, and there are many toxic air pollutants that do not have quantifiable health risk values.

In 2002, ARB published a report on the results of the state and local air district air monitoring done near oil refineries. The purpose of this evaluation was to try to determine how refinery-related emissions might impact nearby communities. This inventory of air monitoring activities included 10 ambient air monitoring stations located near refineries in Crockett and four stations near refineries in Wilmington. These monitoring results did not identify significant increased health risks associated with the petroleum refineries. In 2002-2003, ARB conducted additional monitoring studies in communities downwind of refineries in Crockett and Wilmington. These monitoring results also did not indicate significant increased health risks from the petroleum refineries.

Consequently, there are no air quality modeling or air monitoring data that provides a quantifiable basis for recommending a specific separation between refineries and new sensitive land uses. However, in view of the amount and potentially hazardous nature of many of the pollutants released as part of the refinery process, we believe the siting of new sensitive land uses immediately downwind should be avoided. Land use agencies should consult with the local air district when considering how to define an appropriate separation for refineries within their jurisdiction.

### Recommendations

- Avoid siting new sensitive land uses immediately downwind of petroleum refineries. Consult with local air districts and other local agencies to determine an appropriate separation.

### References

- *Review of Current Ambient Air Monitoring Activities Related to California Bay Area and South Coast Refineries.* ARB (March 2002)  
<http://www.arb.ca.gov/aaqm/qmosqual/special/mldrefinery.pdf>
- *Community Air Quality Monitoring: Special Studies – Crockett.* ARB (September 2004)  
<http://www.arb.ca.gov/ch/communities/studies/crockett/crockett.htm>
- *Wilmington Study - Air Monitoring Results.* ARB (2003)  
<http://www.arb.ca.gov/ch/communities/studies/wilmington/wilmington.htm>

### Chrome Plating Operations

Chrome plating operations rely on the use of the toxic metal hexavalent chromium, and have been subject to ARB and local air district control programs for many years. Regulation of chrome plating operations has reduced statewide emissions substantially. However, due to the nature of chrome plating

operations and the highly toxic nature of hexavalent chromium, the remaining health risk to nearby residents is a continuing concern.

Chrome plating operations convert hexavalent chromium in solution to a chromium metal layer by electroplating, and are categorized based upon the thickness of the chromium metal layer applied. In “decorative plating”, a layer of nickel is first plated over a metal substrate. Following this step, a thin layer of chromium is deposited over the nickel layer to provide a decorative and protective finish, for example, on faucets and automotive wheels. “Hard chrome plating” is a process in which a thicker layer of chromium metal is deposited directly on metal substrates such as engine parts, industrial machinery, and tools to provide greater protection against corrosion and wear.

Hexavalent chromium is emitted into the air when an electric current is applied to the plating bath. Emissions are dependent upon the amount of electroplating done per year and the control requirements. A unit of production referred to as an ampere-hour represents the amount of electroplating produced. Small facilities have an annual production rate of 100,000 – 500,000 ampere-hours, while medium-size facilities may have a production rate of 500,000 to about 3 million ampere-hours. The remaining larger facilities have a range of production rates that can be as high as 80 million ampere-hours.

The control requirements, which reduce emissions from the plating tanks, vary according to the size and type of the operation. Facilities either install add-on pollution control equipment, such as filters and scrubbers, or in-tank controls, such as fume suppressants and polyballs. With this combination of controls, the overall hexavalent chromium emissions have been reduced by over 90 percent. Larger facilities typically have better controls that can achieve efficiencies greater than 99 percent. However, even with stringent controls, the lack of maintenance and good housekeeping practices can lead to problems. And, since the material itself is inherently dangerous, any lapse in compliance poses a significant risk to nearby residents.

A 2002 ARB study in the San Diego community of Barrio Logan measured unexpectedly high concentrations of hexavalent chromium near chrome platers. The facilities were located in a mixed-use area with residences nearby. The study found that fugitive dust laden with hexavalent chromium was an important source of emissions that likely contributed to the elevated cancer risk. Largely as a result of this study, ARB is in the process of updating the current requirements to further reduce the emissions from these facilities.

In December 2004, the ARB adopted an ATCM to reduce emissions of hexavalent chromium and nickel from thermal spraying operations through the installation of best available control technology. The ATCM requires all existing facilities to comply with its requirements by January 1, 2006. New and modified thermal spraying operations must comply upon initial startup. An existing thermal spraying facility may be exempt from the minimum control efficiency

requirements of the ATCM if it is located at least 1,640 feet from the nearest sensitive receptor and emits no more than 0.5 pound per year of hexavalent chromium.<sup>8</sup>

### Key Health Findings

Hexavalent chromium is one of the most toxic air pollutants regulated by the State of California. Hexavalent chromium is a carcinogen and has been identified in worker health studies as causing lung cancer. Exposure to even very low levels of hexavalent chromium should be avoided.

The California Office of Environmental Health Hazard Assessment has found that: 1) many epidemiological studies show a strong association between hexavalent chromium exposure in the work place and respiratory cancer; and 2) all short-term assays reported show that hexavalent chromium compounds can cause damage to human DNA.

Hexavalent chromium when inhaled over a period of many years can cause a variety of non-cancer health effects. These health effects include damage to the nose, blood disorders, lung disease, and kidney damage. The non-cancer health impacts occur with exposures considerably higher than exposures causing significant cancer risks. It is less likely that the public would be exposed to hexavalent chromium at levels high enough to cause these non-cancer health effects. Non-cancer health effects, unlike cancer health effects, have a threshold or exposure level below which non-cancer health effects would not be expected.

### Distance Related Findings

ARB's 2002 Barrio Logan Study measured concentrations of hexavalent chromium in the air near two chrome plating facilities. The study was conducted from December 2001 to May 2002. There were two chrome platers on the street - one decorative and one hard plater. The purpose of the study was to better understand the near source impact of hexavalent chromium emissions. Air monitors were placed at residences next to the platers and at varying distances down the street. The monitors were moved periodically to look at the spatial distribution of the impact. Source testing and facility inspections identified one of the facilities as the likely source.

The first two weeks of monitoring results showed unexpectedly high levels of hexavalent chromium at a number of the monitoring sites. The high concentrations were intermittent. The concentrations ranged from 1 to 22 ng/m<sup>3</sup> compared to the statewide average of 0.1 ng/m<sup>3</sup>. If these levels were to continue for 70 years, the potential cancer risk would be 150 in one million. The highest value was found at an air monitor behind a house adjacent to one of the

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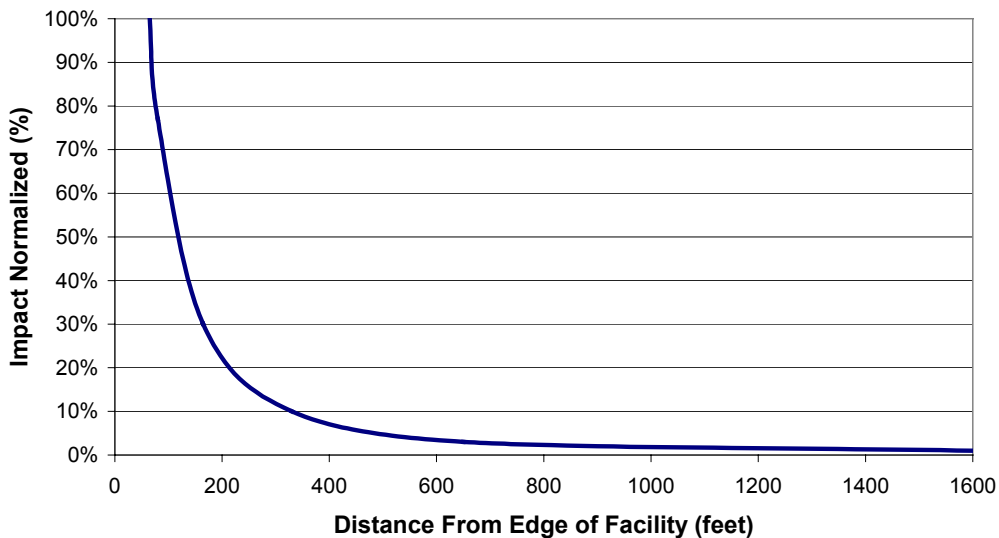
<sup>8</sup> For further information on the ATCM, please refer to:  
<http://www.arb.ca.gov/regact/thermspr/thermalspr.htm>

plating facilities—approximately 30 feet from the back entrance. Lower, but significant concentrations were found at an ambient air monitor 250 feet away.

The monitoring covered a period when the facility was not operating its plating tank. During this period, one of the highest concentrations was measured at an adjacent house. It appears that chromium-laden dust was responsible for high concentrations at this location since there was no plating activity at the time. Dust samples from the facility were tested and found to contain high levels of hexavalent chromium. On the day the highest concentration was measured at the house next door, a monitor 350 feet away from the plater's entrance showed very little impact. Similar proximity effects are shown in ARB modeling studies.

Figure 1-5 shows how the relative health risk varies as a function of distance from a chrome plater. This analysis is based on a medium-sized chrome plater with an annual production rate of 3 million ampere-hours. As shown in Figure 1- 5, the potential health risk drops off rapidly, with over 90 percent reduction in risk within 300 feet. This modeling was done in 2003 as part of a review of ARB's current air toxic control measure for chrome platers and is based on data from a recent ARB survey of chrome platers in California. The emission

**Figure 1-5**  
**Risk vs. Distance From Chrome Plater**  
**(Based on plating tank emissions)**



rates are only for plating operations. Because there are insufficient data available to directly quantify the impacts, the analysis does not include fugitive emissions, which the Barrio Logan analysis indicated could be significant.

Both the ARB Barrio Logan monitoring results and ARB's 2003 modeling analysis suggests that the localized emissions impact of a chrome plater diminishes significantly at 300 feet. However, in developing our recommendation, we also considered the following factors:

- some chrome platers will have higher volumes of plating activity,
- potential dust impacts were not modeled,
- we have only one monitoring study looking at the impact of distance, and,
- hexavalent chromium is one of the most potent toxic air contaminants ARB has identified.

Given these limitations in the analysis, we recommend a separation of 1,000 feet as a precautionary measure. For large chrome platers, site specific information should be obtained from the local air district.

### Recommendation

- Avoid siting new sensitive land uses within 1,000 feet of a chrome plater.

### References

- *Ambient Air Monitoring for Hexavalent Chromium and Metals in Barrio Logan: May 2001 through May 2002.* ARB, Monitoring and Laboratory Division (October 14, 2003)
- *Draft Barrio Logan Report.* ARB, Planning and Technical Support Division (November 2004)
- *Proposed Amendments to the Hexavalent Chromium Control Measure for Decorative and Hard Chrome Plating and Chromic Acid Anodizing Facilities.* ARB (April 1998)
- Murchison, Linda; Suer, Carolyn; Cook, Jeff. “*Neighborhood Scale Monitoring in Barrio Logan,*” (AWMA Annual Conference Proceedings, June 2003)

### **Dry Cleaners Using Perchloroethylene (Perc Dry Cleaners)**

Perchloroethylene (perc) is the solvent most commonly used by the dry cleaning industry to clean clothes or other materials. The ARB and other public health agencies have identified perc as a potential cancer-causing compound. Perc persists in the atmosphere long enough to contribute to both regional air pollution and localized exposures. Perc dry cleaners are the major source of perc emissions in California.

Since 1990, the statewide concentrations and health risk from exposure to perc has dropped over 70 percent. This is due to a number of regulatory requirements on perc dry cleaners and other sources, including degreasing operations, brake cleaners, and adhesives. ARB adopted an Airborne Toxic Control Measure (ATCM) for Perc Emissions from Dry Cleaning Operations in 1993. ARB has also prohibited the use of perc in aerosol adhesives and automotive brake cleaners.

Perc dry cleaners statewide are required to comply with ARB and local air district regulations to reduce emissions. However, even with these controls, some emissions continue to occur. Air quality studies indicate that there is still the potential for significant risks even near well-controlled dry cleaners. The South Coast AQMD has adopted a rule requiring that all new dry cleaners use alternatives to perc and that existing dry cleaners phase out the use of perc by December 2020. Over time, transition to non-toxic alternatives should occur. However, while perc continues to be used, a preventative approach should be taken to siting of new sensitive land uses.

### Key Health Findings

Inhalation of perc may result in both cancer and non-cancer health effects. An assessment by California's Office of Environmental Health Hazard Assessment (OEHHA) concluded that perc is a potential human carcinogen and can cause non-cancer health effects. In addition to the potential cancer risk, the effects of long-term exposure include dizziness, impaired judgment and perception, and damage to the liver and kidneys. Workers have shown signs of liver toxicity following chronic exposure to perc, as well as kidney dysfunction and neurological effects. Non-cancer health effects occur with higher exposure levels than those associated with significant cancer risks. The public is more likely to be exposed to perchloroethylene at levels causing significant cancer risks than to levels causing non-cancer health effects. Non-cancer health effects, unlike cancer health effects, have a threshold or exposure level below which non-cancer health effects would not be expected. The ARB formally identified perc as a toxic air contaminant in October 1991.

One study has determined that inhalation of perc is the predominant route of exposure to infants living in apartments co-located in the same building with a business operating perc dry cleaning equipment. Results of air sampling within co-residential buildings indicate that dry cleaners can cause a wide range of exposures depending on the type and maintenance of the equipment. For example, a well-maintained state-of-the-art system may have risks in the range of 10 in one million, whereas a badly maintained machine with major leaks can have potential cancer risks of thousands in one million.

The California Air Pollution Control Officers Association (CAPCOA) is developing Industry-wide Risk Assessment Guidelines for Perchloroethylene Dry Cleaners which, when published, will provide detailed information on public health risk from exposure to emissions from this source.

### Distance Related Findings

Risk created by perc dry cleaning is dependent on the amount of perc emissions, the type of dry cleaning equipment, proximity to the source, and how the emissions are released and dispersed (e.g., type of ventilation system, stack parameters, and local meteorology). Dry cleaners are often located near

residential areas, and near shopping centers, schools, day-care centers, and restaurants.

The vast majority of dry cleaners in California have one dry cleaning machine per facility. The South Coast AQMD estimates that an average well-controlled dry cleaner uses about 30 to 160 gallons of cleaning solvent per year, with an average of about 100 gallons. Based on these estimates, the South Coast AQMD estimates a potential cancer risk between 25 to 140 in one million at residential locations 75 feet or less from the dry cleaner, with an average of about 80 in one million. The estimate could be as high as 270 in one million for older machines.

CAPCOA's draft industry-wide risk assessment of perc dry cleaning operations indicates that the potential cancer risk for many dry cleaners may be in excess of potential cancer risk levels adopted by the local air districts. The draft document also indicates that, in general, the public's exposure can be reduced by at least 75 percent, by providing a separation distance of about 300 feet from the operation. This assessment is based on a single machine with perc use of about 100 gallons per year. At these distances, the potential cancer risk would be less than 10 potential cases per million for most scenarios.

The risk would be proportionately higher for large, industrial size, dry cleaners. These facilities typically have two or more machines and use 200 gallons or more per year of perc. Therefore, separation distances need to be greater for large dry cleaners. At a distance of 500 feet, the remaining risk for a large plant can be reduced by over 85 percent.

In California, a small number of dry cleaners that are co-located (sharing a common wall, floor, or ceiling) with a residence have the potential to expose the inhabitants of the residence to high levels of perc. However, while special requirements have been imposed on these existing facilities, the potential for exposure still exists. Avoiding these siting situations in the future is an important preventative measure.

Local air districts are a source of information regarding specific dry cleaning operations—particularly for large industrial operations with multiple machines. The 300 foot separation recommended below reflects the most common situation – a dry cleaner with only one machine. While we recommend 500 feet when there are two or more machines, site specific information should be obtained from the local air district for some very large industrial operations. Factors that can impact the risk include the number and type of machines, controls used, source configuration, building dimensions, terrain, and meteorological data.

## Recommendation

- Avoid siting new sensitive land uses within 300 feet of any dry cleaning operation. For operations with two or more machines provide 500 feet. For operations with 3 or more machines, consult with the local air district.
- Do not site new sensitive land uses in the same building with perc dry cleaning operations.

## References

- *Proposed Amended Rule 1421 – Control of Perchloroethylene Emissions from Dry Cleaning Systems*, Final Staff Report. South Coast AQMD. (October 2002)
- *Air Toxic Control Measure for Emissions of Perchloroethylene from Dry Cleaning Operations*. ARB (1994)  
(<http://www.arb.ca.gov/toxics/atcm/percatcm.htm>)
- “An Assessment of Tetrachloroethylene in Human Breast Milk”, Judith Schreiber, New York State Department of Health – Bureau of Toxic Substance Assessment, Journal of Exposure Analysis and Environmental Epidemiology, Vol.2, Suppl.2, pp. 15-26, 1992.
- *Draft Air Toxics “Hot Spots” Program Perchloroethylene Dry Cleaner Industry-wide Risk Assessment Guidelines*. (CAPCOA (November 2002)
- *Final Environmental Assessment for Proposed Amended Rule 1421 – Control of Perchloroethylene Emissions from Dry Cleaning Systems*. South Coast AQMD. (October 18, 2002)

## **Gasoline Dispensing Facilities**

Refueling at gasoline dispensing facilities releases benzene into the air. Benzene is a potent carcinogen and is one of the highest risk air pollutants regulated by ARB. Motor vehicles and motor vehicle-related activity account for over 90 percent of benzene emissions in California. While gasoline-dispensing facilities account for a small part of total benzene emissions, near source exposures for large facilities can be significant.

Since 1990, benzene in the air has been reduced by over 75 percent statewide, primarily due to the implementation of emissions controls on motor vehicle vapor recovery equipment at gas stations, and a reduction in benzene levels in gasoline. However, benzene levels are still significant. In urban areas, average benzene exposure is equivalent to about 50 in one million.

Gasoline dispensing facilities tend to be located in areas close to residential and shopping areas. Benzene emissions from the largest gas stations may result in near source health risk beyond the regional background and district health risk thresholds. The emergence of very high gasoline throughput at large retail or

wholesale outlets makes this a concern as these types of outlets are projected to account for an increasing market share in the next few years.

### Key Health Findings

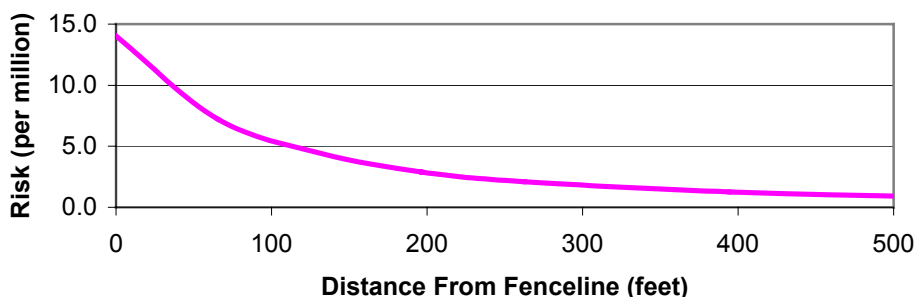
Benzene is a human carcinogen identified by ARB as a toxic air contaminant. Benzene also can cause non-cancer health effects above a certain level of exposure. Brief inhalation exposure to high concentrations can cause central nervous system depression. Acute effects include central nervous system symptoms of nausea, tremors, drowsiness, dizziness, headache, intoxication, and unconsciousness. It is unlikely that the public would be exposed to levels of benzene from gasoline dispensing facilities high enough to cause these non-cancer health effects.

### Distance Related Findings

A well-maintained vapor recovery system can decrease emissions of benzene by more than 90% compared with an uncontrolled facility. Almost all facilities have emission control systems. Air quality modeling of the health risks from gasoline dispensing facilities indicate that the impact from the facilities decreases rapidly as the distance from the facility increases.

Statistics reported in the ARB's staff reports on Enhanced Vapor Recovery released in 2000 and 2002, indicated that almost 96 percent of the gasoline dispensing facilities had a throughput less than 2.4 million gallons per year. The remaining four percent, or approximately 450 facilities, had throughputs exceeding 2.4 million gallons per year. For these stations, the average gasoline throughput was 3.6 million gallons per year.

**Figure 1-6  
Gasoline Dispensing Facility Health Risk  
for 3,600,000 gal/yr throughput**



As shown in Figure 1-6, the risk levels for a gasoline dispensing facility with a throughput of 3.6 million gallons per year is about 10 in one million at a distance of 50 feet from the fenceline. However, as the throughput increases, the potential risk increases.

As mentioned above, air pollution levels in the immediate vicinity of large gasoline dispensing facilities may be higher than the surrounding area (although tailpipe emissions from motor vehicles dominates the health impacts). Very large gasoline dispensing facilities located at large wholesale and discount centers may dispense nine million gallons of gasoline per year or more. At nine million gallons, the potential risk could be around 25 in one million at 50 feet, dropping to about five in one million at 300 feet. Some facilities have throughputs as high as 19 million gallons.

### Recommendation

- Avoid siting new sensitive land uses within 300 feet of a large gasoline dispensing facility (defined as a facility with a throughput of 3.6 million gallons per year or greater). A 50 foot separation is recommended for typical gas dispensing facilities.

### References

- *Gasoline Service Station Industry-wide Risk Assessment Guidelines*. California Air Pollution Control Officers Association (December 1997 and revised November 1, 2001)
- *Staff Report on Enhanced Vapor Recovery*. ARB (February 4, 2000)
- *The California Almanac of Emissions and Air Quality*. ARB (2004)
- *Staff Report on Enhanced Vapor Recovery Technology Review*. ARB (October 2002)

### **Other Facility Types that Emit Air Pollutants of Concern**

In addition to source specific recommendations, Table 1-3 includes a list of other industrial sources that could pose a significant health risk to nearby sensitive individuals depending on a number of factors. These factors include the amount of pollutant emitted and its toxicity, the distance to nearby individuals, and the type of emission controls in place. Since these types of facilities are subject to air permits from local air districts, facility specific information should be obtained where there are questions about siting a sensitive land use close to an industrial facility.

### **Potential Sources of Odor and Dust Complaints**

Odors and dust from commercial activities are the most common sources of air pollution complaints and concerns from the public. Land use planning and permitting processes should consider the potential impacts of odor and dust on surrounding land uses, and provide for adequate separation between odor and dust sources. As with other types of air pollution, a number of factors need to be considered when determining an adequate distance or mitigation to avoid odor or

**Table 1-3 – Examples of Other Facility Types That Emit<sup>1</sup> Air Pollutants of Concern**

<u>Categories</u>	<u>Facility Type</u>	<u>Air Pollutants of Concern</u>
Commercial	Autobody Shops Furniture Repair Film Processing Services Distribution Centers Printing Shops Diesel Engines	Metals, Solvents Solvents <sup>2</sup> , Methylene Chloride Solvents, Perchloroethylene Diesel Particulate Matter Solvents Diesel Particulate Matter
Industrial	Construction Manufacturers Metal Platers, Welders, Metal Spray (flame spray) Operations Chemical Producers Furniture Manufacturers Shipbuilding and Repair  Rock Quarries and Cement Manufacturers Hazardous Waste Incinerators Power Plants  Research and Development Facilities	Particulate Matter, Asbestos Solvents, Metals Hexavalent Chromium, Nickel, Metals Solvents, Metals Solvents Hexavalent chromium and other metals, Solvents Particulate Matter, Asbestos  Dioxin, Solvents, Metals Benzene, Formaldehyde, Particulate Matter Solvents, Metals, etc.
Public	Landfills  Waste Water Treatment Plants Medical Waste Incinerators  Recycling, Garbage Transfer Stations Municipal Incinerators	Benzene, Vinyl Chloride, Diesel Particulate Matter Hydrogen Sulfide Dioxin, Benzene, PAH, PCBs, 1,3-Butadiene Diesel Particulate Matter  Dioxin, Benzene, PAH, PCBs, 1,3-Butadiene
Transportation	Truck Stops	Diesel Particulate Matter
Agricultural Operations	Farming Operations  Livestock and Dairy Operations	Diesel Particulate Matter, VOCs, NOx, PM10, CO, SOx, Pesticides Ammonia, VOCs, PM10

<sup>1</sup>Not all facilities will emit pollutants of concern due to process changes or chemical substitution. Consult the local air district regarding specific facilities.

<sup>2</sup>Some solvents may emit toxic air pollutants, but not all solvents are toxic air contaminants.

dust complaints in a specific situation. Local air districts should be consulted for advice when these siting situations arise.

Table 1-4 lists some of the most common sources of odor complaints received by local air districts. Complaints about odors are the responsibility of local air districts and are covered under state law. The types of facilities that can cause odor complaints are varied and can range from small commercial facilities to large industrial facilities, and may include waste disposal and recycling operations. Odors can cause health symptoms such as nausea and headache. Facilities with odors may also be sources of toxic air pollutants (See Table 1-3). Some common sources of odors emitted by facilities are sulfur compounds, organic solvents, and the decomposition/digestion of biological materials. Because of the subjective nature of an individual's sensitivity to a particular type of odor, there is no specific rule for assigning appropriate separations from odor sources. Under the right meteorological conditions, some odors may still be offensive several miles from the source.



Sources of dust are also common sources of air pollution-related complaints. Operations that can result in dust problems are rock crushing, gravel production, stone quarrying, and mining operations. A common source of complaints is the dust and noise associated with blasting that may be part of these operations. Besides the health impacts of dust as particulate matter, thick dust also impairs visibility, aesthetic values, and can soil homes and automobiles. Local air districts typically have rules for regulating dust sources in their jurisdictions, but dust sources can still be a concern. Therefore, separation of these facilities from residential and other new sensitive land uses should be considered.

In some areas of California, asbestos occurs naturally in stone deposits. Asbestos is a potent carcinogenic substance when inhaled. Asbestos-containing dust may be a public health concern in areas where asbestos-containing rock is mined, crushed, processed, or used. Situations where asbestos-containing gravel has been used in road paving materials are also a source of asbestos exposure to the general public. Planners are advised to consult with local air pollution agencies in areas where asbestos-containing gravel or stone products are produced or used.

## 2. Handbook Development

ARB and local air districts share responsibility for improving statewide air quality. As a result of California's air pollution control programs, air quality has improved and health risk has been reduced statewide. However, state and federal air quality standards are still exceeded in many areas of California and the statewide health risk posed by toxic air contaminants (air toxics) remains too high. Also, some communities experience higher pollution exposures than others - making localized impacts, as well regional or statewide impacts, an important consideration. It is for this reason that this Handbook has been produced - to promote better, more informed decision-making by local land use agencies that will improve air quality and public health in their communities.

Land use policies and practices, including planning, zoning, and siting activities, can play a critical role in air quality and public health at the local level. For instance, even with the best available control technology, some projects that are sited very close to homes, schools, and other public places can result in elevated air pollution exposures. The reverse is also true – siting a new school or home too close to an existing source of air pollution can pose a public health risk. The ARB recommendations in section 1 address this issue.

*This Handbook is an informational document that we hope will strengthen the relationship between air quality and land use agencies. It highlights the need for land use agencies to address the potential for new projects to result in localized health risk or contribute to cumulative impacts where air pollution sources are concentrated.*

Avoiding these incompatible land uses is a key to reducing localized air pollution exposures that can result in adverse health impacts, especially to sensitive individuals.

Individual siting decisions that result in incompatible land uses are often the result of locating “sensitive” land uses next to polluting sources. These decisions can be of even greater concern when existing air pollution exposures in a community are considered. In general terms, this is often referred to as the issue of “cumulative impacts.” ARB is working with local air districts to better define these situations and to make information about existing air pollution levels (e.g., from local businesses, motor vehicles, and other areawide sources) more readily available to land use agencies.

In December 2001, the ARB adopted “Policies and Actions for Environmental Justice” (Policies). These Policies were developed in coordination with a group of stakeholders, representing local government agencies, community interest

groups, environmental justice organizations, academia, and business (Environmental Justice Stakeholders Group).

The Policies included a commitment to work with land use planners, transportation agencies, and local air districts to develop ways to identify, consider, and reduce cumulative air pollution emissions, exposure, and health risks associated with land use planning and decision-making. Developed under the auspices of the ARB's Environmental Justice Stakeholders Group, this Handbook is a first step in meeting that commitment.

ARB has produced this Handbook to help achieve several objectives:

- Provide recommendations on situations to avoid when siting new residences, schools, day care centers, playgrounds, and medical-related facilities (sensitive sites or sensitive land uses);
- Identify approaches that land use agencies can use to prevent or reduce potential air pollution impacts associated with general plan policies, new land use development, siting, and permitting decisions;
- Improve and facilitate access to air quality data and evaluation tools for use in the land use decision-making process;
- Encourage stronger collaboration between land use agencies and local air districts to reduce community exposure to source-specific and cumulative air pollution impacts; and
- Emphasize community outreach approaches that promote active public involvement in the air quality/land use decision-making process.

This Handbook builds upon California's 2003 General Plan Guidelines. These Guidelines, developed by the Governor's Office of Planning and Research (OPR), explain the land use planning process and applicable legal requirements. This Handbook also builds upon a 1997 ARB report, "The Land Use-Air Quality Linkage" ("Linkage Report").<sup>9</sup> The Linkage Report was an outgrowth of the California Clean Air Act which, among other things, called upon local air districts to focus particular attention on reducing emissions from sources that indirectly cause air pollution by attracting vehicle trips. Such indirect sources include, but are not limited to, shopping centers, schools and universities, employment centers, warehousing, airport hubs, medical offices, and sports arenas. The Linkage Report summarizes data as of 1997 on the relationships between land use, transportation, and air quality, and highlights strategies that can help to reduce the use of single occupancy automobile use. Such strategies

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<sup>9</sup> To access this report, please refer to ARB's website or click on:  
<http://www.arb.ca.gov/ch/programs/link97.pdf>

complement ARB regulatory programs that continue to reduce motor vehicle emissions.

In this Handbook, we identify types of air quality-related information that we recommend land use agencies consider in the land use decision-making processes such as the development of regional, general, and community plans; zoning ordinances; environmental reviews; project siting; and permit issuance. The Handbook provides recommendations on the siting of new sensitive land uses based on current analyses. It also contains information on approaches and methodologies for evaluating new projects from an air pollution perspective.

The Handbook looks at air quality issues associated with emissions from industrial, commercial, and mobile sources of air pollution. Mobile sources continue to be the largest overall contributors to the state's air pollution problems, representing the greatest air pollution health risk to most Californians. Based on current health risk information for air toxics, the most serious pollutants on a statewide basis are diesel PM, benzene, and 1,3-butadiene, all of which are primarily emitted by motor vehicles. From a state perspective, ARB continues to pursue new strategies to further reduce motor vehicle-related emissions in order to meet air quality standards and reduce air toxics risk.

While mobile sources are the largest overall contributors to the state's air pollution problems, industrial and commercial sources can also pose a health risk, particularly to people near the source. For this reason, the issue of incompatible land uses is an important focus of this document.

### **Handbook Audience**

Even though the primary users of the Handbook will likely be agencies responsible for air quality and land use planning, we hope the ideas and technical issues presented in this Handbook will also be useful for:

- public and community organizations and community residents;
- federal, state and regional agencies that fund, review, regulate, oversee, or otherwise influence environmental policies and programs affected by land use policies; and
- private developers.

### 3. Key Community Focused Issues Land Use Agencies Should Consider

Two key air quality issues that land use agencies should consider in their planning, zoning, and permitting processes are:

- 1) **Incompatible Land Uses.** Localized air pollution impacts from incompatible land use can occur when polluting sources, such as a heavily trafficked roadway, warehousing facilities, or industrial or commercial facilities, are located near a land use where sensitive individuals are found such as a school, hospital, or homes.
- 2) **Cumulative Impacts.** Cumulative air pollution impacts can occur from a concentration of multiple sources that individually comply with air pollution control requirements or fall below risk thresholds, but in the aggregate may pose a public health risk to exposed individuals. These sources can be heavy or light-industrial operations, commercial facilities such as autobody shops, large gas dispensing facilities, dry cleaners, and chrome platers, and freeways or other nearby busy transportation corridors.

#### **Incompatible Land Uses**

Land use policies and practices can worsen air pollution exposure and adversely affect public health by mixing incompatible land uses. Examples include locating new sensitive land uses, such as housing or schools, next to small metal plating facilities that use a highly toxic form of chromium, or very near large industrial facilities or freeways. Based on recent monitoring and health-based studies, we now know that air quality impacts from incompatible land uses can contribute to increased risk of illness, missed work and school, a lower quality of life, and higher costs for public health and pollution control.<sup>10</sup>

Avoiding incompatible land uses can be a challenge in the context of mixed-use industrial and residential zoning. For a variety of reasons, government agencies and housing advocates have encouraged the proximity of affordable housing to employment centers, shopping areas, and transportation corridors, partially as a means to reduce vehicle trips and their associated emissions. Generally speaking, typical distances in mixed-use communities between businesses and industries and other land uses such as homes and schools, should be adequate to avoid health risks. However, generalizations do not always hold as we addressed in section 1 of this Handbook.

In terms of siting air pollution sources, the proposed location of a project is a major factor in determining whether it will result in localized air quality impacts. Often, the problem can be avoided by providing an adequate distance or setback

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<sup>10</sup> For more information, the reader should refer to ARB's website on community health: <http://www.arb.ca.gov/ch/ch.htm>

between a source of emissions and nearby sensitive land uses. Sometimes, suggesting project design changes or mitigation measures in the project review phase can also reduce or avoid potential impacts. This underscores the importance of addressing potential incompatible land uses as early as possible in the project review process, ideally in the general plan itself.

### **Cumulative Air Pollution Impacts**

The broad concept of cumulative air pollution impacts reflects the combination of regional air pollution levels and any localized impacts. Many factors contribute to air pollution levels experienced in any location. These include urban background air pollution, historic land use patterns, the prevalence of freeways and other transportation corridors, the concentration of industrial and commercial businesses, and local meteorology and terrain.

When considering the potential air quality impacts of polluting sources on individuals, project location and the concentration of emissions from air pollution sources need to be considered in the land use decision-making process. In section 4, the Handbook offers a series of questions that helps land use agencies determine if a project should undergo a more careful analysis. This holds true regardless of whether the project being sited is a polluting source or a sensitive land use project.

Large industrial areas are not the only land uses that may result in public health concerns in mixed-use communities. Cumulative air pollution impacts can also occur if land uses do not adequately provide setbacks or otherwise protect sensitive individuals from potential air pollution impacts associated with nearby light industrial sources. This can occur with activities such as truck idling and traffic congestion, or from indirect sources such as warehousing facilities that are located in a community or neighborhood.

In October 2004, Cal/EPA published its Environmental Justice Action Plan. In February 2005, the Cal/EPA Interagency Working Group approved a working definition of “cumulative impacts” for purposes of initially guiding the pilot projects that are being conducted pursuant to that plan. Cal/EPA is now in the process of developing a Cumulative Impacts Assessment Guidance document. Cal/EPA will revisit the working definition of “cumulative impacts” as the Agency develops that guidance. The following is the working definition:

*“Cumulative impacts means exposures, public health or environmental effects from the combined emissions and discharges, in a geographic area, including environmental pollution from all sources, whether single or multi-media, routinely, accidentally, or otherwise released. Impacts will take into account sensitive populations and socio-economic factors, where applicable, and to the extent data are available.”*

#### **4. Mechanisms for Integrating Localized Air Quality Concerns Into Land Use Processes**

Land use agencies should use each of their existing planning, zoning, and permitting authorities to address the potential health risk associated with new projects. Land use-specific mechanisms can go a long way toward addressing both localized and cumulative impacts from new air pollution sources that are not otherwise addressed by environmental regulations. Likewise, close collaboration and communication between land use agencies and local air districts in both the planning and project approval stages can further reduce these impacts. Local agency partnerships can also result in early identification of potential impacts from proposed activities that might otherwise escape environmental review. When this happens, pollution problems can be prevented or reduced before projects are approved, when it is less complex and expensive to mitigate.

The land use entitlement process requires a series of planning decisions. At the highest level, the General Plan sets the policies and direction for the jurisdiction, and includes a number of mandatory elements dealing with issues such as housing, circulation, and health hazards. Zoning is the primary tool for implementing land use policies. Specific or community plans created in conjunction with a specific project also perform many of the same functions as a zoning ordinance. Zoning can be modified by means of variances and conditional use permits. The latter are frequently used to insure compatibility between otherwise conflicting land uses. Finally, new development usually requires the approval of a parcel or tract map before grading and building permits can be issued. These parcel or tract maps must be consistent with the applicable General Plan, zoning and other standards.

Land use agencies can use their planning authority to separate industrial and residential land uses, or to require mitigation where separation is not feasible. By separating incompatible land uses, land use agencies can prevent or reduce both localized and cumulative air pollution impacts without denying what might otherwise be a desirable project.<sup>11</sup> For instance:

- a dry cleaner could open a storefront operation in a community with actual cleaning operations performed at a remote location away from residential areas;
- gas dispensing facilities with lower fuel throughput could be sited in mixed-use areas;
- enhanced building ventilation or filtering systems in schools or senior care centers can reduce ambient air from nearby busy arterials; or
- landscaping and regular watering can be used to reduce fugitive dust at a building construction site near a school yard.

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<sup>11</sup> It should be noted that such actions should also be considered as part of the General Plan or Plan element process.

The following general and specific land use approaches can help to reduce potential adverse air pollution impacts that projects may have on public health.

### **General Plans**

The primary purpose of planning, and the source of government authority to engage in planning, is to protect public health, safety, and welfare. In its most basic sense, a local government General Plan expresses the community's development goals and embodies public policy relative to the distribution of future land uses, forming the basis for most land use decisions. Therefore, the most effective mechanism for dealing with the central land use concept of compatibility and its relationship to cumulative air pollution impacts is the General Plan. Well before projects are proposed within a jurisdiction, the General Plan sets the stage for where projects can be sited, and their compatibility with comprehensive community goals, objectives, and policies.

In 2003, OPR revised its General Plan Guidelines, highlighting the importance of incorporating sustainable development and environmental justice policies in the planning process. The OPR General Plan Guidelines provides an effective and long-term approach to reduce cumulative air pollution impacts at the earliest planning stages. In light of these important additions to the Guidelines, land use agencies should consider updating their General Plans or Plan elements to address these revisions.

The General Plan and related Plan elements can be used to avoid incompatible land uses by incorporating air quality considerations into these documents. For instance, a General Plan safety element with an air quality component could be used to incorporate policies or objectives that are intended to protect the public from the potential for facility breakdowns that may result in a dangerous release of air toxics. Likewise, an air quality component to the transportation circulation element of the General Plan could include policies or standards to prevent or reduce local exposure to diesel exhaust from trucks and other vehicles. For instance, the transportation circulation element could encourage the construction of alternative routes away from residential areas for heavy-duty diesel trucks. By considering the relationship between air quality and transportation, the circulation element could also include air quality policies to prevent or reduce trips and travel, and thus vehicle emissions. Policies in the land use element of the General Plan could identify areas appropriate for future industrial, commercial, and residential uses. Such policies could also introduce design and distance parameters that reduce emissions, exposure, and risk from industrial and some commercial land uses (e.g., dry cleaners) that are in close proximity to residential areas or schools.

Land use agencies should also consider updating or creating an air quality element in the jurisdiction's General Plan. In the air quality element, local decision-makers could develop long-term, effective plans and policies to address

air quality issues, including cumulative impacts. The air quality element can also provide a general reference guide that informs local land use planners about regional and community level air quality, regulatory air pollution control requirements and guidelines, and references emissions and pollution source data bases and assessment and modeling tools. As is further described in Appendix C of the Handbook, new assessment tools that ARB is developing can be included into the air quality element by reference. For instance, ARB's statewide risk maps could be referenced in the air quality element as a resource that could be consulted by developers or land use agencies

## **Zoning**

The purpose of "zoning" is to separate different land uses. Zoning ordinances establish development controls to ensure that private development takes place within a given area in a manner in which:

- All uses are compatible (e.g., an industrial plant is not permitted in a residential area);
- Common development standards are used (e.g., all homes in a given area are set back the same minimum distance from the street); and,
- Each development does not unreasonably impose a burden upon its neighbors (e.g., parking is required on site so as not to create neighborhood parking problems).

To do this, use districts called "zones" are established and standards are developed for these zones. The four basic zones are residential, commercial, industrial and institutional.

Land use agencies may wish to consider how zoning ordinances, particularly those for mixed-use areas, can be used to avoid exacerbating poor land use practices of the past or contributing to localized and cumulative air pollution impacts in the community.

Sometimes, especially in mixed-use zones, there is a potential for certain categories of existing businesses or industrial operations to result in cumulative air pollution impacts to new development projects. For example:

- An assisted living project is proposed for a mixed-use zone adjacent to an existing chrome plating facility, or several dry cleaners;
- Multiple industrial sources regulated by a local air district are located directly upwind of a new apartment complex;
- A new housing development is sited in a mixed-use zone that is downwind or adjacent to a distribution center that attracts diesel-fueled delivery trucks and TRUs; or
- A new housing development or sensitive land use is sited without adequate setbacks from an existing major transportation corridor or rail yard.

As part of the public process for making zoning changes, local land use agencies could work with community planning groups, local businesses, and community residents to determine how best to address existing incompatible land uses.

### **Land Use Permitting Processes**

#### **■ Questions to Consider When Reviewing New Projects**

Very often, just knowing what questions to ask can yield critical information about the potential air pollution impacts of proposed projects – both from the perspective of a specific project as well as in the nature of existing air pollution sources in the same impact area. Available land use information can reveal the proximity of air pollution sources to sensitive individuals, the potential for incompatible land uses, and the location and nature of nearby air pollution sources. Air quality data, available from the ARB and local air districts, can provide information about the types and amounts of air pollution emitted in an area, regional air quality concentrations, and health risk estimates for specific sources.

General Plans and zoning maps are an excellent starting point in reviewing project proposals for their potential air pollution impacts. These documents contain information about existing or proposed land uses for a specific location as well as the surrounding area. Often, just looking at a map of the proposed location for a facility and its surrounding area will help to identify a potential adjacent incompatible land use.

The following pages are a “pull-out” list of questions to consider along with cross-references to pertinent information in the Handbook. These questions are intended to assist land use agencies in evaluating potential air quality-related concerns associated with new project proposals.

The first group of questions contains project-related queries designed to help identify the potential for localized project impacts, particularly associated with incompatible land uses. The second group of questions focuses on the issue of potential cumulative impacts by including questions about existing emissions and air quality in the community, and community feedback. Depending on the answers to these questions, a land use agency may decide a more detailed review of the proposal is warranted.

The California Department of Education has already developed a detailed process for school siting which is outlined in Appendix E. However, school districts may also find this section helpful when evaluating the most appropriate site for new schools in their area. At a minimum, using these questions may encourage school districts to engage throughout their siting process with land use agencies and local air districts. The combined expertise of these entities can be useful in devising relevant design standards and mitigation measures that can

reduce exposure to cumulative emissions, exposure, and health risk to students and school workers.

As indicated throughout the Handbook, we strongly encourage land use agencies to consult early and often with local air districts. Local air districts have the expertise, many of the analytical tools, and a working knowledge of the sources they regulate. It is also critical to fully involve the public and businesses that could be affected by the siting decision. The questions provided in the chart below do not imply any particular action should be taken by land use agencies. Rather the questions are intended to improve the assessment process and facilitate informed decision-making.

■ **Project-Related Questions**

This section includes project-related questions that, in conjunction with the questions in the next section, can be used to tailor the project evaluation. These questions are designed to help identify the potential for incompatible land uses from localized project impacts.

**Questions to Consider When Reviewing New Projects**

Project-Related Questions	Cross-Reference to Relevant Handbook Sections
<p>1. Is the proposed project:</p> <ul style="list-style-type: none"> <li>▲ A business or commercial license renewal</li> <li>▲ A new or modified commercial project</li> <li>▲ A new or modified industrial project</li> <li>▲ A new or modified public facility project</li> <li>▲ A new or modified transportation project</li> <li>▲ A housing or other development in which sensitive individuals may live or play</li> </ul>	<p>See Appendix A for typical land use classifications and associated project categories that could emit air pollutants.</p>
<p>2. Does the proposed project:</p> <ul style="list-style-type: none"> <li>▲ Conform to the zoning designation?</li> <li>▲ Require a variance to the zoning designation?</li> <li>▲ Include plans to expand operations over the life of the business such that additional emissions may increase the pollution burden in the community (e.g., from additional truck operations, new industrial operations or process lines, increased hours of operation, build-out to the property line, etc.)?</li> </ul>	<p>See Appendix F for a general explanation of land use processes.</p> <p>In addition, Section 3 contains a discussion of how land use planning, zoning, and permitting practices can result in incompatible land uses or cumulative air pollution impacts.</p>
<p>3. Has the local air district provided comments or information to assist in the analysis?</p>	<p>See Section 5 and Appendix C for a description of air quality-related tools that the ARB and local air districts use to provide information on potential air pollution impacts.</p>
<p>4. Have public meetings been scheduled with the affected community to solicit their involvement in the decision-making process for the proposed project?</p>	<p>See Section 7 for a discussion of public participation, information and outreach tools.</p>
<p>5. If the proposed project will be subject to local air district regulations:</p> <ul style="list-style-type: none"> <li>▲ Has the project received a permit from the local air district?</li> <li>▲ Would it comply with applicable local air district requirements?</li> <li>▲ Is the local air district contemplating new regulations that would reduce emissions from the source over time?</li> <li>▲ Will potential emissions from the project</li> </ul>	<p>See Appendix C for a description of local air district programs.</p>

Project-Related Questions	Cross-Reference to Relevant Handbook Sections
<p>trigger the local air district's new source review for criteria pollutants or air toxics emissions?</p> <ul style="list-style-type: none"> <li>▲ Is the local air district expected to ask the proposed project to perform a risk assessment?</li> <li>▲ Is there sufficient new information or public concern to call for a more thorough environmental analysis of the proposed project?</li> <li>▲ Are there plans to expand operations over time?</li> <li>▲ Are there land-use based air quality significance thresholds or design standards that could be applied to this project in addition to applicable air district requirements?</li> </ul>	
<p>6. If the proposed project will release air pollution emissions, either directly or indirectly, but is not regulated by the local air district:</p> <ul style="list-style-type: none"> <li>▲ Is the local air district informed of the project?</li> <li>▲ Does the local air district believe that there could be potential air pollution impacts associated with this project category because of the proximity of the project to sensitive individuals?</li> <li>▲ If the project is one in which individuals live or play (e.g., a home, playground, convalescent home, etc.), does the local air district believe that the project's proximity to nearby sources could pose potential air pollution impacts?</li> <li>▲ Are there indirect emissions that could be associated with the project (e.g., truck traffic or idling, transport refrigeration unit operations, stationary diesel engine operations, etc.) that will be in close proximity to sensitive individuals?</li> <li>▲ Will the proposed project increase or serve as a magnet for diesel traffic?</li> <li>▲ Are there land-use based air quality significance thresholds or design standards that could be applied to this project in addition to applicable air district requirements?</li> <li>▲ Is there sufficient new information or public concern to call for a more thorough environmental analysis of the proposed project?</li> <li>▲ Should the site approval process include identification and mitigation of potential</li> </ul>	<p>See Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).</p>

Project-Related Questions	Cross-Reference to Relevant Handbook Sections
<p>direct or indirect emissions associated with the potential project?</p>	
<p>7. Does the local air district or land use agency have pertinent information on the source, such as:</p> <ul style="list-style-type: none"> <li>▲ Available permit and enforcement data, including for the owner or operator of the proposed source that may have other sources in the State.</li> <li>▲ Proximity of the proposed project to sensitive individuals.</li> <li>▲ Number of potentially exposed individuals from the proposed project.</li> <li>▲ Potential for the proposed project to expose sensitive individuals to odor or other air pollution nuisances.</li> <li>▲ Meteorology or the prevailing wind patterns between the proposed project and the nearest receptor, or between the proposed sensitive receptor project and sources that could pose a localized or cumulative air pollution impact.</li> </ul>	<p>See Appendix C for a description of local air district programs.</p> <p>See Appendix B for a listing of useful information that land use agencies should have on hand or have accessible when reviewing proposed projects for potential air pollution impacts.</p> <p>Also, do not hesitate to contact your local air district regarding answers to any of these questions that might not be available at the land use agency.</p> <p>See Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).</p>
<p>8. Based upon the project application, its location, and the nature of the source, could the proposed project:</p> <ul style="list-style-type: none"> <li>▲ Be a polluting source that is located in proximity to, or otherwise upwind, of a location where sensitive individuals live or play?</li> <li>▲ Attract sensitive individuals and be located in proximity to or otherwise downwind, of a source or multiple sources of pollution, including polluting facilities or transportation-related sources that contribute emissions either directly or indirectly?</li> <li>▲ Result in health risk to the surrounding community?</li> </ul>	<p>See Section 3 for a discussion of what is an incompatible land use and the potential cumulative air pollution impacts.</p> <p>See Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).</p>
<p>9. If a CEQA categorical exemption is proposed, were the following questions considered:</p> <ul style="list-style-type: none"> <li>▲ Is the project site environmentally sensitive as defined by the project's location? (A project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant.)</li> <li>▲ Would the project and successive future projects of the same type in the approximate location potentially result in cumulative impacts?</li> <li>▲ Are there "unusual circumstances" creating the possibility of significant effects?</li> </ul>	<p>See CEQA Guidelines section 15300, and Public Resources Code, section 21084.</p> <p>See Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).</p> <p>See also Section 5 and Appendix C for a description of air quality-related tools that the ARB and local air districts use to provide information on potential air pollution impacts.</p>

■ **Questions Related to Cumulative Impact Assessment**

The following questions can be used to provide the decision-maker with a better understanding of the potential for cumulative air pollution impacts to an affected community. Answers to these questions will help to determine if new projects or activities warrant a more detailed review. It may also help to see potential environmental concerns from the perspective of the affected community. Additionally, responses can provide local decision-makers with information with which to assess the best policy options for addressing neighborhood-scale air pollution concerns.

The questions below can be used to identify whether existing tools and procedures are adequate to address land use-related air pollution issues. This process can also be used to pinpoint project characteristics that may have the greatest impact on community-level emissions, exposure, and risk. Such elements can include: the compliance record of existing sources including those owned or operated by the project proponent; the concentration of emissions from polluting sources within the approximate area of sensitive sites; transportation circulation in proximity to the proposed project; compatibility with the General Plan and General Plan elements; etc.

The local air district can provide useful assistance in the collection and evaluation of air quality-related information for some of the questions and should be consulted early in the process.

**Questions Related to Cumulative Impact Assessment**

Technical Questions	Cross-Reference to Relevant Handbook Sections
1. Is the community home to industrial facilities?	See Appendix A for typical land use classifications and associated project categories that could emit air pollutants.
2. Do one or more major freeways or high-traffic volume surface streets cut through the community?	See transportation circulation element of your general plan. See also Appendix B for useful information that land use agencies should have on hand or have accessible when reviewing proposed projects for potential air pollution impacts.  See Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).
3. Is the area classified for mixed-use zoning?	See your general plan and zoning ordinances.
4. Is there an available list of air pollution sources in the community?	Contact your local air district.
5. Has a walk-through of the community been conducted to gather the following information:	See Appendix B for a listing of useful information that land use agencies

Technical Questions	Cross-Reference to Relevant Handbook Sections
<ul style="list-style-type: none"> <li>▲ Corroborate available information on land use activities in the area (e.g., businesses, housing developments, sensitive individuals, etc.)?</li> <li>▲ Determine the proximity of existing and anticipated future projects to residential areas or sensitive individuals?</li> <li>▲ Determine the concentration of emission sources (including anticipated future projects) to residential areas or sensitive individuals?</li> </ul>	<p>should have on hand or have accessible when reviewing proposed projects for potential air pollution impacts. Also contact your local air district.</p>
<p>6. Has the local air district been contacted to obtain information on sources in the community?</p>	<p>See Section 7 for a discussion of public participation, information and outreach tools.</p>
<p>7. What categories of commercial establishments are currently located in the area and does the local air district have these sources on file as being regulated or permitted?</p>	<p>See Appendix A for typical land use classifications and associated project categories that could emit air pollutants. Also contact your local air district.</p>
<p>8. What categories of indirect sources such as distribution centers or warehouses are currently located in the area?</p>	<p>See Appendix A for typical land use classifications and associated project categories that emit air pollutants.</p>
<p>9. What air quality monitoring data are available?</p>	<p>Contact your local air district.</p>
<p>10. Have any risk assessments been performed on emission sources in the area?</p>	<p>Contact your local air district.</p>
<p>11. Does the land use agency have the capability of applying a GIS spatial mapping tool that can overlay zoning, sub-development information, and other neighborhood characteristics, with air pollution and transportation data?</p>	<p>See Appendix B for a listing of useful information that land use agencies should have on hand or have accessible when reviewing proposed projects for potential air pollution impacts. Also contact your local air district for tools that can be used to supplement available land use agency tools.</p>
<p>12. Based on available information, is it possible to determine if the affected community or neighborhood experiences elevated health risk due to a concentration of air pollution sources in close proximity, and if not, can the necessary information be obtained?</p>	<p>Contact your local air district. Also see Section 1 for recommendations on situations to avoid when siting projects where sensitive individuals would be located (sensitive sites).</p>
<p>13. Does the community have a history of chronic complaints about air quality?</p>	<p>See Section 7 for a discussion of public participation, information and outreach tools. Also contact your local air district.</p>
<p>14. Is the affected community included in the public participation process for the agency's decision?</p>	<p>See Section 7 for a discussion of public participation, information and outreach tools.</p>
<p>15. Have community leaders or groups been contacted about any pre-existing or chronic community air quality concerns?</p>	<p>See Section 7 for a discussion of public participation, information and outreach tools. Also contact your local air district.</p>

## ■ **Mitigation Approaches**

In addition to considering the suitability of the project location, opportunities for mitigation of air pollution impacts should be considered. Sometimes, a land use agency may find that selection of a different project location to avoid a health risk is not feasible. When that happens, land use agencies should consider design improvements or other strategies that would reduce the risk. Such strategies could include performance or design standards, consultation with local air districts and other agencies on appropriate actions that these agencies should, or plan to, undertake, and consultation and outreach in the affected community. Potential mitigation measures should be feasible, cost-effective solutions within the available resources and authority of implementing agencies to enforce.<sup>12</sup>

## ■ **Conditional Use Permits and Performance Standards**

Some types of land uses are only allowed upon approval of a conditional use permit (also called a CUP or special use permit). A conditional use permit does not re-zone the land but specifies conditions under which a particular land use will be permitted. Such land uses could be those with potentially significant environmental impacts. Local zoning ordinances specify the uses for which a conditional use permit is required, the zones they may be allowed in, and public hearing procedures. The conditional use permit imposes special requirements to ensure that the use will not be detrimental to its surroundings.

In the context of land use planning, performance standards are requirements imposed on projects or project categories through conditional use permits to ensure compliance with general plan policies and local ordinances. These standards could apply to such project categories as distribution centers, very large gas dispensing facilities, autobody shops, dry cleaners, and metal platers. Land use agencies may wish to consider adding land use-based performance standards to zoning ordinances in existing mixed-use communities for certain air pollution project categories. Such standards would provide certainty and equitable treatment to all projects of a similar nature, and reserve the more resource intensive conditional or special use permits to projects that require a more detailed analysis. In developing project design or performance standards, land use agencies should consult with the local air district. Early and regular consultation can avoid duplication or inconsistency with local air district control requirements when considering the site-specific design and operation of a project.

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<sup>12</sup> A land use agency has the authority to condition or deny a project based upon information collected and evaluated through the land use decision-making process. However, any denial would need to be based upon identifiable, generally applicable, articulated standards set forth in the local government's General Plan and zoning codes. One way of averting this is to conduct early and regular outreach to the community and the local air district so that community and environmental concerns can be addressed and accommodated into the project proposal.

Examples of land use-based air quality-specific performance standards include the following:

- Placing a process vent away from the direction of the local playground that is nearby or increasing the stack height so that emissions are dispersed to reduce the emissions impact on surrounding homes or schools.
- Setbacks between the project fence line and the population center.
- Limiting the hours of operation of a facility to avoid excess emissions exposure or foul odors to nearby individuals.
- An ordinance that requires fleet operators to use cleaner vehicles before project approval (if a new business), or when expanding the fleet (if an existing business); and
- Providing alternate routes for truck operations that discourage detours into residential neighborhoods.

### **Outreach to Other Agencies**

When questions arise regarding the air quality impacts of projects, including potential cumulative impacts, land use agencies should consult the local air district. Land use agencies should also consider the following suggestions to avoid creating new incompatible land uses:

- Consult with the local air district to help determine if emissions from a particular project will adversely impact sensitive individuals in the area, if existing or future effective regulations or permit requirements will affect the proposed project or other sources in the vicinity of the proposed project, or if additional inspections should be required.
  - Check with ARB for new information and modeling tools that can help evaluate projects seeking to site within your jurisdiction.
  - Become familiar with ARB's Land Use-Air Quality Linkage Report to determine whether approaches and evaluation tools contained in the Report can be used to reduce transportation-related impacts on communities.
  - Contact and collaborate with other state agencies that play a role in the land use decision-making process, e.g., the State Department of Education, the California Energy Commission, and Caltrans. These agencies have information on mitigation measures and mapping tools that could be useful in addressing local problems.
- **Information Clearinghouse**
- Land use agencies can refer to the ARB statewide electronic information clearinghouse for information on what measures other jurisdictions are using to address comparable issues or sources.<sup>13</sup>

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<sup>13</sup> This information can be accessed from ARB's website by going to:  
<http://www.arb.ca.gov/ch/clearinghouse.htm>

The next section addresses available air quality assessment tools that land use agencies can use to evaluate the potential for localized or cumulative impacts in their communities.

## 5. Available Tools to Evaluate Cumulative Air Pollution Emissions and Risk

Until recently, California has traditionally approached air pollution control from the perspective of assessing whether the pollution was regional, category-specific, or from new or existing sources. This methodology has been generally effective in reducing statewide and regional air pollution impacts and risk levels. However, such an incremental, category-by-category, source-by-source approach may not always address community health impacts from multiple sources - including mobile, industrial, and commercial facilities.

As a result of air toxics and children's health concerns over the past several years, ARB and local air districts have begun to develop new tools to evaluate and inform the public about cumulative air pollution impacts at the community level. One aspect of ARB's programs now underway is to consolidate and make accessible air toxics emissions and monitoring data by region, using modeling tools and other analytical techniques to take a preliminary look at emissions, exposure, and health risk in communities.

ARB has developed multiple tools to assist local air districts perform assessments of cumulative emissions, exposure, and risk on a neighborhood scale. These tools include:

- Regional risk maps that show trends in potential cancer risk from toxic air pollutants in southern and central California between 1990 and 2010. These maps are based on the U.S. EPA's ASPEN model. These maps provide an estimate of background levels of toxic air pollutant risk but are not detailed enough to assess individual neighborhoods or facilities.<sup>14</sup>
- The Community Health Air Pollution Information System (CHAPIS) is a user-friendly, Internet-based system for displaying information on emissions from sources of air pollution in an easy to use mapping format. CHAPIS contains information on air pollution emissions from selected large facilities and small businesses that emit criteria and toxic air pollutants. It also contains information on air pollution emissions from motor vehicles. When released in 2004, CHAPIS did not contain information on every source of air pollution or every air pollutant. However, ARB continues to work with local air districts to include all of the largest air pollution sources and those with the highest documented air pollution risk. Additional facilities will be added to CHAPIS as more data become available.<sup>15</sup>

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<sup>14</sup> For further information on these maps, please visit ARB's website at:

<http://www.arb.ca.gov/toxics/cti/hlthrisk/hlthrisk.htm>

<sup>15</sup> For further information on CHAPIS, please click on:

<http://www.arb.ca.gov/ch/chapis1/chapis1.htm>

- The Hot Spots Analysis and Reporting Program (HARP) is a software database package that evaluates emissions from one or more facilities to determine the overall health risk posed by the facility(-ies) on the surrounding community. Proper use of HARP ensures that the risk assessment meets the latest risk assessment guidelines published by the State Office of Environmental Health Hazard Assessment (OEHHA). HARP is designed with air quality professionals in mind and is available from the ARB.
- The Urban Emissions Model (URBEMIS) is a computer program that can be used to estimate emissions associated with land development projects in California such as residential neighborhoods, shopping centers, office buildings, and construction projects. URBEMIS uses emission factors available from the ARB to estimate vehicle emissions associated with new land uses.

Local air districts, and others can use these tools to assess a new project, or plan revision. For example, these tools can be used to:

- Identify if there are multiple sources of air pollution in the community;
- Identify the major sources of air pollution in the area under consideration;
- Identify the background potential cancer risk from toxic air pollution in the area under consideration;
- Estimate the risk from a new facility and how it adds to the overall risk from other nearby facilities; and
- Provide information to decision-makers and key stakeholders on whether there may be significant issues related to cumulative emissions, exposure, and health risk due to a permitting or land use decision.

If an air agency wishes to perform a cumulative air pollution impact analysis using any of these tools, it should consult with the ARB and/or the local air district to obtain information or assistance on the data inputs and procedures necessary to operate the program. In addition, land use agencies could consult with local air districts to determine the availability of land use and air pollution data for entry into an electronic Geographical Information System (GIS) format. GIS is an easier mapping tool than the more sophisticated models described in Appendix C. GIS mapping makes it possible to superimpose land use with air pollution information so that the spatial relationship between air pollution sources, sensitive receptors, and air quality can be visually represented. Appendix C provides a general description of the impact assessment process and micro-scale, or community level modeling tools that are available to evaluate potential cumulative air pollution impacts. Modeling protocols will be accessible on ARB's website as they become available. The ARB will also provide land use agencies and local air districts with statewide regional modeling results and information regarding micro-scale modeling.

## 6. ARB Programs to Reduce Air Pollution in Communities

ARB's regulatory programs reduce air pollutant emissions through statewide strategies that improve public health in all California communities. ARB's overall program addresses motor vehicles, consumer products, air toxics, air-quality planning, research, education, enforcement, and air monitoring. Community health and environmental justice concerns are a consideration in all these programs. ARB's programs are statewide but recognize that extra efforts may be needed in some communities due to historical mixed land-use patterns, limited participation in public processes in the past, and a greater concentration of air pollution sources in some communities.

ARB's strategies are intended to result in better air quality and reduced health risk to residents throughout California. The ARB's priority is to prevent or reduce the public's exposure to air pollution, including from toxic air contaminants that pose the greatest risk, particularly to infants and children who are more vulnerable to air pollution.

In October 2003, ARB updated its statewide control strategy to reduce emissions from source categories within its regulatory authority. A primary focus of the strategy is to achieve federal and state air quality standards for ozone and particulate matter throughout California, and to reduce health risk from diesel PM. Along with local air districts, ARB will continue to address air toxics emissions from regulated sources (see Table 6-1 for a summary of ARB activities). As indicated earlier, ARB will also provide analytical tools and information to land use agencies and local air districts to help assess and mitigate cumulative air pollution impacts.

The ARB will continue to consider the adoption of or revisions to needed air toxics control measures as part of the state's ongoing air toxics assessment program.<sup>16</sup>

As part of its effort to reduce particulate matter and air toxics emissions from diesel PM, the ARB has developed a Diesel Risk Reduction Program<sup>17</sup> that lays out several strategies in a three-pronged approach to reduce emissions and their associated risk:

- Stringent emission standards for all new diesel-fueled engines;
- Aggressive reductions from in-use engines; and
- Low sulfur fuel that will reduce PM and still provide the quality of diesel fuel needed to control diesel PM.

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<sup>16</sup> For continuing information and updates on state measures, the reader can refer to ARB's website at <http://www.arb.ca.gov/toxics/toxics.htm>.

<sup>17</sup> For a comprehensive description of the program, please refer to ARB's website at <http://www.arb.ca.gov/diesel/dieselrrp.htm>.

**Table 6-1**  
**ARB ACTIONS TO ADDRESS**  
**CUMULATIVE AIR POLLUTION IMPACTS IN COMMUNITIES**

**Information Collection**

- Improve emission inventories, air monitoring data, and analysis tools that can help to identify areas with high cumulative air pollution impacts
- Conduct studies in coordination with OEHHA on the potential for cancer and non-cancer health effects from air pollutants emitted by specific source categories
- Establish web-based clearinghouse for local land use strategies

**Emission Reduction Approaches (2004-2006)\***

- Through a public process, consider development and/or amendment of regulations and related guidance to reduce emissions, exposure, and health risk at a statewide and local level for the following sources:
  - Diesel PM sources such as stationary diesel engines, transport refrigeration units, portable diesel engines, on-road public fleets, off-road public fleets, heavy-duty diesel truck idling, harbor craft vessels, waste haulers
  - Other air toxics sources, such as formaldehyde in composite wood products, hexavalent chromium for chrome plating and chromic acid anodizing, thermal spraying, and perchloroethylene dry cleaning
- Develop technical information for the following:
  - Distribution centers
  - Modeling tools such as HARP and CHAPIS
- Adopt rules and pollution prevention initiatives within legal authority to reduce emissions from mobile sources and fuels, and consumer products
- Develop and maintain Air Quality Handbook as a tool for use by land use agencies and local air districts to address cumulative air pollution impacts

**Other Approaches**

- Establish guidelines for use of statewide incentive funding for high priority mobile source emission reduction projects

\*Because ARB will continue to review the need to adopt or revise statewide measures, the information contained in this chart will be updated on an ongoing basis.

A number of ARB's diesel risk reduction strategies have been adopted. These include measures to reduce emissions from refuse haulers, urban buses, transport refrigeration units, stationary and portable diesel engines, and idling trucks and school buses. These sources are all important from a community perspective.<sup>18</sup>

<sup>18</sup> The reader can refer to ARB's website for information on its mobile source-related programs at: <http://www.arb.ca.gov/msprog/msprog.htm>, as well as regulations adopted and under consideration as part of the Diesel Risk Reduction Program at: <http://www.arb.ca.gov/diesel/dieselrrp.htm>

The ARB will continue to evaluate the health effects of air pollutants while implementing programs with local air districts to reduce air pollution in all California communities.

Local air districts also have ambitious programs to reduce criteria pollutants and air toxics from regulated sources in their region. Many of these programs also benefit air quality in local communities as well as in the broader region. For more information on what is being done in your area to reduce cumulative air pollution impacts through air pollution control programs, you should contact your local air district.<sup>19</sup>

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<sup>19</sup> Local air district contacts can be found on the inside cover to this Handbook.

## **7. Ways to Enhance Meaningful Public Participation**

Community involvement is an important part of the land use process. The public is entitled to the best possible information about the air they breathe and what is being done to prevent or reduce unhealthy air pollution in their communities. In particular, information on how land use decisions can affect air pollution and public health should be made accessible to all communities, including low-income and minority communities.

Effective community participation consistently relies on a two-way flow of information – from public agencies to community members about opportunities, constraints, and impacts, and from community members back to public officials about needs, priorities, and preferences. The outreach process needed to build understanding and local neighborhood involvement requires data, methodologies, and formats tailored to the needs of the specific community. More importantly, it requires the strong collaboration of local government agencies that review and approve projects and land uses to improve the physical and environmental surroundings of the local community.

Many land use agencies, especially those in major metropolitan areas, are familiar with, and have a long-established public review process. Nevertheless, public outreach can often be improved. Active public involvement requires engaging the public in ways that do not require their previous interest in or knowledge of the land use or air pollution control requirements, and a commitment to taking action where appropriate to address the concerns that are raised.

### **■ Direct Community Outreach**

In conjunction with local air districts, land use agencies should consider designing an outreach program for community groups, other stakeholders, and local government agency staffs that address the problem of cumulative air pollution impacts, and the public and government role in reducing them. Such a program could consider analytical tools that assist in the preparation and presentation of information in a way that supports sensible decision-making and public involvement. Table 7-1 contains some general outreach approaches that might be considered.

**Table 7-1  
Public Participation Approaches**

- Staff and community leadership awareness training on environmental justice programs and community-based issues
- Surveys to identify the website information needs of interested community-based organizations and other stakeholders
- Information materials on local land use and air district authorities
- Community-based councils to facilitate and invite resident participation in the planning process
- Neighborhood CEQA scoping sessions that allows for community input prior to technical analysis
- Public information materials on siting issues are under review including materials written for the affected community, and in different media that widens accessibility
- Public meetings
- Identify other opportunities to include community-based organizations in the process

To improve outreach, local land use agencies should consider the following activities:

- Hold meetings in communities affected by agency programs, policies, and projects at times and in places that encourage public participation, such as evenings and weekends at centrally located community meeting rooms, libraries, and schools.
- Assess the need for and provide translation services at public meetings.
- Hold community meetings to update residents on the results of any special air monitoring programs conducted in their neighborhood.
- Hold community meetings to discuss and evaluate the various options to address cumulative impacts in their community.
- In coordination with local air districts, make staff available to attend meetings of community organizations and neighborhood groups to listen to and, where appropriate, act upon community concerns.
- Establish a specific contact person for environmental justice issues.
- Increase student and community awareness of local government land use activities and policies through outreach opportunities.
- Make air quality and land use information available to communities in an easily understood and useful format, including fact sheets, mailings, brochures, public service announcements, and web pages, in English and other languages.
- On the local government web-site, dedicate a page or section to what the land use program is doing regarding environmental justice and cumulative environmental impacts, and, as applicable, activities conducted with local air districts such as neighborhood air monitoring studies, pollution prevention, air pollution sources in neighborhoods, and risk reduction.

- Allow, encourage, and promote community access to land use activities, including public meetings, General Plan or Community Plan updates, zoning changes, special studies, CEQA reviews, variances, etc.
  - Distribute information in multiple languages, as needed, on how to contact the land use agency or local air district to obtain information and assistance regarding environmental justice programs, including how to participate in public processes.
  - Create and distribute a simple, easy-to-read, and understandable public participation handbook, which may be based on the “Public Participation Guidebook” developed by ARB.
- **Other Opportunities for Meaningful Public Outreach**
- Community-Based Planning Committees

Neighborhood-based or community planning advisory councils could be established to invite and facilitate direct resident participation into the planning process. With the right training and technical assistance, such councils can provide valuable input and a forum for the review of proposed amendments to plans, zone changes, land use permits, and suggestions as to how best to prevent or reduce cumulative air pollution impacts in their community.

- Regional Partnerships

Consider creating regional coalitions of key growth-related organizations from both the private and public sectors, with corporations, communities, other jurisdictions, and government agencies. Such partnerships could facilitate agreement on common goals and win-win solutions tailored specifically for the region. With this kind of dialogue, shared vision, and collaboration, barriers can be overcome and locally acceptable sustainable solutions implemented. Over the long term, such strategies will help to bring about clean air in communities as well as regionally.

**LAND USE CLASSIFICATIONS AND ASSOCIATED FACILITY CATEGORIES  
THAT COULD EMIT AIR POLLUTANTS**

<b>(1) Land Use Classifications – by Activity<sup>i</sup></b>	<b>(2) Facility or Project Examples</b>	<b>(3) Key Pollutants<sup>ii,iii</sup></b>	<b>(4) Air Pollution Permits<sup>iv</sup></b>
<b>COMMERCIAL/ LIGHT INDUSTRIAL: SHOPPING, BUSINESS, AND COMMERCIAL</b>			
▲ Primarily retail shops and stores, office, commercial activities, and light industrial or small business	Dry cleaners; drive-through restaurants; gas dispensing facilities; auto body shops; metal plating shops; photographic processing shops; textiles; apparel and furniture upholstery; leather and leather products; appliance repair shops; mechanical assembly cleaning; printing shops	VOCs, air toxics, including diesel PM, NOx, CO, SOx	Limited; Rules for applicable equipment
▲ Goods storage or handling activities, characterized by loading and unloading goods at warehouses, large storage structures, movement of goods, shipping, and trucking.	Warehousing; freight-forwarding centers; drop-off and loading areas; distribution centers	VOCs, air toxics, including diesel PM, NOx, CO, SOx	No <sup>v</sup>
<b>LIGHT INDUSTRIAL: RESEARCH AND DEVELOPMENT</b>			
▲ Medical waste at research hospitals and labs	Incineration; surgical and medical instrument manufacturers, pharmaceutical manufacturing, biotech research facilities	Air toxics, NOx, CO, SOx	Yes
▲ Electronics, electrical apparatus, components, and accessories	Computer manufacturer; integrated circuit board manufacturer; semiconductor production	Air toxics, VOCs	Yes
▲ College or university lab or research center	Medical waste incinerators; lab chemicals handling, storage and disposal	Air toxics, NOx, CO, SOx, PM10	Yes
▲ Research and development labs	Satellite manufacturer; fiber-optics manufacturer; defense contractors; space research and technology; new vehicle and fuel testing labs	Air toxics, VOCs	Yes
▲ Commercial testing labs	Consumer products; chemical handling, storage and disposal	Air toxics, VOCs	Yes

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(1) Land Use Classifications – by Activity <sup>i</sup>	(2) Facility or Project Examples	(3) Key Pollutants <sup>ii,iii</sup>	(4) Air Pollution Permits <sup>iv</sup>
<b>INDUSTRIAL: NON-ENERGY-RELATED</b>			
▲ Assembly plants, manufacturing facilities, industrial machinery	Adhesives; chemical; textiles; apparel and furniture upholstery; clay, glass, and stone products production; asphalt materials; cement manufacturers, wood products; paperboard containers and boxes; metal plating; metal and canned food product fabrication; auto manufacturing; food processing; printing and publishing; drug, vitamins, and pharmaceuticals; dyes; paints; pesticides; photographic chemicals; polish and wax; consumer products; metal and mineral smelters and foundries; fiberboard; floor tile and cover; wood and metal furniture and fixtures; leather and leather products; general industrial and metalworking machinery; musical instruments; office supplies; rubber products and plastics production; saw mills; solvent recycling; shingle and siding; surface coatings	VOCs, air toxics, including diesel PM, NOx, PM, CO, SOx	Yes
<b>INDUSTRIAL: ENERGY AND UTILITIES</b>			
▲ Water and sewer operations	Pumping stations; air vents; treatment	VOCs, air toxics, NOx, CO, SOx, PM10	Yes
▲ Power generation and distribution	Power plant boilers and heaters; portable diesel engines; gas turbine engines	NOx, diesel PM, NOx, CO, SOx, PM10, VOCs	Yes
▲ Refinery operations	Refinery boilers and heaters; coke cracking units; valves and flanges; flares	VOCs, air toxics, including diesel PM, NOx, CO, SOx, PM10	Yes
▲ Oil and gas extraction	Oil recovery systems; uncovered wells	NOx, diesel PM, VOCs, CO, SOx, PM10	Yes
▲ Gasoline storage, transmission, and marketing	Above and below ground storage tanks; floating roof tanks; tank farms; pipelines	VOCs, air toxics, including diesel PM, NOx, CO, SOx, PM10	Yes
▲ Solid and hazardous waste treatment, storage, and disposal activities.	Landfills; methane digester systems; process recycling facility for concrete and asphalt materials	VOCs, air toxics, NOx, CO, SOx, PM10	Yes
<b>CONSTRUCTION (NON-TRANSPORTATION)</b>			
	Building construction; demolition sites	PM (re-entrained road dust), asbestos, diesel PM, NOx, CO, SOx, PM10, VOCs	Limited; state and federal off-road equipment standards

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(1) Land Use Classifications – by Activity <sup>i</sup>	(2) Facility or Project Examples	(3) Key Pollutants <sup>ii,iii</sup>	(4) Air Pollution Permits <sup>iv</sup>
<b>DEFENSE</b>			
	Ordnance and explosives demolition; range and testing activities; chemical production; degreasing; surface coatings; vehicle refueling; vehicle and engine operations and maintenance	VOCs, air toxics, including diesel PM, NOx, CO, SOx, PM10	Limited; prescribed burning; equipment and solvent rules
<b>TRANSPORTATION</b>			
▲ Vehicular movement	Residential area circulation systems; parking and idling at parking structures; drive-through establishments; car washes; special events; schools; shopping malls, etc.	VOCs, NOx, PM (re-entrained road dust) air toxics e.g., benzene, diesel PM, formaldehyde, acetaldehyde, 1,3 butadiene, CO, SOx, PM10	No
▲ Road construction and surfacing	Street paving and repair; new highway construction and expansion	VOCs, air toxics, including diesel PM, NOx, CO, SOx, PM10	No
▲ Trains	Railroads; switch yards; maintenance yards	VOCs, NOx, CO, SOx, PM10, air toxics, including diesel PM	Limited; Applicable state and federal MV standards, and possible equipment rules
▲ Marine and port activities	Recreational sailing; commercial marine operations; hotelling operations; loading and un-loading; servicing; shipping operations; port or marina expansion; truck idling		
▲ Aircraft	Takeoff, landing, and taxiing; aircraft maintenance; ground support activities		
▲ Mass transit and school buses	Bus repair and maintenance		
<b>NATURAL RESOURCES</b>			
▲ Farming operations	Agricultural burning; diesel operated engines and heaters; small food processors; pesticide application; agricultural off-road equipment	Diesel PM, VOCs, NOx, PM10, CO, SOx, pesticides	Limited <sup>vi</sup> ; Agricultural burning requirements, applicable state and federal mobile source standards; pesticide rules
▲ Livestock and dairy operations	Dairies and feed lots	Ammonia, VOCs, PM10	Yes <sup>vii</sup>
▲ Logging	Off-road equipment e.g., diesel fueled chippers, brush hackers, etc.	Diesel PM, NOx, CO, SOx, PM10, VOCs	Limited; Applicable state/federal mobile source standards
▲ Mining operations	Quarrying or stone cutting; mining; drilling or dredging	PM10, CO, SOx, VOCs, NOx, and asbestos in some geographical areas	Applicable equipment rules and dust controls

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(1) Land Use Classifications – by Activity <sup>i</sup>	(2) Facility or Project Examples	(3) Key Pollutants <sup>ii,iii</sup>	(4) Air Pollution Permits <sup>iv</sup>
<b>RESIDENTIAL</b>			
Housing	Housing developments; retirement developments; affordable housing	Fireplace emissions (PM10, NOx, VOCs, CO, air toxics); Water heater combustion (NOx, VOCs, CO)	No <sup>vii</sup>
<b>ACADEMIC AND INSTITUTIONAL</b>			
▲ Schools, including school-related recreational activities	Schools; school yards; vocational training labs/classrooms such as auto repair/painting and aviation mechanics	Air toxics	Yes/No <sup>viii</sup>
▲ Medical waste	Incineration	Air toxics, NOx, CO, PM10	Yes
▲ Clinics, hospitals, convalescent homes		Air toxics	Yes

<sup>i</sup> These classifications were adapted from the American Planning Association's "Land Based Classification Standards." The Standards provide a consistent model for classifying land uses based on their characteristics. The model classifies land uses by refining traditional categories into multiple dimensions, such as activities, functions, building types, site development character, and ownership constraints. Each dimension has its own set of categories and subcategories. These multiple dimensions allow users to have precise control over land-use classifications. For more information, the reader should refer to the Association's website at <http://www.planning.org/LBCS/GeneralInfo/>.

<sup>ii</sup> This column includes key criteria pollutants and air toxic contaminants that are most typically associated with the identified source categories.

Additional information on specific air toxics that are attributed to facility categories can be found in ARB's Emission Inventory Criteria and Guidelines Report for the Air Toxics Hot Spots Program (May 15, 1997). This information can be viewed at ARB's web site at <http://www.arb.ca.gov/ab2588/final96/guide96.pdf>.

Criteria air pollutants are those air pollutants for which acceptable levels of exposure can be determined and for which an ambient air quality standard has been set. Criteria pollutants include ozone (formed by the reaction of volatile organic compounds and nitrogen oxides in the presence of sunlight), particulate matter, nitrogen dioxide, sulfur dioxide, carbon monoxide, and lead.

Volatile organic compounds (VOCs) combine with nitrogen oxides to form ozone, as well as particulate matter. VOC emissions result primarily from incomplete fuel combustion and the evaporation of chemical solvents and fuels. On-road mobile sources are the largest contributors to statewide VOC emissions. Stationary sources of VOC emissions include processes that use solvents (such as dry-cleaning, degreasing, and coating operations) and petroleum-related processes (such as petroleum refining, gasoline marketing and dispensing, and oil and gas extraction). Areawide VOC sources include consumer products, pesticides, aerosols and paints, asphalt paving and roofing, and other evaporative emissions.

Nitrogen oxides (NOx) are a group of gaseous compounds of nitrogen and oxygen, many of which contribute to the formation of ozone and particulate matter. Most NOx emissions are produced by the combustion of fuels. Mobile sources make up about 80 percent of the total statewide NOx emissions. Mobile sources include on-road vehicles and trucks, aircraft, trains, ships, recreational boats, industrial and construction equipment, farm

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equipment, off-road recreational vehicles, and other equipment. Stationary sources of NOx include both internal and external combustion processes in industries such as manufacturing, food processing, electric utilities, and petroleum refining. Areawide source, which include residential fuel combustion, waste burning, and fires, contribute only a small portion of the total statewide NOx emissions, but depending on the community, may contribute to a cumulative air pollution impact.

Particulate matter (PM) refers to particles small enough to be breathed into the lungs (under 10 microns in size). It is not a single substance, but a mixture of a number of highly diverse types of particles and liquid droplets. It can be formed directly, primarily as dust from vehicle travel on paved and unpaved roads, agricultural operations, construction and demolition.

Carbon monoxide (CO) is a colorless and odorless gas that is directly emitted as a by-product of combustion. The highest concentrations are generally associated with cold stagnant weather conditions that occur during winter. CO problems tend to be localized.

An Air Toxic Contaminant (air toxic) is defined as an air pollutant that may cause or contribute to an increase in mortality or in serious illness, or which may pose a present or potential hazard to human health. Similar to criteria pollutants, air toxics are emitted from stationary, areawide, and mobile sources. They contribute to elevated regional and localized risks near industrial and commercial facilities and busy roadways. The ten compounds that pose the greatest statewide risk are: acetaldehyde; benzene; 1,3-butadiene; carbon tetrachloride; diesel particulate matter (diesel PM); formaldehyde; hexavalent chromium; methylene chloride; para-dichlorobenzene; and perchloroethylene. The risk from diesel PM is by far the largest, representing about 70 percent of the known statewide cancer risk from outdoor air toxics. The exhaust from diesel-fueled engines is a complex mixture of gases, vapors, and particles, many of which are known human carcinogens. Diesel PM is emitted from both mobile and stationary sources. In California, on-road diesel-fueled vehicles contribute about 26 percent of statewide diesel PM emissions, with an additional 72 percent attributed to other mobile sources such as construction and mining equipment, agricultural equipment, and other equipment. Stationary engines in shipyards, warehouses, heavy equipment repair yards, and oil and gas production operations contribute about two percent of statewide emissions. However, when this number is disaggregated to a sub-regional scale such as neighborhoods, the risk factor can be far greater.

<sup>iii</sup> The level of pollution emitted is a major determinant of the significance of the impact.

<sup>iv</sup> Indicates whether facility activities listed in column 4 are generally subject to local air district permits to operate. This does not include regulated products such as solvents and degreasers that may be used by sources that may not require an operating permit per se, e.g., a gas station or dry cleaner.

<sup>v</sup> Generally speaking, warehousing or distribution centers are not subject to local air district permits. However, depending on the district, motor vehicle fleet rules may apply to trucks or off-road vehicles operated and maintained by the facility operator. Additionally, emergency generators or internal combustion engines operated on the site may require an operating permit.

<sup>vi</sup> Authorized by recent legislation SB700.

<sup>vii</sup> Local air districts do not require permits for woodburning fireplaces inside private homes. However, some local air districts and land use agencies do have rules or ordinances that require new housing developments or home re-sales to install U.S. EPA –certified stoves. Some local air districts also ban residential woodburning during weather inversions that concentrate smoke in residential areas. Likewise, home water heaters are not subject to permits; however, new heaters could be subject to emission limits that are imposed by federal or local agency regulations.

<sup>viii</sup> Technical training schools that conduct activities normally permitted by a local air district could be subject to an air permit.



**LAND USE-BASED REFERENCE TOOLS TO EVALUATE  
NEW PROJECTS FOR POTENTIAL AIR POLLUTION IMPACTS**

Land use agencies generally have a variety of tools and approaches at hand, or accessible from local air districts that can be useful in performing an analysis of potential air pollution impacts associated with new projects. These tools and approaches include:

- Base map of the city or county planning area and terrain elevations.
- General Plan designations of land use (existing and proposed).
- Zoning maps.
- Land use maps that identify existing land uses, including the location of facilities that are permitted or otherwise regulated by the local air district. Land use agencies should consult with their local air district for information on regulated facilities.
- Demographic data, e.g., population location and density, distribution of population by income, distribution of population by ethnicity, and distribution of population by age. The use of population data is a normal part of the planning process. However, from an air quality perspective, socioeconomic data is useful to identify potential community health and environmental justice issues.
- Emissions, monitoring, and risk-based maps created by the ARB or local air districts that show air pollution-related health risk by community across the state.
- Location of public facilities that enhance community quality of life, including parks, community centers, and open space.
- Location of industrial and commercial facilities and other land uses that use hazardous materials, or emit air pollutants. These include chemical storage facilities, hazardous waste disposal sites, dry cleaners, large gas dispensing facilities, auto body shops, and metal plating and finishing shops.
- Location of sources or facility types that result in diesel on-road and off-road emissions, e.g., stationary diesel power generators, forklifts, cranes, construction equipment, on-road vehicle idling, and operation of transportation refrigeration units. Distribution centers, marine terminals and ports, rail yards, large industrial facilities, and facilities that handle bulk goods are all examples of complex facilities where these types of emission sources are frequently concentrated.<sup>1</sup> Very large facilities, such as ports, marine terminals, and airports, could be analyzed regardless of proximity to a receptor if they are within the modeling area.
- Location and zoning designations for existing and proposed schools, buildings, or outdoor areas where sensitive individuals may live or play.
- Location and density of existing and proposed residential development.
- Zoning requirements, property setbacks, traffic flow requirements, and idling restrictions for trucks, trains, yard hostlers<sup>2</sup>, construction equipment, or school buses.
- Traffic counts (including diesel truck traffic counts), within a community to validate or augment existing regional motor vehicle trip and speed data.

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<sup>1</sup> The ARB is currently evaluating the types of facilities that may act as complex point sources and developing methods to identify them.

<sup>2</sup> Yard hostler means a tractor less than 300 horsepower that is used to transfer semi-truck or tractor-trailer containers in and around storage, transfer, or distribution yards or areas and is often equipped with a hydraulic lifting fifth wheel for connection to trailer containers.



**ARB AND LOCAL AIR DISTRICT INFORMATION AND TOOLS  
CONCERNING CUMULATIVE AIR POLLUTION IMPACTS**

It is the ARB's policy to support research and data collection activities toward the goal of reducing cumulative air pollution impacts. These efforts include updating and improving the air toxics emissions inventory, performing special air monitoring studies in specific communities, and conducting a more complete assessment of non-cancer health effects associated with air toxics and criteria pollutants.<sup>1</sup> This information is important because it helps us better understand links between air pollution and the health of sensitive individuals -- children, the elderly, and those with pre-existing serious health problems affected by air quality.

ARB is working with CAPCOA and OEHHA to improve air pollutant data and evaluation tools to determine when and where cumulative air pollution impacts may be a problem. The following provides additional information on this effort.

**How are emissions assessed?**

Detailed information about the sources of air pollution in an area is collected and maintained by local air districts and the ARB in what is called an emission inventory. Emission inventories contain information about the nature of the business, the location, type and amount of air pollution emitted, the air pollution-producing processes, the type of air pollution control equipment, operating hours, and seasonal variations in activity. Local districts collect emission inventory data for most stationary source categories.

Local air districts collect air pollution emission information directly from facilities and businesses that are required to obtain an air pollution operating permit. Local air districts use this information to compile an emission inventory for areas within their jurisdiction. The ARB compiles a statewide emission inventory based on the information collected by the ARB and local air districts. Local air districts provide most of the stationary source emission data, and ARB provides mobile source emissions as well as some areawide emission sources such as consumer products and paints. ARB is also developing map-based tools that will display information on air pollution sources.

Criteria pollutant data have been collected since the early 1970's, and toxic pollutant inventories began to be developed in the mid-1980's.

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<sup>1</sup> A criteria pollutant is any air pollutant for which EPA has established a National Ambient Air Quality Standard or for which California has established a State Ambient Air Quality Standard, including: carbon monoxide, lead, nitrogen oxides, ozone, particulates and sulfur oxides. Criteria pollutants are measured in each of California's air basins to determine whether the area meets or does not meet specific federal or state air quality standards. Air toxics or air toxic contaminants are listed pollutants recognized by California or EPA as posing a potential risk to health.

### **How is the toxic emission inventory developed?**

Emissions data for toxic air pollutants is a high priority for communities because of concerns about potential health effects. Most of ARB's air toxics data is collected through the toxic "Hot Spots" program. Local air districts collect emissions data from industrial and commercial facilities. Facilities that exceed health-based thresholds are required to report their air toxics emissions as part of the toxic "Hot Spots" program and update their emissions data every four years. Facilities are required to report their air toxics emissions data if there is an increase that would trigger the reporting threshold of the hotspots program. Air toxics emissions from motor vehicles and consumer products are estimated by the ARB. These estimates are generally regional in nature, reflecting traffic and population.

The ARB also maintains chemical speciation profiles that can be used to estimate toxics emissions when no toxic emissions data is available.

### **What additional toxic emissions information is needed?**

In order to assess cumulative air pollution impacts, updated information from individual facilities is needed. Even for sources where emissions data are available, additional information such as the location of emissions release points is often needed to better model cumulative impacts. In terms of motor vehicles, emissions data are currently based on traffic models that only contain major roads and freeways. Local traffic data are needed so that traffic emissions can be more accurately assigned to specific streets and roads. Local information is also needed for off-road emission sources, such as ships, trains, and construction equipment. In addition, hourly maximum emissions data are needed for assessing acute air pollution impacts.

### **What work is underway?**

ARB is working with CAPCOA to improve toxic emissions data, developing a community health air pollution information system to improve access to emission information, conducting neighborhood assessment studies to better understand toxic emission sources, and conducting surveys of sources of toxic pollutants.

### **How is air pollution monitored?**

While emissions data identify how much air pollution is going into the air, the state's air quality monitoring network measures air pollutant levels in outdoor air. The statewide air monitoring network is primarily designed to measure regional exposure to air pollutants, and consists of more than 250 air monitoring sites.

The air toxics monitoring network consists of approximately 20 permanent sites. These sites are supplemented by special monitoring studies conducted by ARB and local air districts. These sites measure approximately sixty toxic air pollutants. Diesel PM, which is the major driver of urban air toxic risk, is not monitored directly. Ten of the

60 toxic pollutants, not including diesel, account for most of the remaining potential cancer risk in California urban areas.

### **What additional monitoring has been done?**

Recently, additional monitoring has been done to look at air quality at the community level. ARB's community monitoring was conducted in six communities located throughout the state. Most sites were in low-income, minority communities located near major sources of air pollution, such as refineries or freeways. The monitoring took place for a year or more in each community, and included measurements of both criteria and toxic pollutants.

### **What is being learned from community monitoring?**

In some cases, the ARB or local air districts have performed air quality monitoring or modeling studies covering a particular region of the state. When available, these studies can give information about regional air pollution exposures.

The preliminary results of ARB's community monitoring are providing insights into air pollution at the community level. Urban background levels are a major contributor to the overall risk from air toxics in urban areas, and this urban background tends to mask the differences between communities. When localized elevated air pollutant levels were measured, they were usually associated with local ground-level sources of toxic pollutants. The most common source of this type was busy streets and freeways. The impact these ground-level sources had on local air quality decreased rapidly with distance from the source. Pollutant levels usually returned to urban background levels within a few hundred meters of the source.

These results indicate that tools to assess cumulative impacts must be able to account for both localized, near-source impacts, as well as regional background air pollution. The tools that ARB is developing for this purpose are air quality models.

### **How can air quality modeling be used?**

While air monitoring can directly measure cumulative exposure to air pollution, it is limited because all locations cannot be monitored. To address this, air quality modeling provides the capability to estimate exposure when air monitoring is not feasible. Air quality modeling can be refined to assess local exposure, identify locations of potential hot spots, and identify the relative contribution of emission sources to exposure at specific locations. The ARB has used this type of information to develop regional cumulative risk maps that estimate the cumulative cancer air pollution risk for most of California. While these maps only show one air pollution-related health risk, it does provide a useful starting point.

**What is needed for community modeling?**

Air quality models have been developed to assess near-source impacts, but they have very exacting data requirements. These near-source models estimate the impact of local sources, but do not routinely include the contribution from regional air pollution background. To estimate cumulative air pollution exposure at a neighborhood scale, a modeling approach needs to combine features of both micro-scale and regional models.

In addition, improved methods are needed to assess near-source impacts under light and variable wind conditions, when high local concentrations are more likely to occur. A method for modeling long-term exposure to air pollutants near freeways and other high traffic areas is also needed.

**What modeling work has ARB developed?**

A key component of ARB's Community Health Program is the Neighborhood Assessment Program (NAP). As described later in this section, the NAP studies are being conducted to better understand pollution impacts at the community level. Through two such studies conducted in Barrio Logan (San Diego) and Wilmington (Los Angeles), ARB is refining community-level modeling methodologies. Regional air toxics modeling is also being performed to better understand regional air pollution background levels.

In a parallel effort, ARB is developing modeling protocols for estimating cumulative emissions, exposure, and risk from air pollution. The protocols will cover modeling approaches and uncertainties, procedures for running the models, the development of statewide risk maps, and methods for estimating health risks. The protocols are subject to an extensive peer review process prior to release.

**How are air pollution impacts on community health assessed?**

On a statewide basis, ARB's toxic air contaminant program identifies and reduces public exposure to air toxics. The focus of the program has been on reducing potential cancer risk, because monitoring results show potential urban cancer risk levels are too high. ARB has also looked for potential non-cancer risks based on health reference levels provided by OEHHA. On a regional basis, the pollutants measured in ARB's toxic monitoring network are generally below the OEHHA non-cancer reference exposure levels.

As part of its community health program, the ARB is looking at potential cancer and non-cancer risk. This could include chronic or acute health effects. If the assessment work shows elevated exposures on a localized basis, ARB will work with OEHHA to assess the health impacts.

**What tools has ARB developed to assess cumulative air pollution impacts?**

ARB has developed the following tools and reports to assist land use agencies and local air districts assess and reduce cumulative emissions, exposure, and risk on a neighborhood scale.

**Statewide Risk Maps**

ARB has produced regional risk maps that show the statewide trends for Southern and Central California in estimated potential cancer risk from air toxics between 1990 and 2010.<sup>2</sup> These maps will supplement U.S. EPA's ASPEN model and are available on the ARB's Internet site. These maps are best used to obtain an estimate of the regional background air pollution health risk and are not detailed enough to estimate the exact risk at a specific location.

ARB also has maps that focus in more detail on smaller areas that fall within the Southern and Central California regions for these same modeled years. The finest visual resolution available in the maps on this web site is two by two kilometers. These maps are not detailed enough to assess individual neighborhoods or facilities.

**Community Health Air Pollution Information System (CHAPIS)**

CHAPIS is an Internet-based procedure for displaying information on emissions from sources of air pollution in an easy to use mapping format. CHAPIS uses Geographical Information System (GIS) software to deliver interactive maps over the Internet. CHAPIS relies on emission estimates reported to the ARB's emission inventory database - California Emissions Inventory Development and Reporting System, or CEIDARS.

Through CHAPIS, air district staff can quickly and easily identify pollutant sources and emissions within a specified area. CHAPIS contains information on air pollution emissions from selected large facilities and small businesses that emit criteria and toxic air pollutants. It also contains information on air pollution emissions from motor vehicle and areawide emissions. CHAPIS does not contain information on every source of air pollution or every air pollutant. It is a major long-term objective of CHAPIS to include all of the largest air pollution sources and those with the highest documented air pollution risk. CHAPIS will be updated on a periodic basis and additional facilities will be added to CHAPIS as more data becomes available.

CHAPIS is being developed in stages to assure data quality. The initial release of CHAPIS will include facilities emitting 10 or more tons per year of nitrogen oxides, sulfur dioxide, carbon monoxide, PM10, or reactive organic gases; air toxics from refineries and power plants of 50 megawatts or more; and facilities that conducted health risk

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<sup>2</sup>ARB maintains state trends and local potential cancer risk maps that show statewide trends in potential inhalable cancer risk from air toxics between 1990 and 2010. This information can be viewed at ARB's web site at <http://www.arb.ca.gov/toxics/cti/hlthrisk/hlthrisk.htm>)

assessments under the California Air Toxics “Hot Spots” Information and Assessment Program.<sup>3</sup>

CHAPIS can be used to identify the emission contributions from mobile, area, and point sources on that community.

### **“Hot Spots” Analysis and Reporting Program (HARP)**

HARP<sup>4</sup> is a software package available from the ARB and is designed with air quality professionals in mind. It models emissions and release data from one or more facilities to estimate the potential health risk posed by the selected facilities on the neighboring community. HARP uses the latest risk assessment guidelines published by OEHHA.

With HARP, a user can perform the following tasks:

- Create and manage facility databases;
- Perform air dispersion modeling;
- Conduct health risk analyses;
- Output data reports; and
- Output results to GIS mapping software.

HARP can model downwind concentrations of air toxics based on the calculated emissions dispersion at a single facility. HARP also has the capability of assessing the risk from multiple facilities, and for multiple locations of concern near those facilities. While HARP has the capability to assess multiple source impacts, there had been limited application of the multiple facility assessment function in the field at the time of HARP’s debut in 2003. HARP can also evaluate multi-pathway, non-inhalation health risk resulting from air pollution exposure, including skin and soil exposure, and ingestion of meat and vegetables contaminated with air toxics, and other toxics that have accumulated in a mother’s breast milk.

### **Neighborhood Assessment Program (NAP)**

The NAP<sup>5</sup> has been a key component of ARB’s Community Health Program. It includes the development of tools that can be used to perform assessments of cumulative air pollution impacts on a neighborhood scale. The NAP studies have been done to better understand how air pollution affects individuals at the neighborhood level. Thus far, ARB has conducted neighborhood scale assessments in Barrio Logan and Wilmington.

As part of these studies, ARB is collecting data and developing a modeling protocol that can be used to conduct cumulative air pollution impact assessments. Initially these

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<sup>3</sup> California Health & Safety Code section 44300, et seq.

<sup>4</sup> More detailed information can be found on ARB’s website at:

<http://www.arb.ca.gov/toxics/harp/harp.htm>

<sup>5</sup> For more information on the Program, please refer to: <http://www.arb.ca.gov/ch/programs/nap/nap.htm>

assessments will focus on cumulative inhalation cancer health risk and chronic non-cancer impacts. The major challenge is developing modeling methods that can combine both regional and localized air pollution impacts, and identifying the critical data necessary to support these models. The objective is to develop methods and tools from these studies that can ultimately be applied to other areas of the state. In addition, the ARB plans to use these methods to replace the ASPEN regional risk maps currently posted on the ARB Internet site.

### **Urban Emissions Model (URBEMIS)**

URBEMIS<sup>6</sup> is a computer program that can be used to estimate emissions associated with land development projects in California such as residential neighborhoods, shopping centers, office buildings, and construction projects. URBEMIS uses emission factors available from the ARB to estimate vehicle emissions associated with new land uses. URBEMIS estimates sulfur dioxide emissions from motor vehicles in addition to reactive organic gases, nitrogen oxides, carbon monoxide, and PM10.

### **Land-Use Air Quality Linkage Report<sup>7</sup>**

This report summarizes data currently available on the relationships between land use, transportation and air quality. It also highlights strategies that can help to reduce the use of the private automobile. It also briefly summarizes two ARB-funded research projects. The first project analyzes the travel patterns of residents living in five higher density, mixed use neighborhoods in California, and compares them to travel in more auto-oriented areas. The second study correlates the relationship between travel behavior and community characteristics, such as density, mixed land uses, transit service, and accessibility for pedestrians.

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<sup>6</sup> For more information on this model, please refer to ARB's website at <http://www.arb.ca.gov/html/soft.htm>.

<sup>7</sup>To access this report, please refer to ARB's website or click on: <http://www.arb.ca.gov/ch/programs/link97.pdf>



## LAND USE AND AIR QUALITY AGENCY ROLES IN THE LAND USE PROCESS

A wide variety of federal, state, and local government agencies are responsible for regulatory, planning, and siting decisions that can have an impact on air pollution. They include local land use agencies, regional councils of government, school districts, local air districts, ARB, the California Department of Transportation (Caltrans), and the Governor's Office of Planning and Research (OPR) to name a few. This Section will focus on the roles and responsibilities of local and state agencies. The role of school districts will be discussed in Appendix E.

### Local Land Use Agencies

Under the State Constitution, land use agencies have the primary authority to plan and control land use.<sup>1</sup> Each of California's incorporated cities and counties are required to adopt a comprehensive, long-term General Plan.<sup>2</sup>

The General Plan's long-term goals are implemented through zoning ordinances. These are local laws adopted by counties and cities that describe for specific areas the kinds of development that will be allowed within their boundaries.

Land use agencies are also the lead for doing environmental assessments under CEQA for new projects that may pose a significant environmental impact, or for new or revised General Plans.

### Local Agency Formation Commissions (LAFCOs)

Operating in each of California's 58 counties, LAFCOs are composed of local elected officials and public members who are responsible for coordinating changes in local governmental boundaries, conducting special studies that review ways to reorganize, simplify, and streamline governmental structures, and preparing a sphere of influence for each city and special district within each county. Each Commission's efforts are directed toward seeing that local government services are provided efficiently and economically while agricultural and open-space lands are protected. LAFCO decisions strive to balance the competing needs in California for efficient services, affordable housing, economic opportunity, and conservation of natural resources.

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<sup>1</sup> The legal basis for planning and land use regulation is the "police power" of the city or county to protect the public's health, safety and welfare. The California Constitution gives cities and counties the power to make and enforce all local police, sanitary and other ordinances and regulations not in conflict with general laws. State law reference: California Constitution, Article XI §7.

<sup>2</sup>OPR General Plan Guidelines, 2003:

[http://www.opr.ca.gov/planning/PDFs/General\\_Plan\\_Guidelines\\_2003.pdf](http://www.opr.ca.gov/planning/PDFs/General_Plan_Guidelines_2003.pdf)

## Councils of Government (COG)

COGs are organizations composed of local counties and cities that serve as a focus for the development of sound regional planning, including plans for transportation, growth management, hazardous waste management, and air quality. They can also function as the metropolitan planning organization for coordinating the region's transportation programs. COGs also prepare regional housing need allocations for updates of General Plan housing elements.

## Local Air Districts

Under state law, air pollution control districts or air quality management districts (local air districts) are the local government agencies responsible for improving air quality and are generally the first point of contact for resolving local air pollution issues or complaints. There are 35 local air districts in California<sup>3</sup> that have authority and primary responsibility for regional clean air planning. Local air districts regulate stationary sources of air pollutants within their jurisdiction including but not limited to industrial and commercial facilities, power plants, construction activities, outdoor burning, and other non-mobile sources of air pollution. Some local air districts also regulate public and private motor vehicle fleet operators such as public bus systems, private shuttle and taxi services, and commercial truck depots.

### ■ Regional Clean Air Plans

Local air districts are responsible for the development and adoption of clean air plans that protect the public from the harmful effects of air pollution. These plans incorporate strategies that are necessary to attain ambient air quality standards. Also included in these regional air plans are ARB and local district measures to reduce statewide emissions from mobile sources, consumer products, and industrial sources.

### ■ Facility-Specific Considerations

*Permitting.* In addition to the planning function, local air districts adopt and enforce regulations, issue permits, and evaluate the potential environmental impacts of projects.

Pollution is regulated through permits and technology-based rules that limit emissions from operating units within a facility or set standards that vehicle fleet operators must meet. Permits to construct and permits to operate contain very specific requirements and conditions that tell each regulated source what it must do to limit its air pollution in compliance with local air district rules, regulations, and state law. Prior to receiving a permit, new facilities must go through a New Source Review (NSR) process that establishes air pollution control requirements for the facility. Permit conditions are typically contained in the permit to operate and specify requirements that businesses must follow; these may include limits on the amount of pollution that can be emitted, the

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<sup>3</sup> Contact information for local air districts in California is listed in the front of this Handbook.

type of pollution control equipment that must be installed and maintained, and various record-keeping requirements.

Local air districts also notify the public about new permit applications for major new facilities, or major modifications to existing facilities that seek to locate within 1,000 feet of a school.

Local air districts can also regulate other types of sources to reduce emissions. These include regulations to reduce emissions from the following sources:

- hazardous materials in products used by industry such as paints, solvents, and degreasers;
- agricultural and residential burning;
- leaking gasoline nozzles at service stations;
- public fleet vehicles such as sanitation trucks and school buses; and
- fugitive or uncontrolled dust at construction sites.

However, while emissions from industrial and commercial sources are typically subject to the permit authority of the local air district, sensitive sites such as a day care center, convalescent home, or playground are not ordinarily subject to an air permit. Local air district permits address the air pollutant emissions of a project but not its location.

Under the state's air toxics program, local air districts regulate air toxic emissions by adopting ARB air toxic control measures, or more stringent district-specific requirements, and by requiring individual facilities to perform a health risk assessment if emissions at the source exceed district-specific health risk thresholds<sup>4, 5</sup> (See the section on ARB programs for a more detailed summary of this program).

One approach by which local air districts regulate air toxics emissions is through the "Hot Spots" program.<sup>6</sup> The risk assessments submitted by the facilities under this

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<sup>4</sup> Cal/EPA's Office of Environmental Health Hazard Assessment has published "A Guide to Health Risk Assessment" for lay people involved in environmental health issues, including policymakers, businesspeople, members of community groups, and others with an interest in the potential health effects of toxic chemicals. To access this information, please refer to <http://www.oehha.ca.gov/pdf/HRSGuide2001.pdf>

<sup>5</sup> Section 44306 of the California Health & Safety Code defines a health risk assessment as a detailed comprehensive analysis that a polluting facility uses to evaluate and predict the dispersion of hazardous substances in the environment and the potential for exposure of human populations, and to assess and quantify both the individual and population-wide health risks associated with those levels of exposure.

<sup>6</sup> AB-2588 (the Air Toxics "Hot Spots" Information and Assessment Act) requires local air districts to prioritize facilities by high, intermediate, and low priority categories to determine which must perform a health risk assessment. Each district is responsible for establishing the prioritization score threshold at which facilities are required to prepare a health risk assessment. In establishing priorities for each facility, local air districts must consider the potency, toxicity, quantity, and volume of hazardous materials released from the facility, the proximity of the facility to potential receptors, and any other factors that the district determines may indicate that the facility may pose a significant risk. All facilities within the highest category must prepare a health risk assessment. In addition, each district may require facilities in the intermediate and low priority categories to also submit a health risk assessment.

**Table D-1  
Local Sources of Air Pollution, Responsible Agencies,  
and Associated Regulatory Programs**

Source	Examples	Primary Agency	Applicable Regulations
Large Stationary	Refineries, power plants, chemical facilities, certain manufacturing plants	Local air districts	Operating permit rules Air Toxics “Hot Spots” Law (AB 2588) Local district rules Air Toxic Control Measures (ATCMs)* New Source Review rules Title V permit rules
Small Stationary	Dry cleaners, auto body shops, welders, chrome plating facilities, service stations, certain manufacturing plants	Local air districts	Operating permit conditions, Air Toxics “Hot Spots” Law (AB 2588) Local district rules ATCMs* New Source Review rules
Mobile (non-fleet)	Cars, trucks, buses	ARB	Emission standards Cleaner-burning fuels (e.g., unleaded gasoline, low-sulfur diesel) Inspection and repair programs (e.g., Smog Check)
Mobile Equipment	Construction equipment	ARB, U.S. EPA	ARB rules U.S. EPA rules
Mobile (fleet)	Truck depots, school buses, taxi services	Local air districts, ARB	Local air district rules ARB urban bus fleet rule
Areawide	Paints and consumer products such as hair spray and spray paint	Local air district, ARB	ARB rules Local air district rules

\*ARB adopts ATCMs, but local air districts have the responsibility to implement and enforce these measures or more stringent ones.

program are reviewed by OEHHA and approved by the local air district. Risk assessments are available by contacting the local air district.

**Enforcement.** Local air districts also take enforcement action to ensure compliance with air quality requirements. They enforce air toxic control measures, agricultural and residential burning programs, gasoline vapor control regulations, laws that prohibit air pollution nuisances, visible emission limits, and many other requirements designed to

clean the air. Local districts use a variety of enforcement tools to ensure compliance. These include notices of violation, monetary penalties, and abatement orders. Under some circumstances, a permit may be revoked.

### ■ Environmental Review

As required by the California Environmental Quality Act (CEQA), local air districts also review and comment on proposed land use plans and development projects that can have a significant effect on the environment or public health.<sup>7</sup>

### California Air Resources Board

The ARB is the air pollution control agency at the state level that is responsible for the preparation of air plans required by state and federal law. In this regard, it coordinates the activities of all local air districts to ensure all statutory requirements are met and to reduce air pollution emissions for sources under its jurisdiction.

Motor vehicles are the single largest emissions source category under ARB's jurisdiction as well as the largest overall emissions source statewide. ARB also regulates emissions from other mobile equipment and engines as well as emissions from consumer products such as hair sprays, perfumes, cleaners, and aerosol paints.

### Air Toxics Program

Under state law, the ARB has a critical role to play in the identification, prioritization, and control of air toxic emissions. The ARB statewide comprehensive air toxics program was established in the early 1980's. The Toxic Air Contaminant Identification and Control Act of 1983 (AB 1807, Tanner 1983) created California's program to reduce exposure to air toxics.<sup>8</sup> The Air Toxics "Hot Spots" Information and Assessment Act (Hot Spots program) supplements the AB 1807 program, by requiring a statewide air toxics inventory, notification of people exposed to a significant health risk, and facility plans to reduce these risks.

Under AB 1807, the ARB is required to use certain criteria to prioritize the identification and control of air toxics. In selecting substances for review, the ARB must consider criteria relating to emissions, exposure, and health risk, as well as persistence in the atmosphere, and ambient concentrations in the community. AB 1807 also requires the ARB to use available information gathered from the Hot Spots program when prioritizing compounds.

The ARB identifies pollutants as toxic air contaminants and adopts statewide air toxic control measures (ATCMs). Once ARB adopts an ATCM, local air districts must

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<sup>7</sup> Section 4 of this Handbook contains more information on the CEQA process.

<sup>8</sup> For a general background on California's air toxics program, the reader should refer to ARB's website at <http://www.arb.ca.gov/toxics/tac/appendxb.htm>.

implement the measure, or adopt and implement district-specific measures that are at least as stringent as the state standard. Taken in the aggregate, these ARB programs will continue to further reduce emissions, exposure, and health risk statewide.

With regard to the land use decision-making process, ARB, in conjunction with local air districts, plays an advisory role by providing technical information on land use-related air issues.

### **Other Agencies**

#### *Governor's Office of Planning and Research (OPR)*

In addition to serving as the Governor's advisor on land use planning, research, and liaison with local government, OPR develops and implements the state's policy on land use planning and coordinates the state's environmental justice programs. OPR updated its General Plan Guidelines in 2003 to highlight the importance of sustainable development and environmental justice policies in the planning process. OPR also advises project proponents and government agencies on CEQA provisions and operates the State Clearinghouse for environmental and federal grant documents.

#### *California Department of Housing and Community Development*

The Department of Housing and Community Development (HCD) administers a variety of state laws, programs and policies to preserve and expand housing opportunities, including the development of affordable housing. All local jurisdictions must update their housing elements according to a staggered statutory schedule, and are subject to certification by HCD. In their housing elements, cities and counties are required to include a land inventory which identifies and zones sites for future residential development to accommodate a mix of housing types, and to remove barriers to the development of housing.

An objective of state housing element law is to increase the overall supply and affordability of housing. Other fundamental goals include conserving existing affordable housing, improving the condition of the existing housing stock, removing regulatory barriers to housing production, expanding equal housing opportunities, and addressing the special housing needs of the state's most vulnerable residents (frail elderly, disabled, large families with children, farmworkers, and the homeless).

#### *Transportation Agencies*

Transportation agencies can also influence mobile source-related emissions in the land use decision-making process. Local transportation agencies work with land use agencies to develop a transportation (circulation) element for the General Plan. These local government agencies then work with other transportation-related agencies, such as the Congestion Management Agency (CMA), Metropolitan Planning Organization

(MPO), Regional Transportation Planning Agency (RTPA), and Caltrans to develop long and short range transportation plans and projects.

Caltrans is the agency responsible for setting state transportation goals and for state transportation planning, design, construction, operations and maintenance activities. Caltrans is also responsible for delivering California's multibillion-dollar state Transportation Improvement Program, a list of transportation projects that are approved for funding by the California Transportation Commission in a 4-year cycle.

When safety hazards or traffic circulation problems are identified in the existing road system, or when land use changes are proposed such as a new residential subdivision, shopping mall or manufacturing center, Caltrans and/or the local transportation agency ensure the projects meet applicable state, regional, and local goals and objectives.

Caltrans also evaluates transportation-related projects for regional air quality impacts, from the perspective of travel-related emissions as well as road congestion and increases in road capacity (new lanes).

### *California Energy Commission (CEC)*

The CEC is the state's CEQA lead agency for permitting large thermal power plants (50 megawatts or greater). The CEC works closely with local air districts and other federal, state and local agencies to ensure compliance with applicable laws, ordinances, regulations and standards in the permitting, construction, operation and closure of such plants. The CEC uses an open and public review process that provides communities with outreach and multiple opportunities to participate and be heard. In addition to its comprehensive environmental impact and engineering design assessment process, the CEC also conducts an environmental justice evaluation. This evaluation involves an initial demographic screening to determine if a qualifying minority or low-income population exists in the vicinity of the proposed project. If such a population is present, staff considers possible environmental justice impacts including from associated project emissions in its technical assessments.<sup>9</sup>

### *Department of Pesticides Regulation (DPR)*

Pesticides are industrial chemicals produced specifically for their toxicity to a target pest. They must be released into the environment to do their job. Therefore, regulation of pesticides focuses on using toxicity and other information to ensure that when pesticides are used according to their label directions, potential for harm to people and the environment is minimized. DPR imposes strict controls on use, beginning before pesticide products can be sold in California, with an extensive scientific program to ensure they can be used safely. DPR and county enforcement staff tracks the use of pesticides to ensure that pesticides are used properly. DPR collects periodic

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<sup>9</sup> See California Energy Commission, "Environmental Performance Report," July 2001 at [http://www.energy.ca.gov/reports/2001-11-20\\_700-01-001.PDF](http://www.energy.ca.gov/reports/2001-11-20_700-01-001.PDF)

measurements of any remaining amounts of pesticides in water, air, and on fresh produce. If unsafe levels are found, DPR requires changes in how pesticides are used, to reduce the possibility of harm. If this cannot be done - that is, if a pesticide cannot be used safely - use of the pesticide will be banned in California.<sup>10</sup>

### *Federal Agencies*

Federal agencies have permit authority over activities on federal lands and certain resources, which have been the subject of congressional legislation, such as air, water quality, wildlife, and navigable waters. The U.S. Environmental Protection Agency generally oversees implementation of the federal Clean Air Act, and has broad authority for regulating certain activities such as mobile sources, air toxics sources, the disposal of toxic wastes, and the use of pesticides. The responsibility for implementing some federal regulatory programs such as those for air and water quality and toxics is delegated by management to specific state and local agencies. Although federal agencies are not subject to CEQA they must follow their own environmental process established under the National Environmental Policy Act (NEPA).

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<sup>10</sup> For more information, the reader is encouraged to visit the Department of Pesticide Regulation web site at [www.cdpr.ca.gov/docs/empm/pubs/tacmenu.htm](http://www.cdpr.ca.gov/docs/empm/pubs/tacmenu.htm).

**SPECIAL PROCESSES THAT APPLY TO SCHOOL SITING**

The [California Education Code](#) and the [California Public Resources Code](#) place primary authority for siting public schools with the local school district, which is the 'lead agency' for purposes of CEQA. The California Education Code requires public school districts to notify the local planning agency about siting a new public school or expanding an existing school. The planning agency then reports back to the school district regarding a project's conformity with the adopted General Plan. However, school districts can overrule local zoning and land use designations for schools if they follow specified procedures. In addition, all school districts must evaluate new school sites using site selection standards established in Section 14010 of Title 5 of the California Code of Regulations. Districts seeking state funding for school site acquisition must also obtain site approval from the California Department of Education.

Before making a final decision on a school site acquisition, a school district must comply with CEQA and evaluate the proposed site acquisition/new school project for air emissions and health risks by preparing and certifying an environmental impact report or negative declaration. Both the California Education Code section 17213 and the California Public Resources Code section 21151.8 require school districts to consult with administering agencies and local air districts when preparing the environmental assessment. Such consultation is required to identify both permitted and non-permitted "facilities" that might significantly affect health at the new site. These facilities include, but are not limited to, freeways and other busy traffic corridors, large agricultural operations, and rail yards that are within one-quarter mile of the proposed school site, and that might emit hazardous air emissions, or handle hazardous or acutely hazardous materials, substances, or waste.

As part of the CEQA process and before approving a school site, the school district must make a finding that either it found none of the facilities or significant air pollution sources, or alternatively, if the school district finds that there are such facilities or sources, it must determine either that they pose no significant health risks, or that corrective actions by another governmental entity would be taken so that there would be no actual or potential endangerment to students or school workers.

In addition, if the proposed school site boundary is within 500 feet of the edge of the closest traffic lane of a freeway or traffic corridor that has specified minimum average daily traffic counts, the school district is required to determine through specified risk assessment and air dispersion modeling that neither short-term nor long term exposure poses significant health risks to pupils.

State law changes effective January 1, 2004 (SB352, Escutia 2003, amending Education Code section 17213 and Public Resources Code section 21151.8) also provides for cases in which the school district cannot make either of those two findings and cannot find a suitable alternative site. When this occurs, the school district must adopt a statement of over-riding considerations, as part of an environmental impact

report, that the project should be approved based on the ultimate balancing of the merits.

Some school districts use a standardized assessment process to determine the environmental impacts of a proposed school site. In the assessment process, school districts can use maps and other available information to evaluate risk, including a local air district's database of permitted source emissions. School districts can also perform field surveys and record searches to identify and calculate emissions from non-permitted sources within one-quarter mile radius of a proposed site. Traffic count data and vehicular emissions data can also be obtained from Caltrans for major roadways and freeways in proximity to the proposed site to model potential emissions impacts to students and school employees. This information is available from the local COG, Caltrans, or local cities and counties for non-state maintained roads.

## GENERAL PROCESSES USED BY LAND USE AGENCIES TO ADDRESS AIR POLLUTION IMPACTS

There are several separate but related processes for addressing the air pollution impacts of land use projects. One takes place as part of the planning and zoning function. This consists of preparing and implementing goals and policies contained in county or city General Plans, community or area plans, and specific plans governing land uses such as residential, educational, commercial, industrial, and recreational activities. It also includes recommending locations for thoroughfares, parks and other public improvements.

Land use agencies also have a permitting function that includes performing environmental reviews and mitigation when projects may pose a significant environmental impact. They conduct inspections for zoning permits issued, enforce the zoning regulations and issue violations as necessary, issue zoning certificates of compliance, and check compliance when approving certificates of occupancy.

### **Planning**

#### ■ **General Plan<sup>1</sup>**

The General Plan is a local government “blueprint” of existing and future anticipated land uses for long-term future development. It is composed of the goals, policies, and general elements upon which land use decisions are based. Because the General Plan is the foundation for all local planning and development, it is an important tool for implementing policies and programs beneficial to air quality. Local governments may choose to adopt a separate air quality element into their General Plan or to integrate air quality-beneficial objectives, policies, and strategies in other elements of the Plan, such as the land use, circulation, conservation, and community design elements.

More information on General Plan elements is contained in Appendix D.

#### ■ **Community Plans**

Community or area plans are terms for plans that focus on a particular region or community within the overall general plan area. It refines the policies of the general plan as they apply to a smaller geographic area and is implemented by ordinances and other discretionary actions, such as zoning.

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<sup>1</sup> In October 2003, OPR revised its General Plan Guidelines. An entire chapter is now devoted to a discussion of how sustainable development and environmental justice goals can be incorporated into the land use planning process. For further information, the reader is encouraged to obtain a copy of OPR’s General Plan Guidelines, or refer to their website at:  
[http://www.opr.ca.gov/planning/PDFs/General\\_Plan\\_Guidelines\\_2003.pdf](http://www.opr.ca.gov/planning/PDFs/General_Plan_Guidelines_2003.pdf)

■ **Specific Plan**

A specific plan is a hybrid that can combine policies with development regulations or zoning requirements. It is often used to address the development requirements for a single project such as urban infill or a planned community. As a result, its emphasis is on concrete standards and development criteria.

■ **Zoning**

Zoning is the public regulation of the use of land. It involves the adoption of ordinances that divide a community into various districts or zones. For instance, zoning ordinances designate what projects and activities can be sited in particular locations. Each zone designates allowable uses of land within that zone, such as residential, commercial, or industrial. Zoning ordinances can address building development standards, e.g., minimum lot size, maximum building height, minimum building setback, parking, signage, density, and other allowable uses.

**Land Use Permitting**

In addition to the planning and zoning function, land use agencies issue building and business permits, and evaluate the potential environmental impacts of projects. To be approved, projects must be located in a designated zone and comply with applicable ordinances and zoning requirements.

Even if a project is sited properly in a designated zone, a land use agency may require a new source to mitigate potential localized environmental impacts to the surrounding community below what would be required by the local air district. In this case, the land use agency could condition the permit by limiting or prescribing allowable uses including operating hour restrictions, building standards and codes, property setbacks between the business property and the street or other structures, vehicle idling restrictions, or traffic diversion.

Land use agencies also evaluate the environmental impacts of proposed land use projects or activities. If a project or activity falls under CEQA, the land use agency requires an environmental review before issuing a permit to determine if there is the potential for a significant impact, and if so, to mitigate the impact or possibly deny the project.

■ **Land Use Permitting Process**

In California, the authority to regulate land use is delegated to city and county governments. The local land use planning agency is the local government administrative body that typically provides information and coordinates the review of development project applications. Conditional Use Permits (CUP) typically fall within a land use agency's discretionary authority and therefore are subject to CEQA. CUPs are

intended to provide an opportunity to review the location, design, and manner of development of land uses prior to project approval. A traditional purpose of the CUP is to enable a municipality to control certain uses that could have detrimental environmental effects on the community.

The process for permitting new discretionary projects is quite elaborate, but can be broken down into five fundamental components:

- Project application
- Environmental assessment
- Consultation
- Public comment
- Public hearing and decision

Project Application

The permit process begins when the land use agency receives a project application, with a detailed project description, and support documentation. During this phase, the agency reviews the submitted application for completeness. When the agency deems the application to be complete, the permit process moves into the environmental review phase.

Environmental Assessment

If the project is discretionary and the application is accepted as complete, the project proposal or activity must undergo an environmental clearance process under CEQA and the CEQA Guidelines adopted by the California Resources Agency.<sup>2</sup> The purpose of the CEQA process is to inform decision-makers and the public of the potential significant environmental impacts of a project or activity, to identify measures to minimize or eliminate those impacts to the point they are no longer significant, and to discuss alternatives that will accomplish the project goals and objectives in a less environmentally harmful manner.

**What is a “Lead Agency”?**

A lead agency is the public agency that has the principal responsibility for carrying out or approving a project that is subject to CEQA. In general, the land use agency is the preferred public agency serving as lead agency because it has jurisdiction over general land uses. The lead agency is responsible for determining the appropriate environmental document, as well as its preparation.

**What is a “Responsible Agency”?**

A responsible agency is a public agency with discretionary approval authority over a portion of a CEQA project (e.g., projects requiring a permit). As a responsible agency, the agency is available to the lead agency and project proponent for early consultation on a project to apprise them of applicable rules and regulations, potential adverse impacts, alternatives, and mitigation measures, and provide guidance as needed on applicable methodologies or other related issues.

**What is a “Commenting Agency”?**

A commenting agency is any public agency that comments on a CEQA document, but is neither a lead agency nor a responsible agency. For example, a local air district, as the agency with the responsibility for comprehensive air pollution control, could review and comment on an air quality analysis in a CEQA document for a proposed distribution center, even though the project was not subject to a permit or other pollution control requirements.

<sup>2</sup> Projects and activities that may have a significant adverse impact on the environment are evaluated under CEQA Guidelines set forth in title 14 of the California Code of Regulations, sections 15000 et seq.

To assist the lead agency in determining whether the project or activity may have a significant effect that would require the preparation of an EIR, the land use agency may consider criteria, or thresholds of significance, to assess the potential impacts of the project, including its air quality impacts. The land use agency must consider any credible evidence in addition to the thresholds, however, in determining whether the project or activity may have a significant effect that would trigger the preparation of an EIR.

The screening criteria to determine significance is based on a variety of factors, including local, state, and federal regulations, administrative practices of other public agencies, and commonly accepted professional standards. However, the final determination of significance for individual projects is the responsibility of the lead agency. In the case of land use projects, the lead agency would be the City Council or County Board of Supervisors.

A new land use plan or project can also trigger an environmental assessment under CEQA if, among other things, it will expose sensitive sites such as schools, day care centers, hospitals, retirement homes, convalescence facilities, and residences to substantial pollutant concentrations.<sup>3</sup>

CEQA only applies to “discretionary projects.” Discretionary means the public agency must exercise judgment and deliberation when deciding to approve or disapprove a particular project or activity, and may append specific conditions to its approval. Examples of discretionary projects include the issuance of a CUP, re-zoning a property, or widening of a public road. Projects that are not subject to the exercise of agency discretion, and can therefore be approved administratively through the application of set standards are referred to as ministerial projects. CEQA does not apply to ministerial projects.<sup>4</sup> Examples of typical ministerial projects include the issuance of most building permits or a business license.

Once a potential environmental impact associated with a project is identified through an environmental assessment, mitigation must be considered. A land use agency should incorporate mitigation measures that are suggested by the local air district as part of the project review process.

### Consultation

Application materials are provided to various departments and agencies that may have an interest in the project (e.g., air pollution, building, police, fire, water agency, Fish and Game, etc.) for consultation and input.

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<sup>3</sup> Readers interested in learning more about CEQA should contact OPR or visit their website at <http://www.opr.ca.gov/>.

<sup>4</sup> See California Public Resources Code section 21080(b)(1).

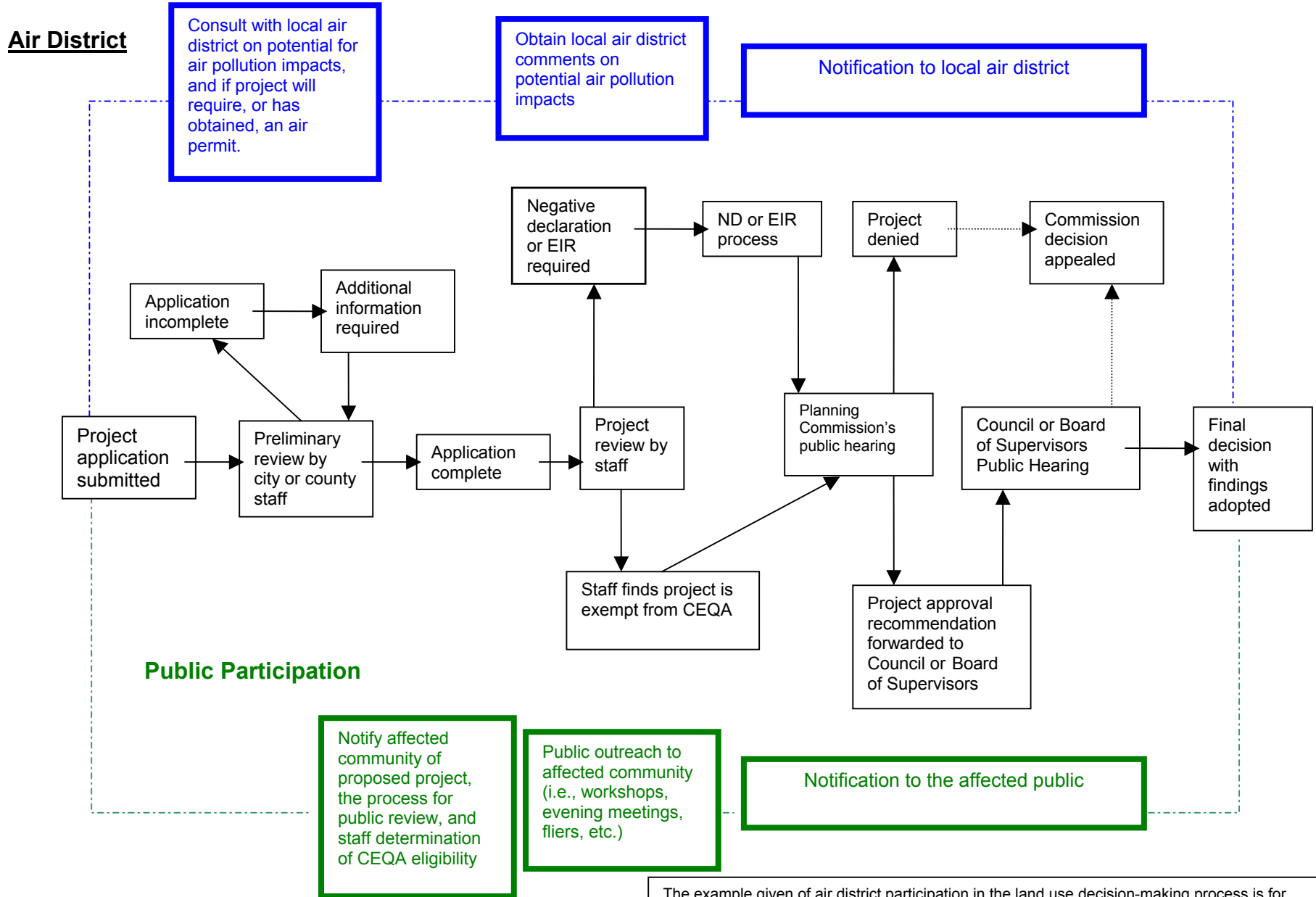
Public Comment

Following the environmental review process, the Planning Commission reviews application along with the staff's report on the project assessment and a public comment period is set and input is solicited.

Public Hearing and Decision

Permit rules vary depending on the particular permit authority in question, but the process generally involves comparing the proposed project with the land use agency standards or policies. The procedure usually leads to a public hearing, which is followed by a written decision by the agency or its designated officer. Typically, a project is approved, denied, or approved subject to specified conditions.

**USE PERMIT (DISCRETIONARY ACTION) REVIEW PROCESS\***



The example given of air district participation in the land use decision-making process is for illustrative purposes only. In reality, the land use siting process involves the ongoing participation of multiple affected agencies and stakeholders throughout the process.

## GLOSSARY OF KEY AIR POLLUTION TERMS

**Air Pollution Control Board or Air Quality Management Board:** Serves as the governing board for local air districts. It consists of appointed or elected members from the public or private sector. It conducts public hearings to adopt local air pollution regulations.

**Air Pollution Control Districts or Air Quality Management Districts (local air district):** A county or regional agency with authority to regulate stationary and area sources of air pollution within a given county or region. Governed by a district air pollution control board.

**Air Pollution Control Officer (APCO):** Head of a local air pollution control or air quality management district.

**Air Toxic Control Measures (ATCM):** A control measure adopted by the ARB (Health and Safety Code section 39666 et seq.), which reduces emissions of toxic air contaminants.

**Ambient Air Quality Standards:** An air quality standard defines the maximum amount of a pollutant that can be present in the outdoor air during a specific time period without harming the public's health. Only U.S. EPA and the ARB may establish air quality standards. No other state has this authority. Air quality standards are a measure of clean air. More specifically, an air quality standard establishes the concentration at which a pollutant is known to cause adverse health effects to sensitive groups within the population, such as children and the elderly. Federal standards are referred to as National Ambient Air Quality Standards (NAAQS); state standards are referred to as California ambient air quality standards (CAAQS).

**Area-wide Sources:** Sources of air pollution that individually emit small amounts of pollution, but together add up to significant quantities of pollution. Examples include consumer products, fireplaces, road dust, and farming operations.

**Attainment vs. Nonattainment Area:** An attainment area is a geographic area that meets the National Ambient Air Quality Standards for the criteria pollutants and a non-attainment area is a geographic area that doesn't meet the NAAQS for criteria pollutants.

**Attainment Plan:** Attainment plans lay out measures and strategies to attain one or more air quality standards by a specified date.

**California Clean Air Act (CCAA):** A California law passed in 1988, which provides the basis for air quality planning and regulation independent of federal regulations. A major element of the Act is the requirement that local air districts in violation of the CAAQS

must prepare attainment plans which identify air quality problems, causes, trends, and actions to be taken to attain and maintain California's air quality standards by the earliest practicable date.

**California Environmental Quality Act (CEQA):** A California law that sets forth a process for public agencies to make informed decisions on discretionary project approvals. The process helps decision-makers determine whether any potential, significant, adverse environmental impacts are associated with a proposed project and to identify alternatives and mitigation measures that will eliminate or reduce such adverse impacts.<sup>1</sup>

**California Health and Safety Code:** A compilation of California laws, including state air pollution laws, enacted by the Legislature to protect the health and safety of people in California. Government agencies adopt regulations to implement specific provisions of the California Health and Safety Code.

**Clean Air Act (CAA):** The federal Clean Air Act was adopted by the United States Congress and sets forth standards, procedures, and requirements to be implemented by the U.S. Environmental Protection Agency (U.S. EPA) to protect air quality in the United States.

**Councils of Government (COGs):** There are 25 COGs in California made up of city and county elected officials. COGs are regional agencies concerned primarily with transportation planning and housing; they do not directly regulate land use.

**Criteria Air Pollutant:** An air pollutant for which acceptable levels of exposure can be determined and for which an ambient air quality standard has been set. Examples include ozone, carbon monoxide, nitrogen dioxide, sulfur dioxide, and PM10 and PM2.5. The term "criteria air pollutants" derives from the requirement that the U.S. EPA and ARB must describe the characteristics and potential health and welfare effects of these pollutants. The U.S. EPA and ARB periodically review new scientific data and may propose revisions to the standards as a result.

**District Hearing Board:** Hears local air district permit appeals and issues variances and abatement orders. The local air district board appoints the members of the hearing board.

**Emission Inventory:** An estimate of the amount of pollutants emitted into the atmosphere from mobile, stationary, area-wide, and natural source categories over a specific period of time such as a day or a year.

**Environmental Impact Report (EIR):** The public document used by a governmental agency to analyze the significant environmental effects of a proposed project, to identify

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<sup>1</sup> To track the submittal of CEQA documents to the State Clearinghouse within the Office of Planning and Research, the reader can refer to CEQAnet at <http://www.ceqanet.ca.gov>.

alternatives, and to disclose possible ways to reduce or avoid the possible negative environmental impacts.

**Environmental Justice:** California law defines environmental justice as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations, and policies (California Government Code sec.65040.12(c)).

**General Plans:** A statement of policies developed by local governments, including text and diagrams setting forth objectives, principles, standards, and plan proposals for the future physical development of the city or county.

**Hazardous Air Pollutants (HAPs):** An air pollutant listed under section 112 (b) of the federal Clean Air Act as particularly hazardous to health. U.S. EPA identifies emission sources of hazardous air pollutants, and emission standards are set accordingly. In California, HAPs are referred to as toxic air contaminants.

**Land Use Agency:** Local government agency that performs functions associated with the review, approval, and enforcement of general plans and plan elements, zoning, and land use permitting. For purposes of this Handbook, a land use agency is typically a local planning department.

**Mobile Source:** Sources of air pollution such as automobiles, motorcycles, trucks, off-road vehicles, boats, and airplanes.

**National Ambient Air Quality Standard (NAAQS):** A limit on the level of an outdoor air pollutant established by the US EPA pursuant to the Clean Air Act. There are two types of NAAQS. Primary standards set limits to protect public health and secondary standards set limits to protect public welfare.

**Negative Declaration (ND):** When the lead agency (the agency responsible for preparing the EIR or ND) under CEQA, finds that there is no substantial evidence that a project may have a significant environmental effect, the agency will prepare a "negative declaration" instead of an EIR.

**New Source Review (NSR):** A federal Clean Air Act requirement that state implementation plans must include a permit review process, which applies to the construction and operation of new or modified stationary sources in nonattainment areas. Two major elements of NSR to reduce emissions are best available control technology requirements and emission offsets.

**Office of Planning and Research (OPR):** OPR is part of the Governor's office. OPR has a variety of functions related to local land-use planning and environmental programs. It provides General Plan Guidelines for city and county planners, and coordinates the state clearinghouse for Environmental Impact Reports.

**Ordinance:** A law adopted by a City Council or County Board of Supervisors. Ordinances usually amend, repeal or supplement the municipal code; provide zoning specifications; or appropriate money for specific purposes.

**Overriding Considerations:** A ruling made by the lead agency in the CEQA process when the lead agency finds the importance of the project to the community outweighs potential adverse environmental impacts.

**Public Comment:** An opportunity for the general public to comment on regulations and other proposals made by government agencies. You can submit written or oral comments at the public meeting or send your written comments to the agency.

**Public Hearing:** A public hearing is an opportunity to testify on a proposed action by a governing board at a public meeting. The public and the media are welcome to attend the hearing and listen to, or participate in, the proceedings.

**Public Notice:** A public notice identifies the person, business, or local government seeking approval of a specific course of action (such as a regulation). It describes the activity for which approval is being sought, and describes the location where the proposed activity or public meeting will take place.

**Public Nuisance:** A public nuisance, for the purposes of air pollution regulations, is defined as a discharge from any source whatsoever of such quantities of air contaminants or other material which cause injury, detriment, nuisance, or annoyance to any considerable number of persons or to the public, or which endanger the comfort, repose, health, or safety of any such persons or the public, or which cause, or have a natural tendency to cause, injury or damage to business or property. (Health and Safety Code section 41700).

**Property Setback:** In zoning parlance, a setback is the minimum amount of space required between a lot line and a building line.

**Risk:** For cancer health effects, risk is expressed as an estimate of the increased chances of getting cancer due to facility emissions over a 70-year lifetime. This increase in risk is expressed as chances in a million (e.g., 10 chances in a million).

**Sensitive Individuals:** Refers to those segments of the population most susceptible to poor air quality (i.e., children, the elderly, and those with pre-existing serious health problems affected by air quality).

**Sensitive Sites or Sensitive Land Uses:** Land uses where sensitive individuals are most likely to spend time, including schools and schoolyards, parks and playgrounds, day care centers, nursing homes, hospitals, and residential communities.

**Setback:** An area of land separating one parcel of land from another that acts to soften or mitigate the effects of one land use on the other.

**State Implementation Plan (SIP):** A plan prepared by state and local agencies and submitted to U.S. EPA describing how each area will attain and maintain national ambient air quality standards. SIPs include the technical information about emission inventories, air quality monitoring, control measures and strategies, and enforcement mechanisms. A SIP is composed of local air quality management plans and state air quality regulations.

**Stationary Sources:** Non-mobile sources such as power plants, refineries, and manufacturing facilities.

**Toxic Air Contaminant (TAC):** An air pollutant, identified in regulation by the ARB, which may cause or contribute to an increase in deaths or in serious illness, or which may pose a present or potential hazard to human health. TACs are considered under a different regulatory process (California Health and Safety Code section 39650 et seq.) than pollutants subject to State Ambient Air Quality Standards. Health effects associated with TACs may occur at extremely low levels. It is often difficult to identify safe levels of exposure, which produce no adverse health effects.

**Urban Background:** The term is used in this Handbook to represent the ubiquitous, elevated, regional air pollution levels observed in large urban areas in California.

**Zoning ordinances:** City councils and county boards of supervisors adopts zoning ordinances that set forth land use classifications, divides the county or city into land use zones as delineated on the official zoning, maps, and set enforceable standards for future develop





3255 Pruett Dr, Roseville, CA X



Show search results for 3255 Pr...



**Most Recent: Placer, 2018**

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**Farmland Type:** Grazing Land  
**Year:** 2018  
**Acres (GIS):** 18,060.4  
**County:** Placer  
**Metadata:** [Link](#)

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**Farmland Type Description:**  
*Land on which the existing vegetation is suited to the grazing of livestock. This category is used only in California and was developed in cooperation with the California Cattlemen's Association, University of California Cooperative Extension, and other groups interested in the extent of grazing activities.*

[Zoom to](#) ...

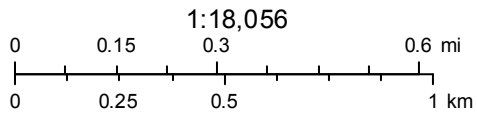
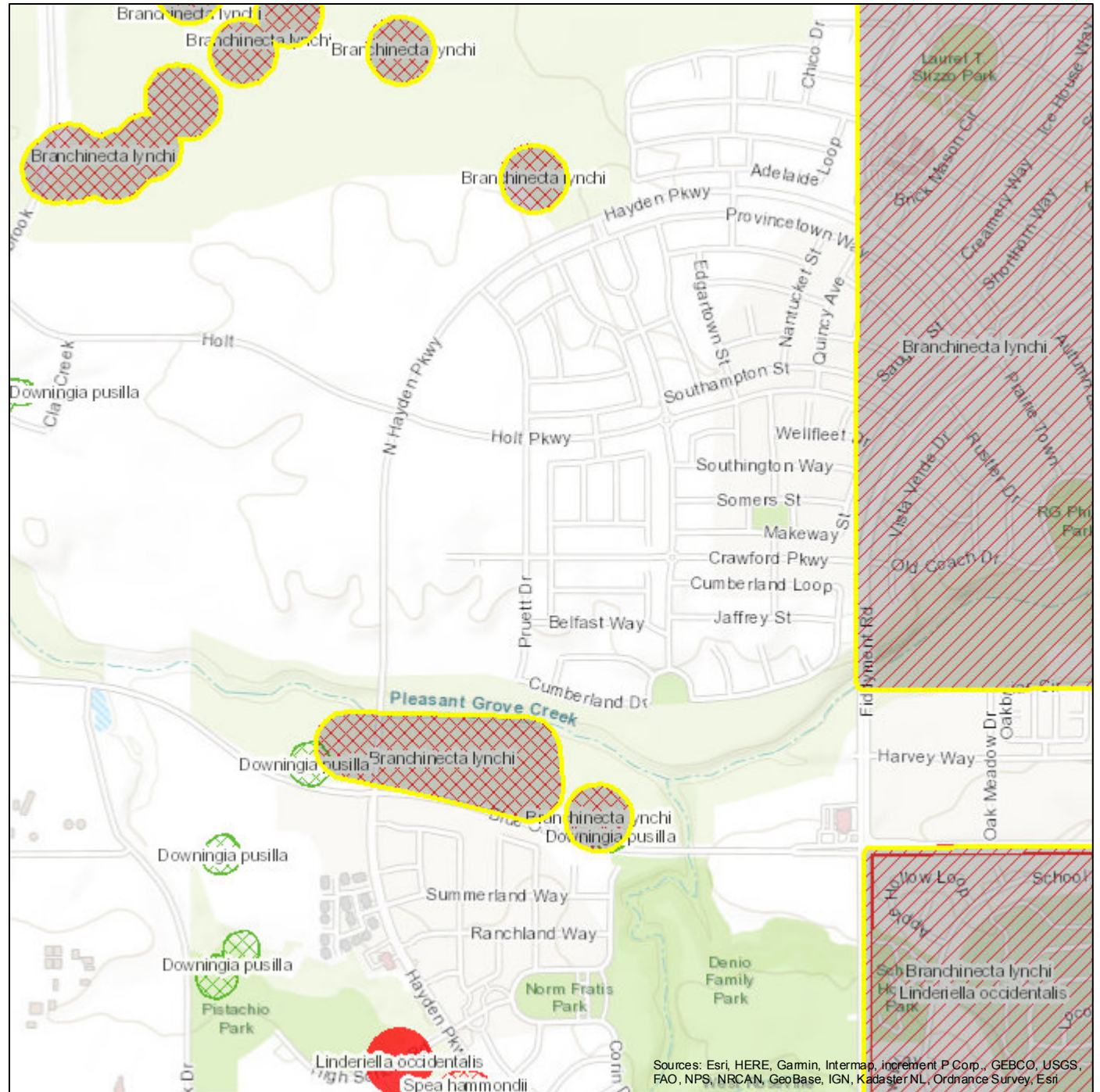
Placer

2km

# Map of Project Area

## California Natural Diversity Database (CNDDDB) Commercial [ds85]

- Plant (80m)
- Plant (specific)
- Plant (non-specific)
- Plant (circular)
- Animal (80m)
- Animal (specific)
- Animal (non-specific)
- Animal (circular)
- Terrestrial Comm. (80m)
- Terrestrial Comm. (specific)
- Terrestrial Comm. (non-specific)
- Terrestrial Comm. (circular)
- Aquatic Comm. (80m)
- Aquatic Comm. (specific)
- Aquatic Comm. (non-specific)
- Aquatic Comm. (circular)
- Multiple (80m)
- Multiple (specific)
- Multiple (non-specific)
- Multiple (circular)
- Sensitive EO's (Commercial only)



October 4, 2022

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri

CALIFORNIA DEPARTMENT OF  
**FISH and WILDLIFE** RareFind

**Query Summary:**

Quad IS (Pleasant Grove (3812174) OR Roseville (3812173) OR Rocklin (3812172) OR Sheridan (3812184) OR Lincoln (3812183) OR Gold Hill (3812182) OR Folsom (3812162) OR Citrus Heights (3812163) OR Rio Linda (3812164))  
 AND Federal Listing Status IS (Endangered OR Threatened OR Proposed Endangered OR Proposed Threatened OR Candidate) OR State Listing Status IS (Endangered OR Threatened OR Candidate Endangered OR Candidate Threatened)

Print

Close

**CNDDDB Element Query Results**

Scientific Name	Common Name	Taxonomic Group	Element Code	Total Occs	Returned Occs	Federal Status	State Status	Global Rank	State Rank	CA Rare Plant Rank	Other Status	Habitats
Acipenser medirostris pop. 1	green sturgeon - southern DPS	Fish	AFCAA01031	14	1	Threatened	None	G2T1	S1	null	AFS_VU-Vulnerable, IUCN_NT-Near Threatened	Aquatic, Estuary, Marine bay, Sacramento/San Joaquin flowing waters
Agelaius tricolor	tricolored blackbird	Birds	ABPBXB0020	955	26	None	Threatened	G1G2	S1S2	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_EN-Endangered, NABCI_RWL-Red Watch List, USFWS_BCC-Birds of Conservation Concern	Freshwater marsh, Marsh & swamp, Swamp, Wetland
Branchinecta conservatio	Conservancy fairy shrimp	Crustaceans	ICBRA03010	53	1	Endangered	None	G2	S2	null	IUCN_EN-Endangered	Valley & foothill grassland, Vernal pool, Wetland
Branchinecta lynchi	vernal pool fairy shrimp	Crustaceans	ICBRA03030	796	80	Threatened	None	G3	S3	null	IUCN_VU-Vulnerable	Valley & foothill grassland, Vernal pool, Wetland
Buteo swainsoni	Swainson's hawk	Birds	ABNKC19070	2548	28	None	Threatened	G5	S3	null	BLM_S-Sensitive, IUCN_LC-Least Concern	Great Basin grassland, Riparian forest, Riparian woodland, Valley & foothill grassland
Coccyzus americanus occidentalis	western yellow-billed cuckoo	Birds	ABNRB02022	165	1	Threatened	Endangered	G5T2T3	S1	null	BLM_S-Sensitive, NABCI_RWL-Red Watch List, USFS_S-Sensitive	Riparian forest
Desmocerus californicus dimorphus	valley elderberry longhorn beetle	Insects	IICOL48011	271	20	Threatened	None	G3T2T3	S3	null	null	Riparian scrub
Gratiola heterosepala	Boggs Lake hedge-hyssop	Dicots	PDSCR0R060	99	5	None	Endangered	G2	S2	1B.2	BLM_S-Sensitive	Freshwater marsh, Marsh & swamp, Vernal pool, Wetland
Laterallus jamaicensis coturniculus	California black rail	Birds	ABNME03041	303	3	None	Threatened	G3T1	S1	null	BLM_S-Sensitive, CDFW_FP-Fully Protected, IUCN_NT-Near Threatened, NABCI_RWL-Red Watch List	Brackish marsh, Freshwater marsh, Marsh & swamp, Salt marsh, Wetland
Lepidurus packardi	vernal pool tadpole shrimp	Crustaceans	ICBRA10010	329	7	Endangered	None	G4	S3S4	null	IUCN_EN-Endangered	Valley & foothill grassland, Vernal pool, Wetland
Oncorhynchus mykiss irideus pop. 11	steelhead - Central Valley DPS	Fish	AFCHA0209K	31	3	Threatened	None	G5T2Q	S2	null	AFS_TH-Threatened	Aquatic, Sacramento/San Joaquin flowing waters
Orcuttia viscida	Sacramento Orcutt grass	Monocots	PMPOA4G070	12	3	Endangered	Endangered	G1	S1	1B.1	SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	Vernal pool, Wetland
Riparia riparia	bank swallow	Birds	ABPAU08010	298	2	None	Threatened	G5	S2	null	BLM_S-Sensitive, IUCN_LC-Least Concern	Riparian scrub, Riparian woodland

Thamnophis gigas	giant gartersnake	Reptiles	ARADB36150	373	4	Threatened	Threatened	G2	S2	null	IUCN_VU- Vulnerable	Marsh & swamp, Riparian scrub, Wetland
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CALIFORNIA DEPARTMENT OF  
**FISH and WILDLIFE RareFind**

**Query Summary:**

Quad **IS** (Pleasant Grove (3812174) **OR** Roseville (3812173) **OR** Rocklin (3812172) **OR** Sheridan (3812184) **OR** Lincoln (3812183) **OR** Gold Hill (3812182) **OR** Folsom (3812162) **OR** Citrus Heights (3812163) **OR** Rio Linda (3812164))  
**AND** CA Rare Plant Rank **IS** (1A **OR** 1B **OR** 1B.1 **OR** 1B.2 **OR** 1B.3 **OR** 2A **OR** 2B **OR** 2B.1 **OR** 2B.2 **OR** 2B.3)

**CNDDB Element Query Results**

Scientific Name	Common Name	Taxonomic Group	Element Code	Total Occs	Returned Occs	Federal Status	State Status	Global Rank	State Rank	CA Rare Plant Rank	Other Status	Habitats
Balsamorhiza macrolepis	big-scale balsamroot	Dicots	PDAST11061	51	2	None	None	G2	S2	1B.2	BLM_S-Sensitive, USFS_S-Sensitive	Chaparral, Cismontane woodland, Ultramafic, Valley & foothill grassland
Chloropyron molle ssp. hispidum	hispid salty bird's-beak	Dicots	PDSCR0J0D1	35	1	None	None	G2T1	S1	1B.1	null	Alkali playa, Meadow & seep, Wetland
Downingia pusilla	dwarf downingia	Dicots	PDCAM060C0	132	29	None	None	GU	S2	2B.2	null	Valley & foothill grassland, Vernal pool, Wetland
Gratiola heterosepala	Boggs Lake hedge-hyssop	Dicots	PDSCR0R060	99	5	None	Endangered	G2	S2	1B.2	BLM_S-Sensitive	Freshwater marsh, Marsh & swamp, Vernal pool, Wetland
Juncus leiospermus var. ahartii	Ahart's dwarf rush	Monocots	PMJUN011L1	13	1	None	None	G2T1	S1	1B.2	null	Valley & foothill grassland
Juncus leiospermus var. leiospermus	Red Bluff dwarf rush	Monocots	PMJUN011L2	62	1	None	None	G2T2	S2	1B.1	BLM_S-Sensitive, USFS_S-Sensitive	Chaparral, Cismontane woodland, Meadow & seep, Valley & foothill grassland, Vernal pool, Wetland
Legenere limosa	legenere	Dicots	PDCAM0C010	83	6	None	None	G2	S2	1B.1	BLM_S-Sensitive, SB_UCBG-UC Botanical Garden at Berkeley	Vernal pool, Wetland
Navarretia myersii ssp. myersii	pincushion navarretia	Dicots	PDPLM0C0X1	16	2	None	None	G2T2	S2	1B.1	null	Vernal pool, Wetland
Orcuttia viscida	Sacramento Orcutt grass	Monocots	PMPOA4G070	12	3	Endangered	Endangered	G1	S1	1B.1	SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	Vernal pool, Wetland
Sagittaria sanfordii	Sanford's arrowhead	Monocots	PMALI040Q0	143	6	None	None	G3	S3	1B.2	BLM_S-Sensitive	Marsh & swamp, Wetland

CALIFORNIA DEPARTMENT OF  
**FISH and WILDLIFE RareFind**

**Query Summary:**

Quad **IS** (Rocklin (3812172) **OR** Roseville (3812173) **OR** Gold Hill (3812182) **OR** Lincoln (3812183) **OR** Sheridan (3812184) **OR** Pleasant Grove (3812174) **OR** Rio Linda (3812164) **OR** Citrus Heights (3812163) **OR** Folsom (3812162))  
**AND** Federal Listing Status **IS** (Endangered **OR** Threatened **OR** Proposed Endangered **OR** Proposed Threatened **OR** Candidate)

**CNDDB Element Query Results**

Scientific Name	Common Name	Taxonomic Group	Element Code	Total Occs	Returned Occs	Federal Status	State Status	Global Rank	State Rank	CA Rare Plant Rank	Other Status	Habitats
Acipenser medirostris pop. 1	green sturgeon - southern DPS	Fish	AFCAA01031	14	1	Threatened	None	G2T1	S1	null	AFS_VU-Vulnerable, IUCN_NT-Near Threatened	Aquatic, Estuary, Marine bay, Sacramento/San Joaquin flowing waters
Branchinecta conservatio	Conservancy fairy shrimp	Crustaceans	ICBRA03010	53	1	Endangered	None	G2	S2	null	IUCN_EN-Endangered	Valley & foothill grassland, Vernal pool, Wetland
Branchinecta lynchi	vernal pool fairy shrimp	Crustaceans	ICBRA03030	796	80	Threatened	None	G3	S3	null	IUCN_VU-Vulnerable	Valley & foothill grassland, Vernal pool, Wetland
Coccyzus americanus occidentalis	western yellow-billed cuckoo	Birds	ABNRB02022	165	1	Threatened	Endangered	G5T2T3	S1	null	BLM_S-Sensitive, NABCI_RWL-Red Watch List, USFS_S-Sensitive	Riparian forest
Desmocerus californicus dimorphus	valley elderberry longhorn beetle	Insects	IICOL48011	271	20	Threatened	None	G3T2T3	S3	null	null	Riparian scrub
Lepidurus packardi	vernal pool tadpole shrimp	Crustaceans	ICBRA10010	329	7	Endangered	None	G4	S3S4	null	IUCN_EN-Endangered	Valley & foothill grassland, Vernal pool, Wetland
Oncorhynchus mykiss irideus pop. 11	steelhead - Central Valley DPS	Fish	AFCHA0209K	31	3	Threatened	None	G5T2Q	S2	null	AFS_TH-Threatened	Aquatic, Sacramento/San Joaquin flowing waters
Orcuttia viscida	Sacramento Orcutt grass	Monocots	PMPOA4G070	12	3	Endangered	Endangered	G1	S1	1B.1	SB_CalBG/RSABG-California/Rancho Santa Ana Botanic Garden	Vernal pool, Wetland
Thamnophis gigas	giant gartersnake	Reptiles	ARADB36150	373	4	Threatened	Threatened	G2	S2	null	IUCN_VU-Vulnerable	Marsh & swamp, Riparian scrub, Wetland

CALIFORNIA DEPARTMENT OF  
**FISH and WILDLIFE RareFind**

**Query Summary:**

Quad **IS** (Pleasant Grove (3812174) **OR** Roseville (3812173) **OR** Rocklin (3812172) **OR** Sheridan (3812184) **OR** Lincoln (3812183) **OR** Gold Hill (3812182) **OR** Folsom (3812162) **OR** Citrus Heights (3812163) **OR** Rio Linda (3812164))  
**AND** Other Status **CONTAINS** (CDFW\_FP-Fully Protected **OR** CDFW\_SSC-Species of Special Concern)

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**CNDDB Element Query Results**

Scientific Name	Common Name	Taxonomic Group	Element Code	Total Occs	Returned Occs	Federal Status	State Status	Global Rank	State Rank	CA Rare Plant Rank	Other Status	Habitats
Agelaius tricolor	tricolored blackbird	Birds	ABPBXB0020	955	26	None	Threatened	G1G2	S1S2	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_EN-Endangered, NABCI_RWL-Red Watch List, USFWS_BCC-Birds of Conservation Concern	Freshwater marsh, Marsh & swamp, Swamp, Wetland
Ammodramus savannarum	grasshopper sparrow	Birds	ABPBXA0020	27	1	None	None	G5	S3	null	CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern	Valley & foothill grassland
Antrozous pallidus	pallid bat	Mammals	AMACC10010	420	2	None	None	G4	S3	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern, USFS_S-Sensitive, WBWG_H-High Priority	Chaparral, Coastal scrub, Desert wash, Great Basin grassland, Great Basin scrub, Mojavean desert scrub, Riparian woodland, Sonoran desert scrub, Upper montane coniferous forest, Valley & foothill grassland
Athene cunicularia	burrowing owl	Birds	ABNSB10010	2011	13	None	None	G4	S3	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern, USFWS_BCC-Birds of Conservation Concern	Coastal prairie, Coastal scrub, Great Basin grassland, Great Basin scrub, Mojavean desert scrub, Sonoran desert scrub, Valley & foothill grassland
Corynorhinus townsendii	Townsend's big-eared bat	Mammals	AMACC08010	635	1	None	None	G4	S2	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern, USFS_S-Sensitive, WBWG_H-High Priority	Broadleaved upland forest, Chaparral, Chenopod scrub, Great Basin grassland, Great Basin scrub, Joshua tree woodland, Lower montane coniferous forest, Meadow & seep, Mojavean desert scrub, Riparian forest, Riparian woodland, Sonoran desert scrub, Sonoran thorn woodland, Upper montane coniferous forest, Valley & foothill grassland

Elanus leucurus	white-tailed kite	Birds	ABNKC06010	184	16	None	None	G5	S3S4	null	BLM_S-Sensitive, CDFW_FP-Fully Protected, IUCN_LC-Least Concern	Cismontane woodland, Marsh & swamp, Riparian woodland, Valley & foothill grassland, Wetland
Emys marmorata	western pond turtle	Reptiles	ARAAD02030	1404	8	None	None	G3G4	S3	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_VU-Vulnerable, USFS_S-Sensitive	Aquatic, Artificial flowing waters, Klamath/North coast flowing waters, Klamath/North coast standing waters, Marsh & swamp, Sacramento/San Joaquin flowing waters, Sacramento/San Joaquin standing waters, South coast flowing waters, South coast standing waters, Wetland
Laterallus jamaicensis coturniculus	California black rail	Birds	ABNME03041	303	3	None	Threatened	G3T1	S1	null	BLM_S-Sensitive, CDFW_FP-Fully Protected, IUCN_NT-Near Threatened, NABCI_RWL-Red Watch List	Brackish marsh, Freshwater marsh, Marsh & swamp, Salt marsh, Wetland
Melospiza melodia pop. 1	song sparrow ("Modesto" population)	Birds	ABPBXA3013	92	2	None	None	G5T3? Q	S3?	null	CDFW_SSC-Species of Special Concern	Artificial flowing waters, Freshwater marsh, Riparian forest, Riparian scrub, Riparian woodland, Sacramento/San Joaquin flowing waters, Sacramento/San Joaquin standing waters
Progne subis	purple martin	Birds	ABPAU01010	71	2	None	None	G5	S3	null	CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern	Broadleaved upland forest, Lower montane coniferous forest
Spea hammondi	western spadefoot	Amphibians	AAABF02020	1422	13	None	None	G2G3	S3	null	BLM_S-Sensitive, CDFW_SSC-Species of Special Concern, IUCN_NT-Near Threatened	Cismontane woodland, Coastal scrub, Valley & foothill grassland, Vernal pool, Wetland
Taxidea taxus	American badger	Mammals	AMAJF04010	594	1	None	None	G5	S3	null	CDFW_SSC-Species of Special Concern, IUCN_LC-Least Concern	Alkali marsh, Alkali playa, Alpine, Alpine dwarf scrub, Bog & fen, Brackish marsh, Broadleaved upland forest, Chaparral, Chenopod scrub, Cismontane woodland, Closed-cone coniferous forest, Coastal bluff scrub, Coastal dunes, Coastal prairie, Coastal scrub, Desert dunes, Desert wash, Freshwater marsh, Great Basin grassland, Great Basin scrub, Interior dunes, lone formation, Joshua tree woodland, Limestone, Lower montane coniferous forest, Marsh &

												swamp, Meadow & seep, Mojavean desert scrub, Montane dwarf scrub, North coast coniferous forest, Oldgrowth, Pavement plain, Redwood, Riparian forest, Riparian scrub, Riparian woodland, Salt marsh, Sonoran desert scrub, Sonoran thorn woodland, Ultramafic, Upper montane coniferous forest, Upper Sonoran scrub, Valley & foothill grassland
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# Frequently Asked Questions

## 2019 Building Energy Efficiency Standards

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### Question Topics

(click on each topic below to navigate to the specific question and answer)

- [Question 1: Housing affordability](#)
- [Question 2: Photovoltaic costs](#)
- [Question 3: Photovoltaic system maintenance costs](#)
- [Question 4: Photovoltaic mandate](#)
- [Question 5: Rooftop solar vs utility-scale system](#)
- [Question 6: Excess midday solar capacity](#)
- [Question 7: Statewide electricity rate assumptions](#)
- [Question 8: Solar system lifespan](#)
- [Question 9: Emissions reduction benefits](#)
- [Question 10: Net energy metering and cost effectiveness](#)
- [Question 11: Battery storage benefits](#)
- [Question 12: Stakeholder input](#)
- [References](#)

**Question 1:** On the average, the new PV requirements will add about \$8,400 to the cost of a single-family home. Wouldn't that make homeownership less affordable at a time where California's home prices are already out of reach?

**Answer:** No. A home with solar costs less to own than one without. Put another way, the benefits of solar outweigh its costs, such that the new homeowner is saving money from day one in the home. That family will save thousands of dollars over the first decade of ownership.

Home affordability includes both the first cost and operating costs, which include utility bills. The PV requirement actually makes homeownership more affordable: the reduction in energy bills exceeds the corresponding increase in mortgage payment by around \$35 per month on average.

If first cost is a primary concern – as it is for many including young families and first-time home buyers – the cost of PV need not be covered by the home price or mortgage principal. PV options are already today routinely leased instead of purchased outright. Leased PV systems have little or no upfront costs, and offer up to 20 percent electric bill savings; thus the same logic as above applies. In the future, community-shared solar options may also be available as an alternative to onsite PV systems, with little or no upfront costs.

**Question 2:** What is the basis for the Energy Commission's \$3.10 photovoltaic (PV) installed cost by 2020, and what is the evidence that the PV prices are continuing to drop?

**Answer:** The Energy Commission used three sources to establish the cost for newly constructed residential PV system installations. The primary source of cost information was the National Renewable Energy Laboratory (NREL) report titled *U.S. Solar Photovoltaic System Cost Benchmark: Q1 2017*. NREL estimated an installation cost of \$2.80 in Q1 2017. The complete report is located at: <https://www.nrel.gov/docs/fy17osti/68925.pdf>.

To corroborate these cost estimates, the Energy Commission also examined cost data from the Solar Energy Industries Association (SEIA). SEIA data track installed PV costs in all 50 states, including California. SEIA estimated an installation cost of \$2.94 in Q4 2017.

Finally, the Energy Commission considered the California New Solar Home Partnership (NSHP) program data, which include thousands of California new construction installations since 2015. The table below summarizes the findings based on the most recent NSHP data.

**2015-2018 NSHP PV Installation Costs for New Buildings**

Year	Number of Systems Installed	Median PV Size, kilowatt (kW)	Average PV Size, kW	Median Cost/Watt	% Reduction, Median	Average Cost/Watt	% Reduction, Average
2015	7,150	2.6	3.0	\$4.85	0%	\$4.82	0%
2016	5,924	2.7	3.3	\$4.31	11%	\$4.30	11%
2017	7,973	2.7	3.2	\$3.58	26%	\$3.98	17%
2018	2,922	2.7	2.9	\$3.00	38%	\$3.66	24%

The NSHP data also indicate that the downward trend for PV prices is continuing at a strong pace through mid-2018. These data also show that the Energy Commission's assumed \$3-per-watt average for the installed cost of PV systems in newly constructed buildings is in keeping with the current PV price trends.

The Energy Commission projections are conservative. The PV requirement will remove many of the "soft costs" of the PV market, such as customer acquisition costs and customer-specific design, which can be significant. Bulk equipment procurement and factory-like installation (similar to windows and roofing) in a "production build" housing development are highly likely to reduce costs to well below Commission estimates by 2020.

**Question 3:** Did the Energy Commission's PV cost-effectiveness study consider the system maintenance costs and replacement costs for inverters and battery storage systems?

**Answer:** Yes, the Energy Commission included maintenance and inverter replacement costs in its life-cycle costing analysis. PV panels do not require much maintenance; however, the Commission assumed \$0.02 per kilowatt-hour (kWh) for maintenance cost and assumed two inverter replacements at the beginning of years 11 and 21. The present value of these costs were added to the upfront cost of the PV system, yielding a total system present value of \$3.10 per watt for 2020.

The Energy Commission did not consider battery storage replacement costs because these devices are not prescriptive requirements and are optional under the 2019 Standards.

**Question 4:** The 2019 PV requirements are often referred to as the "PV mandate." Is this requirement truly a mandate?

**Answer:** The word "mandate" does not precisely describe the 2019 Standards PV requirement, as it implies a rigid and inflexible set of requirements. Builder and homeowner choice and flexibility are essential parts of the building energy efficiency standards approach. Builders can use more energy efficiency, demand-responsive measures, thermal storage, and battery storage technologies to reduce the PV size by 40 percent or more, while maximizing the benefits to the homeowners, the grid, and the environment. If first costs are the main concern, PV lease arrangements with little or no upfront cost may be used to comply with the energy standards PV requirements. In the future, when approved by the Energy Commission, community-shared solar options may be an alternative to onsite PV systems. Exceptions to the PV requirement exist for specific instances in which a house may be built in an area of insufficient solar availability or where electricity rates are uncommonly low.

**Question 5:** The larger utility-scale PV systems cost about half as much as onsite PV systems. Would it be more cost-effective to achieve the state's policy goals with the less expensive utility-scale PV systems?

**Answer:** The state is pursuing a diverse set of energy and environmental policies to simultaneously save energy and reduce greenhouse gas emissions, including:

- Reducing greenhouse gas emissions from all sectors, including buildings and transportation.
- Maintaining grid reliability and resilience.
- Achieving cost-effective energy savings in buildings.

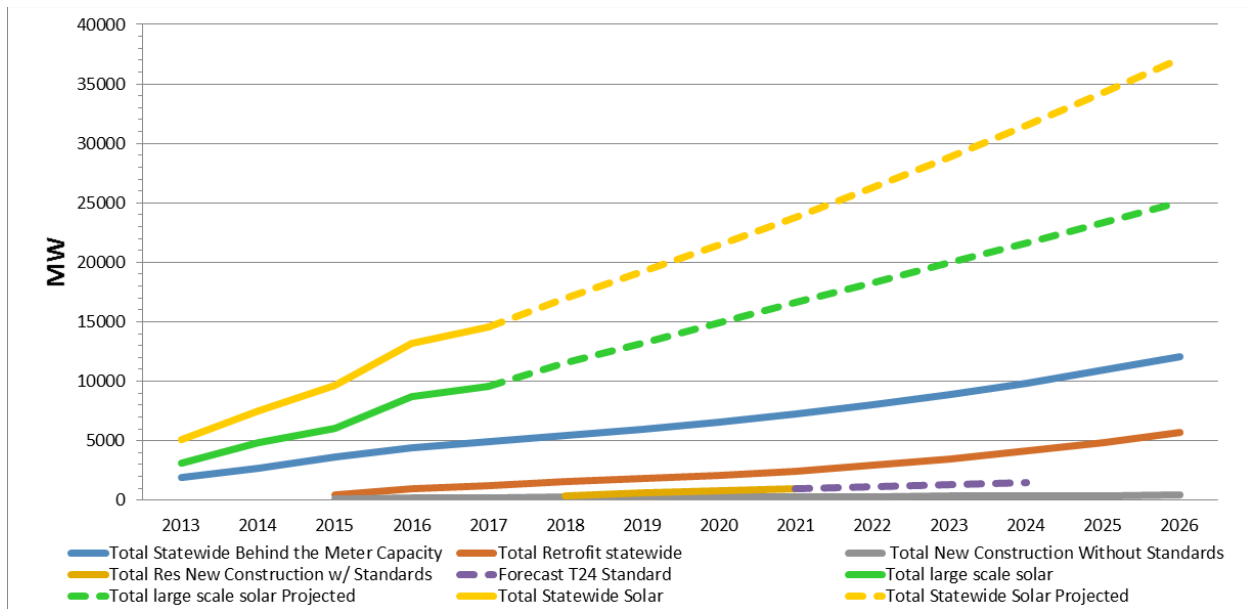
To achieve these policy goals, the state must use all available options, including utility-scale and onsite PV systems. These approaches are complementary and not mutually exclusive. Both options reduce carbon dioxide (CO<sub>2</sub>) emissions, and present unique opportunities, challenges, and environmental benefits:

- **Utility-scale PV systems** may be up to 500 megawatts (MW) or larger. The benefits include installed equipment costs that are less expensive per watt (\$1.05 to \$1.20 per watt) than an onsite rooftop system, and reduced system-wide CO<sub>2</sub> emissions. The challenges include acquiring large plots of land, long transmission, distribution, and transformer infrastructure; and time consuming, and expensive environmental impact reports. The systems can also negatively impact sensitive wildlife habitats. It is important to include all costs and challenges when comparing a utility-scale PV system to onsite solar.
- **Onsite or rooftop PV systems** are generally only a few kW. The installed equipment costs are around \$3 per watt. The benefits of these systems are that they do contribute to CO<sub>2</sub> reduction from building loads, they do not require land acquisition (the roof is existing and available for PV deployment at no additional cost) or additional transmission and distribution infrastructure because the system is close to the load it serves. As part of a local distributed energy resource (DER) system and because of the proximity to the loads it serves, an onsite PV system, once coupled with smart inverters, demand response, and a battery storage system, can enhance grid reliability and resilience. The benefits of a DER system include providing ancillary services (frequency and voltage regulation) and improved reliability during grid failures, natural disasters, and wildfires. Further, the distributed nature of small generation systems reduces the grid's overall vulnerability to cyberattacks. Onsite efficiency and PV systems allow building occupants to save each month on their utility bills, making home ownership more affordable.

Importantly, the 2019 Standards allow community-scale PV as an alternative renewable resource to onsite PV systems, when approved by the Energy Commission. Community-scale PV systems can range from a few kW to a few MW. The equipment costs for these systems are even lower than rooftop, in the \$2-per-watt range. Plans for community solar may face unique barriers such as limitations of the compensation model. Some community solar options may also require land acquisition, and distribution infrastructure development.

**Question 6:** Would the 2019 Standards PV requirement create or exacerbate a market where California has too much solar capacity on mild and sunny days?

**Answer:** The expected increase in PV installations due to the 2019 Standards PV requirement is equal to only 1.1 percent of total existing statewide PV capacity. The other 98.9 percent of the PV capacity installed in the state—including utility-scale PV systems, nonresidential buildings installations, and PV installed on existing homes—is unaffected by the new requirements. Further, because the rate of growth for utility-scale and voluntary, behind-the-meter capacities is steeper than the residential new construction rate, residential new construction will make up a smaller percentage of total statewide PV capacity in the future.



Moreover, the 2019 Standards require PV systems sized to offset just the annual electricity consumption of a highly efficient dual-fuel home. The result is a modest PV size (2.8 kW for a typical single-family house) when compared to the average PV size installed on existing homes (about 7.2 kW for a typical single-family house). PV for existing homes is unaffected by the 2019 Standards. Overgeneration that causes a homeowner to sell electricity back to the grid is discouraged by both net energy metering rules and by the 2019 Standards.

The 2019 Standards include compliance incentives for demand response and grid-harmonization measures, such as precooling<sup>1</sup>, thermal storage, and battery storage systems. These complementary technologies maximize self-utilization<sup>2</sup> of PV electricity generated onsite and minimize hourly exports back to the grid, and as they come into common use, they will benefit distribution systems and enhance local reliability.

**Question 7:** The Energy Commission assumed an average statewide residential retail rate of 18 cents per kWh to calculate the monthly energy bill savings of \$80. What assumptions did the Energy Commission make to reach this number?

**Answer:** The Energy Commission conservatively chose 18 cents per kWh by considering the residential rates of several utilities, including Pacific Gas & Electric (PG&E), Southern California Edison (SCE), San Diego Gas & Electric (SDG&E), and Los Angeles Department of Water and Power (LADWP). Together, these utilities cover about 90 percent of the state’s ratepayers. The following table summarizes these rates for each utility.

<sup>1</sup> *Precooling* is the practice of cooling the house by 3 to 5 degrees in early afternoon when the electricity rates are relatively low and then turning off the air conditioning between 4 and 9 p.m., when the electricity rates are highest. This practice saves money for the building occupants and results in lower CO2 emissions from the grid.

<sup>2</sup> *Self-utilization* refers to the practice of using demand response and battery storage strategies to maximize using the PV output to serve the house loads, rather than exporting the electricity back to the grid; this practice harmonizes the PV system with the grid.

2018 Residential Flat Rates. Cents per kWh

Tier	PG&E - Schedule E1, EM	SCE - Schedule D	SDG&E - Summer, Schedule DR	LADWP - June, Schedule R1
Base	21.1	17.5	27	15.5
Mid-Tier	27.9	24.7	47	19.6
High-Tier	43.3	34.5	55	26.4
<b>Average</b>	<b>25.3</b>	<b>20.9</b>	<b>33.5</b>	<b>17.7</b>

Given these data, it appears that the Energy Commission's estimate of statewide average electricity cost of 18 cents/kWh is on the low side. If the actual rates are higher than 18 cents per kWh, then savings will be even greater for the utility customer.

**Question 8:** Why did the Energy Commission use a lifespan of 30 years for PV panels instead of 25 years?

**Answer:** The National Renewable Energy Laboratory (NREL), SunPower, Solar City, and other manufacturers support a 30-year or longer lifespan for PV panels. Although most panel warranties through the manufacturers are 20 to 25 years, the expected lifespan is longer. A warranty and the lifespan of a panel are not the same thing.

**Question 9:** How did the Energy Commission calculate the emissions reduction benefits of the 2019 Standards and the PV requirements? Did Energy Commission consider the impact of midday “renewable curtailment” on CO2 emissions? California’s long-term policies require the energy grid to use more renewable resources, essentially making the grid greener. Do the new onsite PV requirements reduce CO2 emissions despite these policies?

**Answer:** Yes. The Energy Commission uses a detailed hourly simulation model, known as CBECC-Res, to determine energy savings and emission impacts of the 2019 Standards. For every hour of the year, the software tracks all house loads (HVAC, water heating, plug loads, appliances, lighting, and so forth) and PV generation. Based on these hourly calculations, the software calculates PV-generated kWh that serve the house loads (which reduces the kWh that is purchased from the grid), and the hourly exports back to the grid. Next, the software applies California hourly long-term marginal emission rates<sup>3</sup> to the hourly kWh balances to calculate the CO2 generation impact for each hour of the year. Finally, the software adds all the hourly results to yield the annual CO2 reduction benefits.

Overabundance of PV resources can occasionally cause the grid operators to “curtail renewables” midday on some mild and sunny days; the California long-term marginal emission rates consider the impacts of “renewable curtailment” on the grid.

The 2019 Standards PV requirements will reduce building-based CO2 emissions significantly, even considering the Renewables Portfolio Standard (RPS) goal of 50 percent by 2020 for

---

<sup>3</sup> *Long-term marginal emission rates* represent the change in CO2 emissions for a group of generating resources relating to a unit change in electricity load (a kWh or MWh), where long-term structural changes in the electric infrastructure are characterized in the simulation model.

California grid, as indicated in the table below. Over the longer term, the PV requirement will help California reach the newly-established 100 percent clean energy goal.

Prototype home: 2,700 sf, Climate Zone 12 - Sacramento, CA

CO2 Impact of Housing Choices		Metric Tons of CO2 Generated/Year
Mixed-fuel	1997 Standards, no PV	6.5
Mixed-fuel	2019 Standards, no PV	3.1
Mixed-fuel	2019 Standards, with 3.1 kW PV	2.3
All-electric	2019 Standards, 3.1 kW PV, no battery	1.1
All-electric	2019 Standards, 6 kW PV, with battery	0.2

During the three-year cycle of the 2019 Residential Standards, CO2 emissions will be reduced by 700,000 metric tons, equivalent to taking 115,000 18-miles-per-gallon gas cars off the roads.

Further, the 2019 Standards compliance incentives for demand response and grid harmonization measures, such as precooling, thermal storage, and battery storage systems, can make the house invisible to the grid during most hours of the day, resulting in little or no CO2 emissions.

**Question 10:** The Energy Commission used only the current net energy metering, known as NEM2, rules to determine cost effectiveness for the onsite PV systems. NEM2 will be up for review by the California Public Utilities Commission (CPUC) in 2019. Did the Energy Commission consider alternatives to the current NEM2 policy?

**Answer:** Yes, the Energy Commission examined three net energy metering scenarios: (1) the current NEM 2.0 systems; (2) an alternative that significantly reduces bill savings for PV hourly exports to the grid (avoided cost instead of retail cost); and (3) a case where all generation is credited only with avoided costs - a highly unlikely scenario. Under the first two scenarios, all systems were cost effective by large margins. Under the third scenario, PV passed the cost test in 5 of 16 climate zones and narrowly failed in the others.

**Question 11:** When batteries are used, there is a loss of electricity associated with the roundtrip charge and discharge, resulting in fewer generated kWh. Why does the Commission provide a compliance credit for a battery storage system that is coupled with a PV system if there is a loss of energy?

**Answer:** Battery storage systems store the PV generated electricity in the middle of the day when solar resources are generally plentiful and electricity prices are low. The system discharges the stored electricity later in the day, during peak hours when solar resources are diminished and electricity prices are high. Battery storage systems have a roundtrip charge and discharge loss of 5 to 15 percent, depending on the type of battery technology and the inverter efficiencies. A compliance credit is available because the electricity price differential between the middle of the day and peak hours is greater than the battery charge and discharge losses. This means that even with the relatively small loss of electricity, it is still cost effective for a

consumer to store electricity generated onsite around midday and use it later on instead of purchasing additional electricity from the grid.

To calculate the compliance credit of a battery storage system coupled with a PV system, the Energy Commission's compliance software on an hourly-basis accounts for the PV generation, losses, storage capacity remaining, charge and discharge rates, cost of electricity, house loads, and hourly exports. Similar calculations are also performed to calculate the benefits of storage for CO2 emissions.

Not all battery storage systems are eligible for compliance credit; the system must comply with the requirements of Reference Joint Appendix 12 (See References). These requirements ensure that the battery storage system operates in a way that allows residents to take advantage of variable electricity costs associated with periods of clean energy availability throughout the day. Static batteries that remain mostly in backup mode have little to no value to the homeowner, the grid, or the environment.

**Question 12:** Did the Energy Commission receive any stakeholder input on these requirements? Were stakeholders aware of the Energy Commission's proposal?

**Answer:** Zero-net-energy goals have been part of California's *Energy Efficiency Strategic Plan*<sup>4</sup> since 2008; the 2013, 2016, and 2019 updates to Part 6 have consistently and transparently worked toward these goals. The 2019 rulemaking was preceded by 10 utility-hosted and 14 Energy Commission-hosted workshops and public hearings over 15 months. Hundreds of participants provided thousands of comments, to each of which the Energy Commission responded during the 2019 rulemaking process. Participants included California Building Industry Association (CBIA), Solar Energy Industries Association (SEIA), California Energy Storage Alliance (CESA), Bay Area Regional Energy Network (BayREN) representing local jurisdictions, investor-owned utilities, municipal utilities, community-shared solar and renewables advocates, environmental advocates, solar PV and battery storage manufacturers, the California Public Utilities Commission (CPUC), the California Air Resources Board (CARB), and members of the public, among others. All events were publicly noticed weeks in advance, and relevant information was emailed to thousands of subscribers on the Energy Commission's Building Standards listserv.

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<sup>4</sup> <http://www.cpuc.ca.gov/General.aspx?id=4125>

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<http://www.energy.ca.gov/title24/2019standards/rulemaking/documents/code-proposal-reports/index.php>

National Renewable Energy Labs (NREL). *U.S. Solar Photovoltaic System Cost Benchmark: Q1 2017*. 2017.

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Lawrence Berkeley National Labs (LBNL). *Tracking the Sun10*. 2017.

<https://emp.lbl.gov/publications/tracking-sun-10-installed-price>

California New Solar Home Partnership Program (NSHP) 2015-2018 Data:

<https://www.newsolarhomes.org/WebPages/Public/Reports.aspx>

Energy Commission Energy Efficiency Listservs - Self-Subscribing/Unsubscribing:

<https://www.energy.ca.gov/efficiency/listservers.html>

Pacific Gas & Electric 2018 Residential Rates:

<https://www.pge.com/tariffs/electric.shtml>

Southern California Edison 2018 Residential Rates:

<https://www.sce.com/wps/portal/home/residential/rates/Standard-Residential-Rate-Plan>

San Diego Gas & Electric 2018 Residential Rates:

<https://www.sdge.com/total-electric-rates>

Los Angeles Department of Water and Power 2018 Residential Rates:

[https://www.ladwp.com/ladwp/faces/wcnav\\_externalId/a-fr-elecrate-schel](https://www.ladwp.com/ladwp/faces/wcnav_externalId/a-fr-elecrate-schel)

SMUD 2018 Residential Rates:

<https://www.smud.org/en/Rate-Information/Residential-rates>

2019 CBECC-Res, Residential Building Simulation Software:

<http://www.bwilcox.com/BEES/BEES.html>



2019 Reference Appendices - JA11, JA12, and Others:

[http://www.energy.ca.gov/title24/2019standards/rulemaking/documents/2018-05-09\\_hearing/2019\\_Reference\\_Appendices.php](http://www.energy.ca.gov/title24/2019standards/rulemaking/documents/2018-05-09_hearing/2019_Reference_Appendices.php)

California Public Utilities Commission (CPUC) Energy Efficiency Strategic Plan:


<http://www.cpuc.ca.gov/General.aspx?id=4125>

CalEPA Regulated Site Portal



**Search By Keyword**  

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2 sites found

**Aboveground Petroleum Storage** 

**Pleasant Grove Wastewater Treatment Plant**  
5051 WESTPARK DR  
ROSEVILLE CA 95747

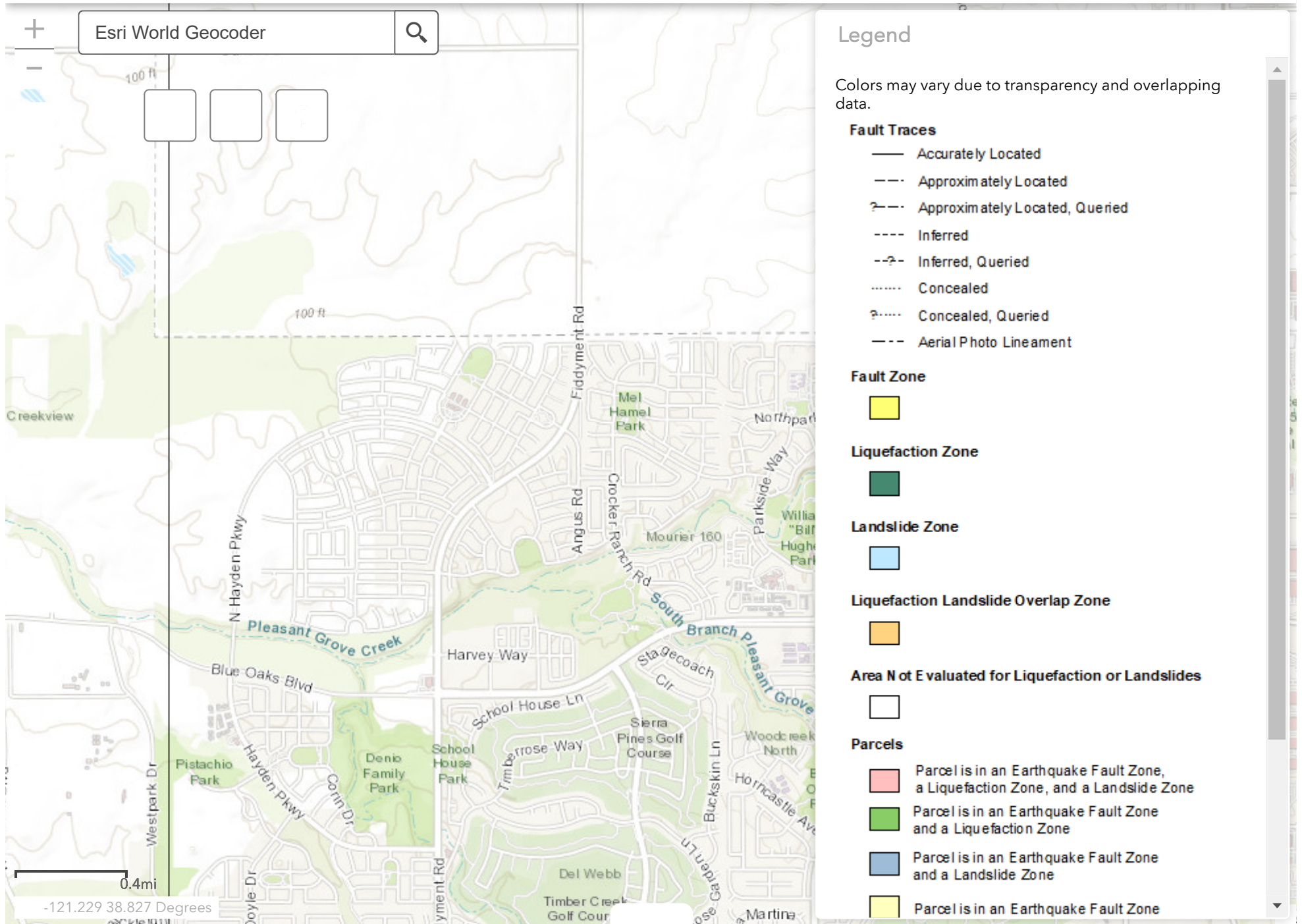
 

**Roseville Energy Park**  
5120 PHILLIP RD  
ROSEVILLE CA 95747

1000 ft

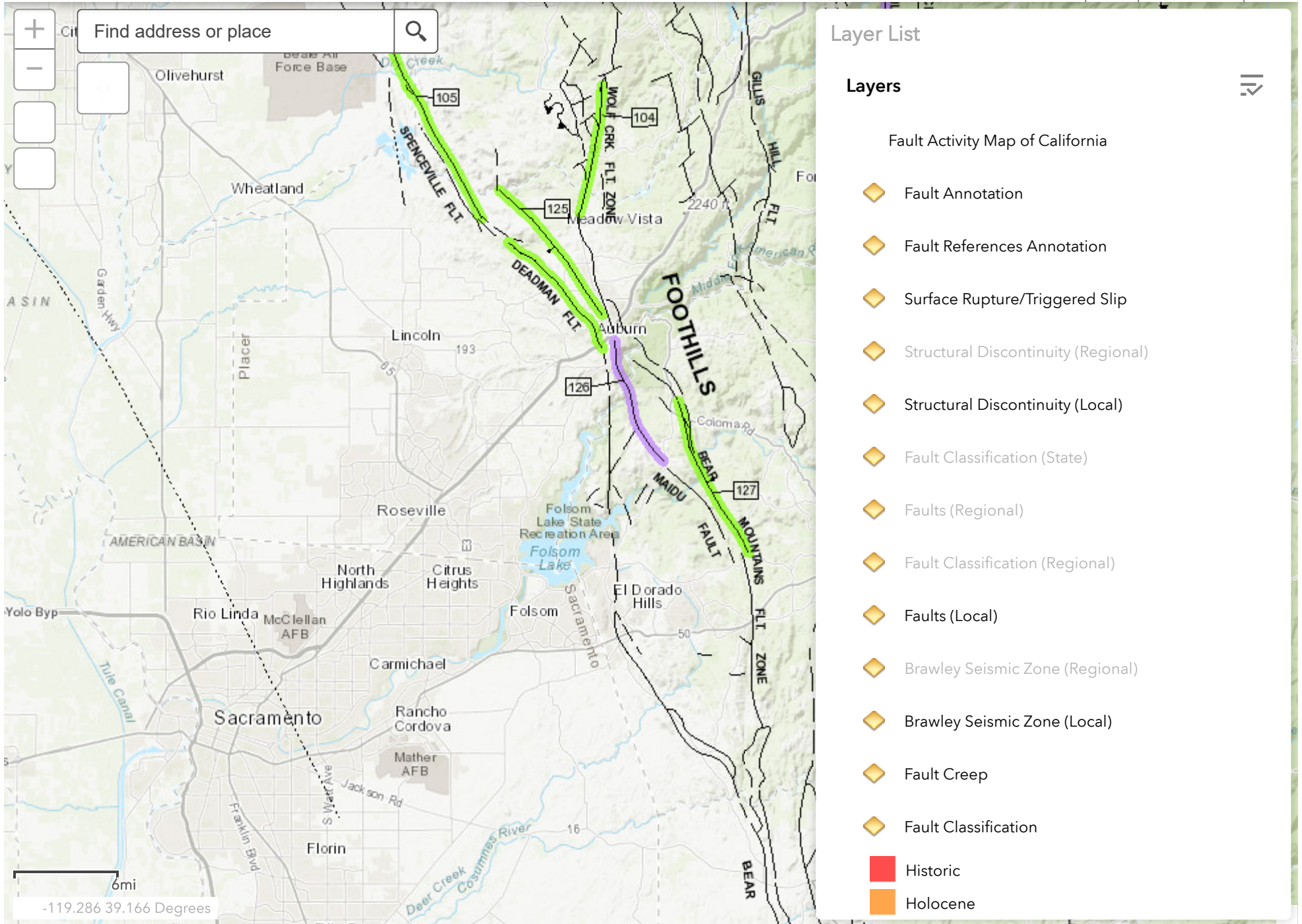
# Earthquake Zones of Required Investigation

CGS Homepage



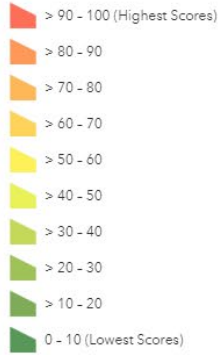
# Fault Activity Map of California

California Geological Survey

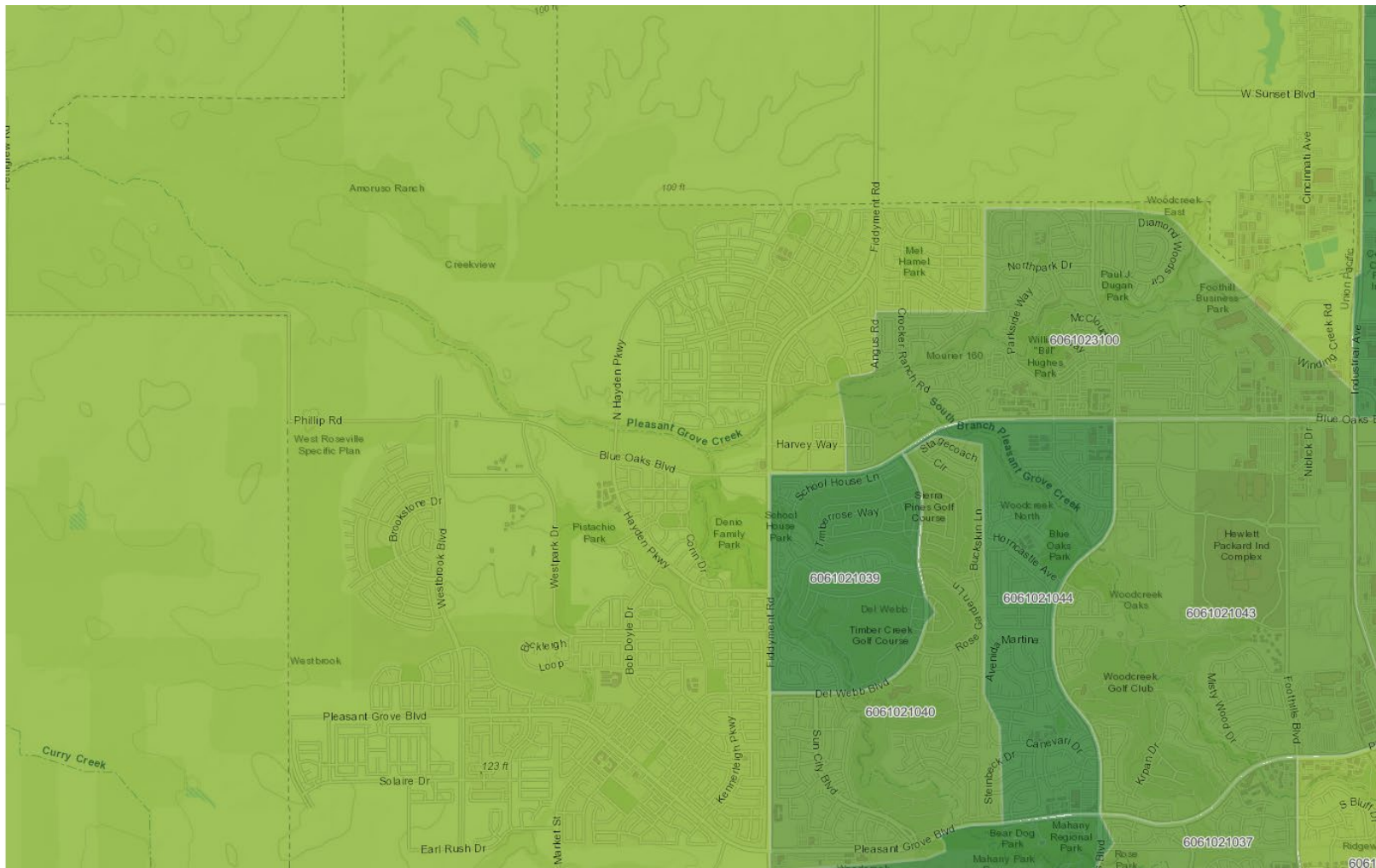


Legend

CalEnviroScreen 4.0 Results



CalEnviroScreen 4.0 High Pollution, Low Population



# CALGreen Construction Waste Management Requirements

## Waste Diversion

CALGreen requires covered projects to recycle and/or salvage for reuse a minimum 65% of the nonhazardous construction and demolition waste or meet a local construction and demolition waste management ordinance, whichever is more stringent.

The code applies to various occupancies and types. Please see [this table](#) for general requirements for each type. For specifics on the code's scope, see Section 101.3. Also see Section 101.11 for a list of steps that can be used to determine which sections apply to each type of occupancy.

## Methods of Compliance

- Enforcing agencies can require contractors to develop and maintain a waste management plan and document diversion and disposal.  
OR
- Utilize a waste management company that can provide verifiable documentation that it meets 65% waste diversion. OR
- Use a waste stream reduction alternative:
  - Non-residential new construction and residential high rise (4 stories or more) projects with a total disposal weight of  $\leq 2$  lbs/ft<sup>2</sup> meets the 65% waste diversion requirement.
  - Residential low rise (3 stories or less) with new construction disposal of  $\leq 3.4$  lbs/ft<sup>2</sup> meets the 65% waste diversion requirement.

## Recycling by Occupants (Space for Recycling)

Newly constructed non-residential buildings, certain non-residential additions and multi-family housing with  $\geq 5$  units should provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste and metals.

For more information on CALGreen's waste diversion requirements, refer to the [FAQ](#) page.

[Know Your Waste Stream](#)



# 2020 URBAN WATER MANAGEMENT PLAN



# City of Roseville 2020 Urban Water Management Plan

July 2022



Prepared by Water Works Engineers, LLC  
Colleen Boak, PE  
Esmeralda Diego

Checked by:  
Tim Durbin, PE  
Cindy Bertsch, PE

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## Abbreviations

Acre(s)	ac
Acre Feet	AF
Acre Feet Per Year	AF/yr
American Community Survey	ACS
American River Basin	Basin
American River Basin Study	ARBS or Study
Aquifer Storage Recovery	ASR
Average Dry Weather Flow	ADWF
Barton Road Water Treatment Plant	BRWTP
California Department of Finance	CDoF
California State Groundwater Elevation Monitoring Program	CASGEM
California Water Code	CWC
California-American Water Company	Cal-Am
Central Valley Project Municipal and Industrial Water Shortage Policy	CVP M&I WSP
Citrus Heights Water District	CHWD
City of Roseville	COR or Roseville
City of Roseville Water Utility	City
Compressed Natural Gas	CNG
Cubic Feet Per Second	cfs
Degrees Fahrenheit	°F
Department of Water Resources	DWR
Drought Risk Assessment	DRA
Dwelling Unit	DU
Environmental Impact Statement	EIS
Environmental Utilities	EU
Equivalent Dwelling Unit	EDU
Gallons Per Day per Dwelling Unit	Gpd/DU
Gallons Per Minute	gpm
Groundwater Management Plan	GWMP
Groundwater Sustainability Agency	GSA
Groundwater Sustainability Plan	GSP
Hot Scenarios	HD, HW
Maximum Contaminant Level	MCL
Middle Fork Project	MFP
Million Gallon(s)	MG
Million Gallons Per Day	MGD
Model Water Efficient Landscape Ordinance	MWELO
Municipal and Industrial	M&I
National Pollutant Discharge Elimination System	NPDES
Operations Criteria and Plan	OCAP

Parts Per Million	ppm
Potential Evapotranspiration	PET
Placer County Water Agency	PCWA
Pounds Per Square Inch	psi
Regional Drought Contingency Plan/ Regional Water Reliability Plan	RWRP
Sacramento Suburban Water District	SSWD
San Juan Water District	SJWD
Senate Bill X7-7	SB X7-7
South Placer Municipal Utilities District	SPMUD
South Placer Wastewater Authority	SPWA
State of California Legislature	Legislature
State Water Project	SWP
Sustainable Groundwater Management Act	SGMA
Thousand Acre-Feet	TAF
United States Bureau of Reclamation	USBR
United States Bureau of Reclamation	USBR
Urban Water Management Plan	UWMP
Urban Water Management Plan Guidebook 2020	Guidebook
Urban Water Retail Supplier	Supplier
Warm Scenarios	WD, WW
Wastewater Treatment Plant	WWTP
Water Demand Tracking Tool	Tool
Water Forum Agreement	WFA
Water Shortage Contingency Plan	WSCP
Water Storage Investment Program	WSIP
Water Treatment Plant	WTP
Western Placer Groundwater Sustainability Agency	WPGSA

## Executive Summary

### ES. 1 Introduction

An Urban Water Management Plan (UWMP) is the legal and technical water management foundation for suppliers throughout California. A UWMP combines information from various sources that inform water supply and demand such as projects pertaining to local land use planning, regional water supply, infrastructure, and demand management. The City of Roseville Water Utility (City) participates in UWMP updates every five years, as required by law. Each UWMP update addresses all requirements pertaining to urban retail water suppliers in accordance with the Urban Water Management Planning Act and the Water Conservation Act of 2009, also referred to as Senate Bill X7-7 (SB X7-7). Information contained in this 2020 UWMP includes the component listed in the following section.

### ES. 2 Plan Components

The plan consists of the following components:

- **Chapter 1:** The basis for preparing a plan and the new requirements.
- **Chapter 2:** Summary of how the plan is prepared and coordination with the public and other local and regional authorities.
- **Chapter 3:** A description of the City's treatment facilities and distribution infrastructure, as well as a description of the population and area served by the City.
- **Chapter 4:** Quantification of water use for the 5-years preceding the plan update and water use projections for a 20-year planning horizon.
- **Chapter 5:** Supporting data for compliance with SB X7-7.
- **Chapter 6:** Description of existing and planned water supplies and water supply management.
- **Chapter 7:** A drought risk assessment (DRA), which analyzes water supplies and demands in a single year or multiple years of a water shortage.
- **Chapter 8:** The Water Shortage Contingency Plan (WSCP), which outlines the process that the City will execute in the event of a water shortage.
- **Chapter 9:** Demand measures that the City integrates and plans to integrate into its regular operations to address increasing demands.
- **Chapter 10:** Record of the process by which the UWMP was adopted, submitted, and implemented with the intention of making the plan widely available to the City's customers and the public.

### ES. 3 Basis for Plan Preparation and Coordination

Urban water retail suppliers (suppliers) who either deliver 3,000-acre feet (AF) or more of water or have over 3,000 service connections are required to submit a UWMP. In 2020 the City had 46,112 service connections and supplied a total of 31,896 AF to its customers and therefore is required to prepare and submit an UWMP.

In preparation of the UWMP the City coordinated with the U.S. Bureau of Reclamation (USBR), Placer County Water Agency (PCWA), and San Juan Water District (SJWD), all of which supply water to the city on a wholesale basis. The City also sought involvement from the public and other local water agencies. Neighboring water retail suppliers and the community were informed of a public hearing held on June 16, 2021. In this public hearing the

plan was presented, and attendees were encouraged to share questions and concerns. Following the public hearing, an adoption hearing for the UWMP was held on June 16, 2021 during which City Council adopted the UWMP.

#### ES. 4 System and Supply Description

Raw water from Folsom Lake, the City's primary water source, is conveyed to the City's water treatment plant located in the Granite Bay area and is then distributed through the City's 600 miles of water mains to customers. Other water facilities that the City maintains include potable water storage tanks, pump stations, interties to exchange water with other water agencies, and groundwater wells.

The City receives its contract supplies purchased from USBR, PCWA, and SJWD through Folsom Reservoir. The City currently has 8 wells, 6 of which are in service, and is planning to expand their groundwater program as a means to having a more robust water supply available in the event of a water shortage condition. The City is also considering contract amendments with water agencies that would increase overall water supply resilience.

#### ES. 5 Past and Projected Water Use

The City supplies water to customers for the following water use sectors:

- Commercial
- Industrial
- Institutional and Governmental
- Multi-Family Residential
- Single Family Residential
- Landscape

The UWMP characterizes water use by sector for the years preceding the plan update as well as projections of water use for the next 25 years. Projections in the 2020 UWMP differ significantly from 2015 projections as a result of the rapid development pace observed in Roseville since the last plan update. When the 2015 UWMP was prepared the City of Roseville's General Plan anticipated that buildout of planned development would be reached in 2065. The City of Roseville updated the General Plan in August 2020 and current estimations, reflecting the pace of development, now indicate buildout of planned development will be complete by 2035. The City has taken a long-term approach to its overall water strategy planning and has planned for a population of up to 198,000 for 2035. The actual volume of water used by each sector for 2020 and updated water use projections through the year 2045 are summarized in ES Table 1.

**ES Table 1** Actual 2020 Water Use and Projected Water Use through the Year 2045.

Water Use Sector	2020	2025	2030	2035	2040	2045
Commercial	2,630	6,135	6,508	7,017	7,017	7,017
Industrial	254	4,175	4,726	5,123	5,123	5,123
Institutional/ Governmental	412	8,904	9,494	10,321	10,321	10,321
Multi-Family	1,416	1,752	2,029	2,725	2,725	2,725
Single Family	17,115	22,564	24,508	26,281	26,281	26,281
Landscape	6,422	644	765	805	805	805
Losses	1,600	1,429	1,401	1,587	1,587	1,587
Groundwater recharge	597	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>30,445</b>	<b>47,163</b>	<b>52,151</b>	<b>57,210</b>	<b>57,210</b>	<b>57,210</b>

NOTES: All values are in AF/yr. Values represent potable water use only.

**ES. 6 SB X7-7**

SB X7-7 called for a 20% reduction of water use from all retail water suppliers by the year 2020. In the 2015 UWMP the City calculated a 10-year and 5-year baseline period to determine an average baseline gallon per capita per day (GPCD) water use. This baseline demand was calculated to be 309 GPCD in accordance with the SB X7-7 standard methods. The 2020 target compliance water demand was 247 GPCD, a 20% reduction of the baseline. In 2020 the average demand for the City was 203 GPCD, which represents an approximately 34% reduction of the baseline demand. As such, the City is compliant with SB X7-7.

**ES. 7 Supply Reliability and Drought Risk Assessment and Water Shortage Contingency Plan**

A supply reliability and drought risk assessment were performed. The assessments considered the supply available for a single-year and five-year consecutive drought period for both the near-term and long-term. The supply availability was compared to the total water use to determine if a deficit is projected for any of the conditions. The supply availability is subject to seasonal and climatic shortages and so in a dry or critically dry years increasing limitations are placed on the City for volume of water that they receive from Folsom Lake. The supply and drought risk assessment demonstrated that there may be minor deficits in supply versus demand conditions under certain drought related circumstances. These minor shortages may occur in the near-term extended drought scenario as well as over the longer term for both extended and single year drought conditions. The highest level of deficiency identified represents less than 8% of the annual demand and can be remedied by the simple application of basic conservation measures, estimated to achieve 13% savings. The results of the drought risk assessment are summarized in ES Table 2.

**ES Table 2** Near-Term and Long-Term Drought Risk Assessment Summary

Drought Type Assessed	Deficit Range	Description of Anticipated Deficit
Near-Term 5 Consecutive Dry Years	1,647	Deficit Expected in fifth year only
Long-Term Single Dry Year	1,647 – 1,824	Deficit expected in 2025-2045
Long-Term 5 Consecutive Dry Years	7 – 4,904	Deficit expected in fourth year for 2025-2045
	1,647 – 1,824	Deficit expected in fifth year of drought for 2025-2045

NOTES: All values are in AF/yr.

To mitigate the projected deficits in a water shortage, a Water Shortage Contingency Plan (WSCP) was prepared. The WSCP outlines the procedures that the City will take annually to determine whether there will be a water deficit based on projected water demand and supply availability. If a deficit is anticipated the City will formally declare a water shortage emergency condition of varying levels dependent on the severity of the deficit. The declaration of the water shortage emergency condition will trigger a set of demand reduction actions that is to be carried out by the City and all water users. These demand reduction actions are set forth in the Roseville Municipal Code Chapter 14.09 Water Conservation and Drought Mitigation Ordinance. The legal authority of the City to enforce compliance with the demand reduction actions is granted by the Water Conservation and Drought Mitigation Ordinance.

### **ES. 8 Demand Management Measures**

Aside from the demand reduction actions of the Water Conservation and Drought Mitigation Ordinance, the City has taken a proactive approach to managing demand under normal conditions as well. Demand management measures include accurate metering through a meter retrofit program which was implemented from 2001 to 2011, public education and outreach, and regional rebate programs for efficient water use fixtures. System losses, typically losses due to leaks in the pipe network, can account for a significant portion of water demand. The City continues to be proactive in its approach to address leaks in the system and reduce the overall losses, including an active acoustic leak detection program to identify and repair leaks throughout the distribution system, working to reduce overall system losses.

### **ES. 10 Plan Adoption and Submittal**

The 2020 UWMP was adopted by City Council on June 16, 2021. The 2020 UWMP will be submitted to the California Department of Water Resources for compliance with the Urban Water Management Planning Act. Copies of the plan have been made publicly available at the City's offices and an electronic version is also available for review and download on the City's website: [www.roseville.ca.us/UWMP](http://www.roseville.ca.us/UWMP).

## Chapter 1 Urban Water Management Plan Purpose and Description

This chapter introduces the Urban Water Management (UWMP) including legislation requiring urban water retail suppliers to submit UWMPs, necessary information required to be reported in the 2020 UWMP, an overview of the changes to legislation since the 2015 City of Roseville UWMP, and a description of benefits to the supplier and its customers in completing a UWMP.

### 1.1 California Legislation

The Urban Water Management Planning Act was enacted in 1983 by the State of California Legislature (Legislature). The law established the requirement that an urban water supplier (supplier), providing municipal water to over 3,000 customers or 3,000 acre-feet (AF) annually, adopt an UWMP every five years. The aim of the Urban Water Management Planning Act was to address declarations and findings of the California Water Code (CWC):

#### *California Water Code Section 10610.2*

*(a) The Legislature finds and declares all of the following:*

- (1) The waters of the state are a limited and renewable resource subject to ever-increasing demands.*
- (2) The conservation and efficient use of urban water supplies are of statewide concern; however, the planning for that use and the implementation of those plans can best be accomplished at the local level.*
- (3) A long-term, reliable supply of water is essential to protect the productivity of California's businesses and economic climate, and increasing long-term water conservation among Californians, improving water use efficiency within the state's communities and agricultural production, and strengthening local and regional drought planning are critical to California's resilience to drought and climate change.*
- (4) As part of its long-range planning activities, every urban water supplier should make every effort to ensure the appropriate level of reliability in its water service sufficient to meet the needs of its various categories of customers during normal, dry, and multiple dry water years now and into the foreseeable future, and every urban water supplier should collaborate closely with local land-use authorities to ensure water demand forecasts are consistent with current land-use planning.*
- (5) Public health issues have been raised over a number of contaminants that have been identified in certain local and imported water supplies.*
- (6) Implementing effective water management strategies, including groundwater storage projects and recycled water projects, may require specific water quality and salinity targets for meeting groundwater basins water quality objectives and promoting beneficial use of recycled water.*
- (7) Water quality regulations are becoming an increasingly important factor in water agencies' selection of raw water sources, treatment alternatives, and modifications to existing treatment facilities.*
- (8) Changes in drinking water quality standards may also impact the usefulness of water supplies and may ultimately impact supply reliability.*
- (9) The quality of source supplies can have a significant impact on water management strategies and supply reliability.*

Additionally, efforts aimed at protecting California’s water supply were expanded in 2009 with Senate Bill X7-7 (SB X7-7), where Governor Schwarzenegger called for a 20% reduction statewide in per capita water use by 2020.

## 1.2 Updates to 2020 UWMP

Since the reporting of the 2015 UWMP, there have been various requirements added by the Legislature to the CWC. Subsequent chapters of this report will provide necessary information to address requirements applicable to the City. The major new requirements are described in the following sections.

### 1.2.1 Lay Description

Pursuant to Section 10630.5, all plans are now required to include a lay description. This description shall include how much water the City has on a reliable basis, anticipated demands for the foreseeable future, the City’s plan to meet those future demands, any challenges that the City will face in the future, and other information that will provide the public with an understanding of the City’s 2020 UWMP.

The requirement for this lay description is met in the executive summary.

### 1.2.2 Water Loss Reporting

Pursuant to Section 10631(d)(3)(C), the 2020 UWMP shall include past water loss for the 5-years preceding the plan. The 2015 UWMP included water loss data from 2015 only.

### 1.2.3 Energy Use Information

Pursuant to 10631.2, the 2020 UWMP shall include any information related to the amount of energy consumed in various water processed to estimate the energy intensity.

### 1.2.4 Groundwater Supplies Coordination

Pursuant to 10631(b)(4)(A), if groundwater is identified as a source of water available to the supplier the 2020 UWMP shall coordinate with the current version of any groundwater sustainability plan adopted pursuant to 10720, Sustainable Groundwater Management Act, or any other authority for groundwater management for basins underlying the service area.

### 1.2.5 Five Consecutive Dry-Year Water Reliability Assessment

Pursuant to 10631(f), suppliers must now include a description of actions they will implement for a period of drought lasting five consecutive water years as opposed to the 2015 UWMP requirement, which was for multiple dry water years.

### 1.2.6 Drought Risk Assessment

Pursuant to 10635(b), all suppliers are required to include a drought risk assessment (DRA) in the UWMP. Interim updates to the DRA may be conducted by the supplier within the five-year cycle of the UWMP update.

### 1.2.7 Water Shortage Contingency Plan

Pursuant to Section 10632, every urban water supplier shall prepare and adopt a water shortage contingency plan (WSCP). The WSCP shall be included in the 2020 UWMP but is to be adopted separate from the UWMP with the intent that it be updated as needed independently of the UWMP.

### 1.2.8 Seismic Risk

Pursuant to 10632.5, suppliers shall include a seismic risk assessment and mitigation in the UWMP to assess vulnerabilities of the supplier's facilities. The seismic risk assessment and mitigation plan shall be updated when the UWMP is updated.

## 1.3 Benefits of UWMP Reporting

UWMP reporting for the City is required by the state and is a critical document for ensuring that the City remains compliant with various regulations. Additionally, completion of a UWMP demonstrating that the City addresses the requirements of the CWC is necessary to be eligible for any Department of Water Resources (DWR) administered grant or loan. Completion of the most recent UWMP may also be required for other state funding.

Beyond establishing grant or loan eligibility the UWMP is intended to be a useful tool for the supplier and the public. Thoughtful preparation of the plan provides the supplier an opportunity for forward thinking and planning, ensuring that their water supply remains robust in the future and continues to meet the dynamic needs of its customers. Throughout plan preparation the City, other suppliers, and local and regional authorities are encouraged to coordinate with one another creating a greater understanding of the region's water demands, ultimately promoting mindful utilization of the state's water resources.

## 1.4 Plan Organization

This UWMP was prepared in part by use of guidance issued by DWR via the *Urban Water Management Plan Guidebook 2020* (Guidebook). Organization of the plan chapters closely follows the suggested organization in the Guidebook. Where appropriate, submittal tables provided by DWR are used to report data; these tables are denoted by the prefix, "DWR Table". Additional data reporting is done in City of Roseville Tables denoted by the prefix, "COR Table".

## Chapter 2 Plan Preparation

This chapter provides an overview of the process by which the plan was prepared and the coordination that was carried out.

### 2.1 Basis for Preparing a Plan

The City of Roseville Water Utility (City) is a public water system (PWS), which is a system that provides drinking water for human consumption through pipes or other constructed conveyances. The City serves over 3,000 customers and delivers over 3,000 AF annually and as such is required to submit a UWMP. Metrics for total number of customers and volume of water supplied in the City’s service area for 2020 are provided in DWR Table 2-1. The UWMP is required to be reviewed and updated every five years; preparation of this UWMP is an update to the most recent UWMP, adopted by the City of Roseville in 2016. As a water retail supplier, the City is also required to comply with the requirements of SB X7-7. This UWMP establishes the City’s compliance with the Urban Water Management Planning Act and SB X7-7.

**DWR Table 2-1**

Submittal Table 2-1 Retail Only: Public Water Systems			
Public Water System Number	Public Water System Name	Number of Municipal Connections 2020	Volume of Water Supplied 2020
3110008	City of Roseville	46,112	30,445
<b>TOTAL</b>		<b>46,112</b>	<b>30,445</b>
NOTES: All volumes are in AF. Units of measure remain consistent throughout the UWMP as reported in DWR Table 2-3.			

### 2.2 Individual or Regional Planning and Compliance

The CWC provides mechanisms for participating in area-wide regional, watershed or basin-wide urban water management planning. Per *Department of Water Resources Methodologies for Calculating Baseline and Compliance Urban Per Capita Water Use* (DWR Methodologies), water suppliers who receive water from a shared wholesale supplier may form a regional alliance. Although the City and its neighboring water suppliers practice regional water supply planning, the City has not formed a regional alliance with other water suppliers for compliance with SB X7-7. The City has prepared an individual UWMP, reporting solely on its own distribution service area and will not adopt a Regional Urban Water Management Plan (RUWMP), stated in DWR Table 2-2.

**DWR Table 2-2**

Submittal Table 2-2: Plan Identification		
Select Only One	Type of Plan	Name of RUWMP or Regional Alliance <i>if applicable</i>
<input checked="" type="checkbox"/>	<b>Individual UWMP</b>	
<input type="checkbox"/>	Water Supplier is also a member of a RUWMP	
<input type="checkbox"/>	Water Supplier is also a member of a Regional Alliance	
<input type="checkbox"/>	<b>Regional Urban Water Management Plan (RUWMP)</b>	

### 2.3 Fiscal or Calendar Year and Units of Measure

General metrics for plan preparation are provided in DWR Table 2-3.

**DWR Table 2-3**

Submittal Table 2-3: Supplier Identification	
Type of Supplier (select one or both)	
<input type="checkbox"/>	Supplier is a wholesaler
<input checked="" type="checkbox"/>	Supplier is a retailer
Fiscal or Calendar Year (select one)	
<input checked="" type="checkbox"/>	UWMP Tables are in calendar years
<input type="checkbox"/>	UWMP Tables are in fiscal years
If using fiscal years provide month and date that the fiscal year begins (mm/dd)	
Units of measure used in UWMP (select from drop down)	
Unit	AF

### 2.4 Coordination and Outreach

This section discusses the City’s coordination with other agencies and the public.

#### 2.4.1 Wholesale and Retail Coordination

Pursuant to CWC Section 10631(j) the City is to coordinate with wholesale supply agencies that provide the City with water. The City has water supply contracts with Placer County Water Agency (PCWA), San Juan Water District (SJWD), and the U.S. Bureau of Reclamation (USBR). As a retail supplier the City has informed the three agencies

of projected water use in five-year increments for the next 20 years. Documentation of this coordination is provided in Appendix A. DWR Table 2-4 lists those three agencies that the City has coordinated with.

**DWR Table 2-4**

<b>Submittal Table 2-4 Retail: Water Supplier Information Exchange</b>	
The retail Supplier has informed the following wholesale supplier(s) of projected water use in accordance with Water Code Section 10631.	
Wholesale Water Supplier Name	
U.S. Bureau of Reclamation	
Placer County Water Agency	
San Juan Water District	

### 2.4.2 Coordination with Other Agencies and the Community

The City has actively sought to coordinate preparation of the UWMP with local and regional agencies and the general public. The City recognizes that how it currently utilizes and plans to utilize its water supply affects not only its own customers, but customers served by neighboring water agencies and individuals or groups that rely on private wells. As the City is dedicated to the responsible and sustainable management of local and regional water resources it has invited participation from the agencies listed in COR Table 2-A. Documentation of this coordination is provided in Appendix B. On February 16, 2021, the City noticed the neighboring cities and counties that preparation of the 2020 UWMP update had begun. Additionally, the City held a public hearing on June 16, 2021 to introduce the 2020 UWMP to the public and solicit feedback and answer questions regarding the plan.

**COR Table 2-A** Outreach with Local and Regional Agencies

Agency Name	Agency Type
U.S. Bureau of Reclamation	Wholesale Supplier
Placer County Water Agency	Water Supplier
San Juan Water District	Water Supplier
California American Water	Water Supplier
Citrus Heights Water District	Water Supplier
Sacramento Municipal utility District	Water Supplier
Sacramento Suburban Water District	Water Supplier
City of Roseville, City Manager	Local City
Placer County Public Works Department	Local County
Placer County Community Development Resource Agency	Local County
Regional Water Authority Sacramento	Regional Organization

## Chapter 3 System Description

This chapter provides a description of the system including information on the distribution system; service area boundary; service area climate; service area population, demographics, and socioeconomics; and land uses within the service area.

### 3.1 General Description

The City of Roseville Water Utility (City) is a public utility owned and operated by the City of Roseville, which is on the interstate 80 corridor, approximately 15 miles northeast of downtown Sacramento California. The City obtains its surface water from Folsom Lake through wholesale purchase primarily from the United States Bureau of Reclamation (USBR) and additional water contracts with Placer County Water Agency (PCWA) and San Juan Water District (SJWD). The City also maintains and operates several production well sites that provide additional water supply reliability to the City with plans to construct more.

#### 3.1.1 Transmission

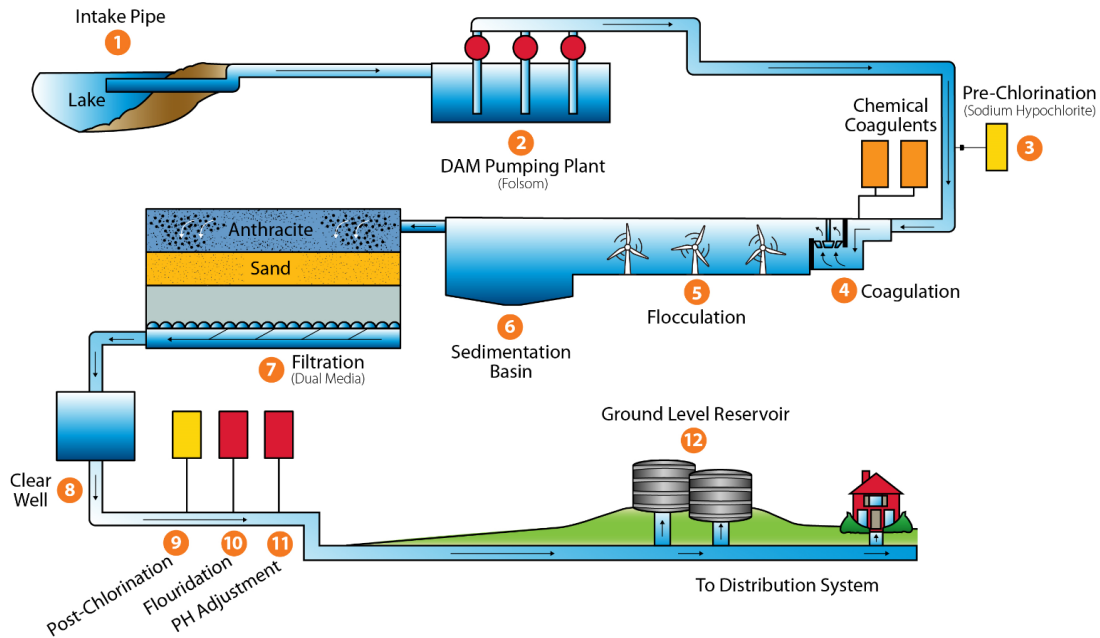
The City has a diversion capacity of 150 cubic feet per second (cfs) or 96 million gallons per day (MGD) at Folsom Dam. From the pump station raw water is conveyed through parallel pipelines; the original 84-inch diameter pipeline constructed at the same time as the pump station and a 72-inch diameter pipeline completed in 2010 as a joint effort between the City and other water purveyors. The common facilities split at the “Hinkel Y”, and thereafter raw water is conveyed through parallel pipelines – a 60-inch diameter pipeline and a 48-inch diameter pipeline – to the City’s water treatment plant.

#### 3.1.2 Water Treatment

The City’s single water treatment plant (WTP), located within the City but in the Granite Bay area, has a capacity of 100 MGD. There are no plans to expand the WTP as the WTP is sized just above the pumping capacity of the Folsom Dam pump station. The WTP is a conventional treatment plant. The treatment processes include flocculation and sedimentation, clarification, filtration, and disinfection. The treatment train, beginning with the intake at Folsom Lake, is shown in Figure 3-1.

Sedimentation takes place in three parallel clarifiers. The chemicals injected as part of the flocculation and sedimentation processes are caustic soda, alum, and a cationic polymer. Sedimentation takes place in three separate parallel clarifiers. There are 12 anthracite sand filters, which combined have a maximum filtration rate of about 83,000 gallons per minute (gpm). The clear wells have a total volume of 358,500 gallons. Disinfection is achieved using sodium hypochlorite. The City also adds fluoride to treated water at a concentration of 0.7 parts per million (ppm) prior to distribution.

## Water Treatment Plant SURFACE WATER SUPPLY



**Figure 3-1.** City of Roseville Water Treatment Plant Treatment Train

### 3.1.1.3 Storage

The City currently utilizes 6 potable water storage tanks, which are critical for maintaining water supply and system pressure during typical demand fluctuations, peak demand fluctuations, and emergency demands. The six water storage tanks have a total nominal capacity of 32 million gallons (MG). The City is also actively constructing two additional water storage tanks which will add a combined capacity of 12 MG, bringing the total storage capacity to 44 MG. The capacity of each tank is listed in COR Table 3-A.

**COR Table 3-A** Potable Water Storage Tanks

Facility	Existing or Future	Year Constructed	Type	Pressure Zone Served	Capacity (MG)
WTP	Existing	1971	Steel	1, 2, 4, 5	2
WTP	Existing	1990	Pre-Stressed Concrete	1, 2, 4, 5	4
WTP	Existing	2004	Pre-Stressed Concrete	1, 2, 4, 5	6
Northeast	Existing	1998	Pre-Stressed Concrete	1, 2, 4, 5	10
Northeast	Existing	2009	Pre-Stressed Concrete	1, 2, 4, 5	7.25
Halverson	Existing	2008	Pre-Stressed Concrete	2	2.9
West Side	Future	2022	Pre-Stressed Concrete	4	12

### 3.1.4 Distribution Network

The City maintains a distribution network consisting of approximately 600 miles of pressure pipe ranging from 1 inch to 72 inches in diameter. The network of pipe delivers potable water from the WTP to the City’s customers to meet water demands during average day, maximum day, and peak hour conditions. The City aims to operate its system at a minimum pressure of 50 pounds per square inch (psi). Under existing conditions, the City mostly meets the minimum pressure criterion, with few instances where the minimum criteria are not met. These instances are not considered to be significant enough to impact the quality of customer’s water service.

There are several specific plans for the City of Roseville which are in the process of being developed or will be developed in coming years. The City will serve these customers through new facilities which were designed during project development and that will be constructed by the developer and incorporated into the City’s distribution network. The West Side Tank site will include a pump station with a pumping capacity of 20 MGD at the end of this construction phase, which is anticipated to be completed in 2022, but is designed to have a maximum capacity of 26.6 MGD at buildout. The existing and planned pump stations are summarized in COR Table 3-B.

**COR Table 3-B Potable Water Pump Stations**

Facility	Existing or Future	Pressure Zone Served
Dual Purpose Pump Station	Existing	1, 2
Highland Reserve North Pump Station	Existing	5
Pleasant Grove Pump Station	Existing	1
Pacific Fruit Express (PFE) Pump Station	Existing	Emergency Intertie
West Side Pump Station	Future	4

### 3.1.5 Groundwater Wells

The City currently operates 6 groundwater wells, which have a combined capacity of approximately 17,500-acre feet per year (AF/yr) or 15.6 MGD. Capacities of each operational well site are listed in COR Table 3-C. During the 2015 drought the water level in Folsom Lake was the lowest on record, which resulted in fluctuations in water supply. Consequently, the City sought to expand the existing ground water supply program to decrease reliability on Folsom Lake and to provide flexibility. To do so the City plans to utilize Aquifer Storage and Recovery (ASR) technology. ASR is the recharge of water in an aquifer through specially designed groundwater wells and recovery of water from that same well or others after time has passed. During times when there are excess surface water supplies, surface water can be injected using the ASR production wells and extracted during dry periods or when additional surface water is needed for the environment or other beneficial needs. Four of the existing operational wells have ASR capabilities, and the City plans to construct 6 additional wells with ASR capabilities by 2035.

**COR Table 3-C Existing Operational Wells**

Facility	Install/Rehab Date	Well Depth (Feet)	Zone Served	Pumping Capacity (MGD)
Darling Way, No. 4	1958/ 1999	303	1	1.3
Oakmont, No. 5	1978/ 1999	360	1	2.1
Diamond Creek, No. 6	2002	460	4	4.0
Woodcreek North, No. 7	2008	440	1	2.2
Hayden Parkway, No. 8	2015	520	4	3.1
Blue Oaks Boulevard, No. 12	2015	490	4	3.2

### 3.1.6 Interties

There are 17 interties with the surrounding jurisdictions of PCWA, SJWD, California-American Water Company (Cal-Am), Citrus Heights Water District (CHWD), and Sacramento Suburban Water District (SSWD). Each intertie is listed in COR Table 3-D.

**COR Table 3-D Interties with Neighboring Water Suppliers**

Intertie Agency	Facility	Year Constructed	Operational Control Agency	Control Valve Size (Inches)	Agency Receiving Water	Avg. Days/ Yr. Utilized 2015-2020	Days Utilized 2020
SJWD	WTP	1996	Roseville	16	Roseville	>1	0
	Eureka	1999	Roseville	12	Roseville	0	0
	Cavitt Stallman	1999	Roseville	12	Roseville	0	0
PCWA	Five Star	1995	PCWA	12	Roseville	0	0
	Stoneridge	1998	Roseville	12	PCWA	274	274
	Highland Park	2000	Roseville	12	PCWA	0	0
	Pleasant Grove	2000	PCWA	12	Roseville	0	0
	Industrial – Tinker	1989	Roseville	16	Roseville	361	361
	Bianchi Estates	2000	PCWA	12		365	365
Cal-Am	Crowder	2001	Cal-Am	12	Cal-Am	365	365
	PFE	2005	Roseville	16	Cal-Am	354	365
	Vernon Oaks	1988	Roseville	12	Cal-Am	0	0
	Vineyard Rd	1990	Cal-Am		Cal-Am	365	365
CHWD	Orlando	1989	Roseville	6	CHWD	0	0
	Blossom Hill	1986	Roseville	10	CHWD	0	0
	Fairway	2017	Roseville	8	CHWD	0	0
SSWD	PFE/ North Antelope	2005	Roseville	20	Both	0	0

#### 3.1.6.1 San Juan Water District Interties

The three interties that exist between the City and SJWD under normal operations remain closed and are only intended for emergency use. The intertie at the WTP delivers water from SJWD to the City only. The Eureka and Cavitt Stallman interties deliver water to and from the City.

### *3.1.6.2 Placer County Water Agency Interties*

All interties between the City and PCWA, except for the Bianchi estates intertie, can deliver water into the City. The Highland Park and Pleasant Grove interties cannot deliver water from the City to PCWA, but the other four remaining interties can. Through these interties a maximum of 11.5 MGD can be delivered to the City and 12.0 MGD can be delivered to PCWA. Three of the six PCWA interties under normal operations remain opened. The Stoneridge intertie regularly pumps water from the City to PCWA. The Bianchi Estates intertie is regularly kept open as it feeds PCWA's Bianchi Estates system and is the only source of supply for that area. The Industrial- Tinker intertie is normally open in order to deliver water from PCWA to Cal-Am through the Crowder and PFE interties.

### *3.1.6.3 California American Water Company Intertie*

Only the PFE intertie can deliver water to the City and is intended for emergency use with a maximum capacity of 3.5 MGD. Both the Crowder intertie and Vineyard interties cannot deliver water to the city. All three interties can deliver water from the City to Cal-Am and are normally open with a total maximum capacity of 8.35 MGD. The water that is delivered to the Crowder and Vineyard Rd interties is from the PCWA Tinker intertie.

### *3.1.6.4 Citrus Heights Water District*

The three interties between the City and CHWD can all be used to deliver water to and from the City. All three are intended for emergency use and under normal operating conditions remain closed.










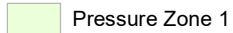
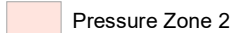
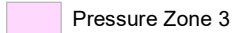
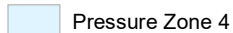
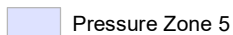




### *3.1.6.5 Sacramento Suburban Water District Intertie*

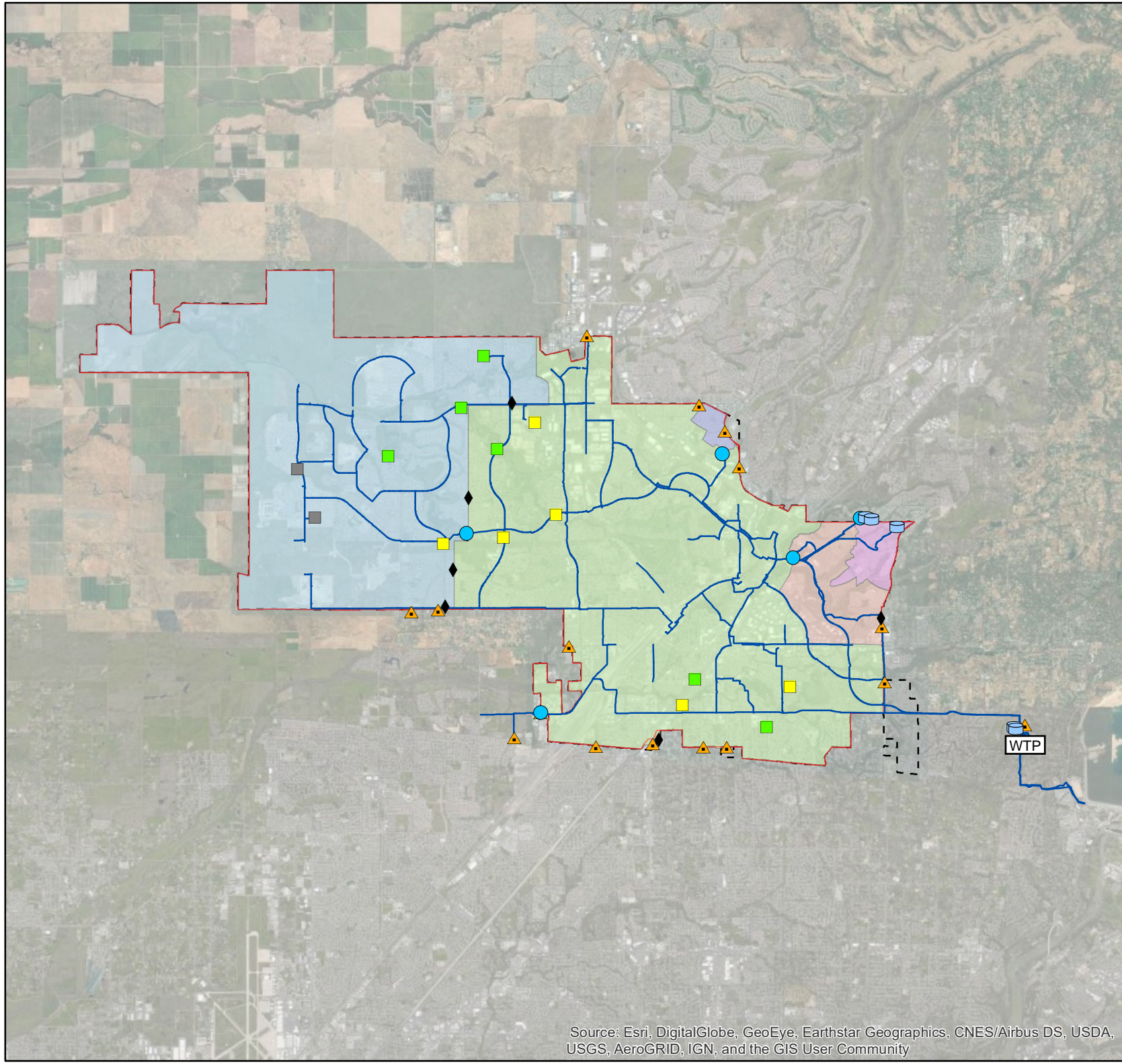
The intertie between the City and SSWD is part of regional development of conjunctive use programs. During an emergency or drought years, the PFE pump station will pump water from SSWD's service area into zone 1 of the City. Likewise, this intertie can be used to deliver water from the City to SSWD. A mutual aid agreement between the City and SSWD is currently being developed.

## **3.2 Service Area**

The City's service area boundary lies within the limits of the City of Roseville. There are a few small areas within the city limits that are served by PCWA, SJWD, and CHWD. The service area is approximately 3,150 acres (ac). The service area and the facilities mentioned in section 3.1 are shown in Figure 3-2.

# Legend

-  WTP Water Treatment Plant
  -  Water Tank
  -  Well - In Service
  -  Well - Proposed
  -  Well - Inactive
  -  Pump Station
  -  Pressure Reducing Station
  -  Intertie
  -  Transmission Water Mains
  -  Pressure Zone 1
  -  Pressure Zone 2
  -  Pressure Zone 3
  -  Pressure Zone 4
  -  Pressure Zone 5
  -  Service Area
  -  Roseville City Limits
-  N  
 0 0.5 1 2 Miles



**Figure 3-2 Service Area Map**



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

### 3.3 Service Area Climate

The service area experiences cool and humid winters and hot and dry summers. The City of Roseville’s climate is similar to the City of Sacramento, which is in close proximity. Historical climate data was obtained from California Irrigation Management Information System (CIMIS) for station 155, which is located in Sacramento, for the reporting period of this UWMP and is summarized in COR Table 3-E. The average monthly temperature from 2016 to 2020 ranged from 39.8 degrees Fahrenheit (°F) to 95.1 °F. Typically the wet season begins in October and ends in May, with an average annual total precipitation of 13.3 inches.

**COR Table 3-E Monthly Average Climate Data from 2016 through 2020**

Month	Average Minimum Temperature (°F)	Average Maximum Temperature (°F)	Average Temperature (°F)	Average Monthly Precipitation (inches)
January	42.7	56.3	49.5	3.6
February	42.5	61.7	52.1	1.7
March	46.3	64.7	55.5	2.3
April	50.6	73.3	62.0	0.8
May	54.2	80.6	67.4	0.8
June	59.2	90.5	74.9	0.0
July	60.9	95.1	78.0	0.0
August	61.3	92.4	76.9	0.0
September	58.9	87.5	73.2	0.0
October	51.7	78.2	65.0	0.7
November	44.7	65.0	54.9	1.2
December	39.8	56.7	48.3	2.1
Averages	51.1	75.2	63.1	1.1

### 3.4 Service Area Population and Demographics

This section describes the population, demographic, and employment conditions of the City’s water service area during the reporting period of the UWMP as well as future projections through 2045.

#### 3.4.1 Service Area Population

Water use is directly tied to a service area’s population and analyzing population growth and development trends is critical for the City’s planning of water distribution facilities and infrastructure. Current and projected service area population estimates are provided in DWR Table 3-1. These projections differ from total population as a small number of City residents are served by adjacent water purveyors. The projections were estimated in coordination with the City of Roseville’s General Plan, direct input from the City of Roseville’s Planning Division, and previous studies performed by the City’s Environmental Utilities Division. Methods for estimating population projections are further discussed in Section 5.2.

**DWR Table 3-1**

Submittal Table 3-1 Retail: Population - Current and Projected						
Population Served	2020	2025	2030	2035	2040	2045
	140,187	151,742	170,526	193,190	193,190	193,190

### 3.4.2 Social, Economic, and Demographic Factors

The City of Roseville’s population in 2019, according to the American Community Survey (ACS), was reported to be 68.2% White alone (not Hispanic or Latino), 14.5% Hispanic or Latino, 10.1% Asian alone, 2.8% Black alone, and all other race categories were less than 1%. A summary of all race categories surveyed is provided in COR Table 3-F. The United States Census Bureau reports that the median household income from 2015-2019 was \$89,082. ACS reports that in 2019 8.4% of the population was in poverty and 16.5% of the population was 65 years of age and over. The social, economic, and demographic factors are not believed to affect water management and planning.

**COR Table 3-F** City of Roseville 2019 Population by Race

Race Category	Percentage
American Indian and Alaska Native alone, not Hispanic or Latino	0.3%
Asian alone, not Hispanic or Latino	10.1%
Black alone, not Hispanic or Latino	2.8%
Hispanic or Latino	14.5%
Native Hawaiian and other Pacific Islander alone, not Hispanic or Latino	0.1%
White alone, not Hispanic or Latino	68.2%
Some other race alone, not Hispanic or Latino	0.0%
Two or more races alone, not Hispanic or Latino	3.9%

### 3.5 Land Uses within the Service Area

A new requirement of the California Water Code, since the 2015 UWMP was published, requires that land use projections be coordinated with other local and regional land use authorities.

*California Water Code 101631.*

*(a) The description shall include the current and projected land uses within the existing or anticipates service area affecting the supplier’s water management planning. Urban water suppliers shall coordinate with local or regional land use authorities to determine the most appropriate land use information, including, where appropriate, land use information obtained from local or regional land use authorities, as developed pursuant to Article 5 (commencing with section 65300) of Chapter 3 of Division 1 of Title 7 of the Government Code.*

In August 2020, the City of Roseville completed its update to the General Plan, with a planning horizon that extends into 2035. The General Plan includes the Land Use Element, which is provided in Appendix C. The Land

Use Element discusses existing and future land use conditions, with an intended purpose of setting guidelines for managing land use change. The City of Roseville has both residential and non-residential land uses; density and intensity guidelines for each land use type respectively are set forth in the Land Use Element. The land use categories as well as corresponding characteristics from the Land Use Element are summarized in COR Table 3-G and COR Table 3-H.

**COR Table 3-G Residential Land Uses and Development Guidelines**

Land Use Category	Dwelling Units Per Acre	Estimated Population Per Gross Acre
Low-Density Residential (LDR)	0.5 – 6.9	1.45 – 20.1
Medium-Density Residential (MDR)	7.0 – 12.9	20.3 – 37.41
High-Density Residential (HDR)	≥ 13	≥ 27.3

**COR Table 3-H Non-Residential Land Uses and Development Guidelines**

Land Use Category	Floor to Area Ratio
Neighborhood Commercial (NC)	20% - 40%
Community Commercial	20% - 40%
Regional Commercial	20% - 40%
Business Commercial	20% - 40%
Light Industrial	20% - 50%
Tech/ Business Park	20% - 50%
General Industrial	20% - 50%
Transfer Station	Varies
Central Business District	≤ 300%
Public/ Quasi-Public	Varies

## Chapter 4 Water Use Characterization

This chapter provides a description and quantification of the City's past and current water use and future water use projections through the year 2045. Projections provided herein were coordinated with other local and regional planning documents in an effort to develop reliable water use projections.

### 4.1 Non-Potable Versus Potable Water Use

The City utilizes both potable and non-potable water to meet the diverse water needs of the customers within the service area. Potable water is water that is safe to drink and meets all California drinking water regulations per Title 22. The City's potable water supplies consist of surface water treated at the WTP, groundwater from various wells throughout the City that is chemically treated on site, finished water wheeled from other agencies through interties, and raw water received from other agencies through interties which is subsequently treated at the WTP.

Additionally, the City supplies recycled water, which is non-potable water for approved uses. Recycled water is wastewater that is treated to Title 22 disinfected tertiary standards. The City operates two wastewater treatment plants (WWTPs), Dry Creek and Pleasant Grove, both of which treat wastewater to the high standard required of recycled water. The recycled water produced at the WWTPs is distributed in a separate system from the potable water system and is utilized for landscape irrigation, environmental releases, cooling water, and construction uses.

Lastly, the City delivers raw water, which is also non-potable, to Linda Creek outside of the City's service area. Raw water is untreated water that is used in its natural state or with minimal treatment. The City is required to discharge 404 AF to Linda Creek as part of its instream flow commitment. The City does not deliver raw water to any of its customers within the service area.

### 4.2 Past, Current, and Projected Water Use by Sector

The following sections describe and quantify past, current, and projected water use. Water uses are delineated by various sectors. Additionally, the new requirement of the 2020 UWMP requiring quantification of system water losses for the five years preceding this plan are reported as follows.

#### 4.2.1 Water Use Sectors Listed in Water Code

Water Code Section 10631(d) requires that water uses be identified for at least the ten following sectors; definitions for each of the sectors are adapted from those provided in the Guidebook.

- **Single-family residential** – A single family dwelling unit. A lot with a free-standing building containing one dwelling unit that may include a detached secondary dwelling. This is a retail demand.
- **Multifamily** – Multiple dwelling units contained within one building or several buildings within one complex. This is a retail demand.
- **Commercial** – A water user that provides or distributes a product or service. Water Code 10608.12(d). This is a retail demand.
- **Industrial** – Water user that is primarily a manufacturer or processor of materials as defined by the North American Industry Classification System (NAICS) code sectors 31 to 33, inclusive, of an entity that is a water user primarily engaged in research and development. Water Code Section 10608.12(h). This is a retail demand.

- **Institutional and governmental** – A water user dedicated to public service. This type of user includes, among other users, higher-education institutions, schools, courts, churches, hospitals, government facilities, and nonprofit research institutions per Water Code Section 10608.12(i). This is a retail demand.
- **Landscape** – Water connections supplying water solely for landscape irrigation. Such landscapes may be associated with multi-family, commercial, industrial, or institutional/governmental sites, but are considered a separate water use sector if the connection is solely for landscape irrigation. This is a retail demand.
- **Sales to other agencies** – These are water sales made to another agency. Projected sales may be based on projected demand provided by the receiving water supplier. This is a wholesale demand.
- **Saline Water Intrusion barriers, groundwater recharge, or conjunctive use, or any combination thereof** – *Conjunctive use* is a water management strategy where surface water and groundwater are managed together to increase the total water supply. For purposes of the UWMP, conjunctive use is seen as a management strategy rather than as a water use. This type of water use is best reported as groundwater recharge. *Groundwater recharge* can occur through both natural and artificial means. In the context of this UWMP, artificial groundwater recharge is the managed and intentional replenishment of natural groundwater supplies using techniques such as infiltration basins or injection wells. Water used for groundwater banking or storage may also be reported using this sector. If all, or a portion of, the groundwater recharge is subsequently pumped out of the basin in the same year, that water is reported as a supply from groundwater. *Saline water intrusion barrier* is the practice of injecting water into a freshwater aquifer to prevent the intrusion of saltwater. These may be either a wholesale or retail demand. The City currently does not have any demands under this water use sector.
- **Agricultural** – Water used for commercial agricultural irrigation. Water used for processing agricultural products (e.g., food, beverage, or textile manufacturing) may also be considered industrial process water. This may be either a wholesale or retail demand. The City currently does not have any demands under this water use sector.
- **Distribution system water losses** – Losses that were reported in accordance with the 12-month water loss for each of the prior five years.

#### 4.2.2 Water Use Sectors in Addition to Those Listed in Water Code

Presently, the City has no additional water use sectors outside of the ten listed in CWC. Furthermore, the City expects that future water use will be restricted to the same sectors by which water is currently used based on land use projections from the Land Use Element.

#### 4.2.3 Past Water Use

Past potable water use by sector was analyzed to estimate water use projections into the next 25 years, as required by the CWC. By examining past water use, trends can be understood such as, effects of temporary use restrictions during drought years, effects of long-term demand management measures, and the changing profile of service connections by water use sector. Past water uses from the last two UWMP years, 2010 and 2015, as well as the five years preceding this plan are summarized in COR Table 4-A.

**COR Table 4-A** Past Potable Water Use Volumes by Sector.

Water Use Sector	2010	2015	2016	2017	2018	2019
Commercial	2,042	1,930	2,101	2,218	2,565	3,021
Industrial	891	934	954	921	797	276
Institutional and Governmental	667	561	650	770	384	393
Multi-Family	2,196	1,464	1,556	1,569	1,376	1,358
Single-Family	15,836	11,680	13,215	14,674	15,303	15,387
Landscape	5,534	4,152	4,691	5,491	5,656	5,974
Other <sup>(1)</sup>	272	–	–	–	–	–
<b>Total</b>	<b>27,438</b>	<b>20,721</b>	<b>23,176</b>	<b>25,643</b>	<b>26,081</b>	<b>26,409</b>

NOTES: (1) In 2015 and subsequent years thereafter, all water demands are characterized by water use sectors defined in the CWC. All Volumes are in AF.

#### 4.2.4 Current Water Use

The City’s potable and non-potable water uses for 2020 by sector are reported in DWR Table 4-1. There are no existing potable or non-potable demands for the use types of saline barriers, conjunctive use, or agricultural.

**DWR Table 4-1**

Submittal Table 4-1 Retail: Demands for Potable and Non-Potable Water - Actual			
Use Type	2020 Actual		
Water Use Sector	Additional Description	Level of Treatment	Volume
Commercial	Including non-metered	Drinking Water	2,630
Industrial	Including non-metered	Drinking Water	254
Institutional/Governmental	Including non-metered	Drinking Water	412
Multi-Family	Including non-metered	Drinking Water	1,416
Single Family	Including non-metered	Drinking Water	17,115
Landscape	Including non-metered	Drinking Water	6,422
Losses	Including non-metered	Drinking Water	1,600
Sales/Transfers/Exchanges to other Suppliers	Including non-metered	Drinking Water	1,451
Groundwater recharge	Excludes groundwater pumped and supplied to distribution system.	Drinking Water	597
Sales/Transfers/Exchanges to other Suppliers	Discharge to Linda Creek and water wheeled on behalf of SJWD	Raw Water	404
<b>TOTAL</b>			<b>32,300</b>

NOTES: All volumes are in AF. Losses are for potable water only. The 2020 Water Audit has not been validated at the time of plan preparation and final losses reported in the validated Water Audit may differ.

#### 4.2.5 Projected Water Use

The City frequently completes studies aimed at understanding future water use demands to determine the reliability of system supplies and identify and plan for any vulnerabilities. As stated in 3.4.1, the service area population directly impacts water use demands. To estimate projected water use through 2045, the following approach and resources were utilized:

**Assumptions:**

- The Planning Division’s population projection from the 2020 General Plan Land Use Element was utilized, which estimates a population of 198,000 at buildout of all planned development.
- Based on coordination with the City of Roseville’s Planning Division, assumed that all planned development would be complete by 2035.
- Assumed that the population past 2035 would remain constant at 198,000 through 2045.
- An estimated 1,843 dwelling units in the City of Roseville are not served by the City. The number of dwelling units are estimated based on other utility accounts.

**Population Projection and Water Use Projection Steps**

1. Calculated the population not served by the City by multiplying the number of dwelling units and California Department of Finance (CDoF) household multiplier.
2. Subtracted the population not served by the City from the total CDoF City of Roseville population to obtain the service area population for 2016 through 2020.
3. Estimated the current percentage of development for each specific plan from aerial imagery.
4. Input current percentage of development into the City of Roseville’s Environmental Utilities (EU) Department’s Water Demand Tracking Tool, which calculates buildout water usage for each specific plan. Water use in the Tool is calculated by applying unit demand factors, specific to land use categories, to each of the dwelling units Demand factors and total water use for all specific plans are provided in COR Table 4-B and COR Table 4-C, respectively.
5. Plotted the service area population from 2016 through 2020 and the projected population for 2035 to approximate the population for 2025 and 2030 (Figure 4-1). The resultant population projections were previously summarized in DWR Table 3-1.
6. Updated the Water Demand Tracking Tool development percentage for 2025 and 2030 to reflect population projections and for 2035 to reflect 100% at buildout.

**COR Table 4-B Unit Demand Factors for Land Use Type**

Residential Land Use Categories	Unit Demand Factor (gpd/DU)
Low Density Residential 1 – LDR1 (<3.5 DUs/Acre)	728
Low Density Residential 2 – LDR2 (3.5 to 5 DUs/Acre)	600
Low/Medium Density Residential 1 – LMDR1 (>5 to 6 DUs/Acre)	521
Low/Medium Density Residential 2 – LMDR2 (>6 to 8 DUs/Acre)	430
Medium Density Residential – MDR (>8 to 12 DUs/Acre)	323
High Density Residential – HDR1 (>12 to 16 DUs/Acre)	288
High Density Residential – HDR2 (>16 DUs/Acre)	177
Non-Residential Land Use Categories	Unit Demand Factor
Community Commercial/Retail	2598
Business Professional	2598
Light Industrial	2598
Industrial	2562
Railyard	109
Elementary School	3454
High School	4069
Public/Quasi Public	1780
Parks	2988
Open Space/Right of Way	0

**COR Table 4-C Specific Plan Water Demands at Buildout by Water Use Sector.**

Specific Plan	Commercial (AF/yr)	Industrial (AF/yr)	Institutional/ Governmental (AF/yr)	Multi-Family (AF/yr)	Single Family (AF/yr)	Landscape (AF/yr)	Total (AF/yr)
Infill	2,232	2,625	6,070	552	8,898	0	20,377
DTRSP	780	7	124	15	92	0	1,018
RSGW	83	0	0	34	57	0	173
SE	530	0	441	393	1,270	0	2,633
NE	1,769	0	65	0	474	0	2,309
STRSP	115	0	335	148	1,481	0	2,079
NCRSP	1,457	226	546	444	1,610	0	4,283
HRNSP	470	0	312	180	701	0	1,663
NWRSP	378	0	1,596	338	4,847	0	7,159
DWSP	37	0	1,273	20	2,056	0	3,386
NI	220	3,718	195	99	826	0	5,057
NRSP	225	0	644	165	2,859	0	3,893
WRSP	231	255	1,465	615	5,648	1,074	9,289
SVSP	623	0	499	335	2,538	0	3,995
CVSP	56	0	88	108	745	0	997
ARSP	150	0	110	187	940	0	1,386

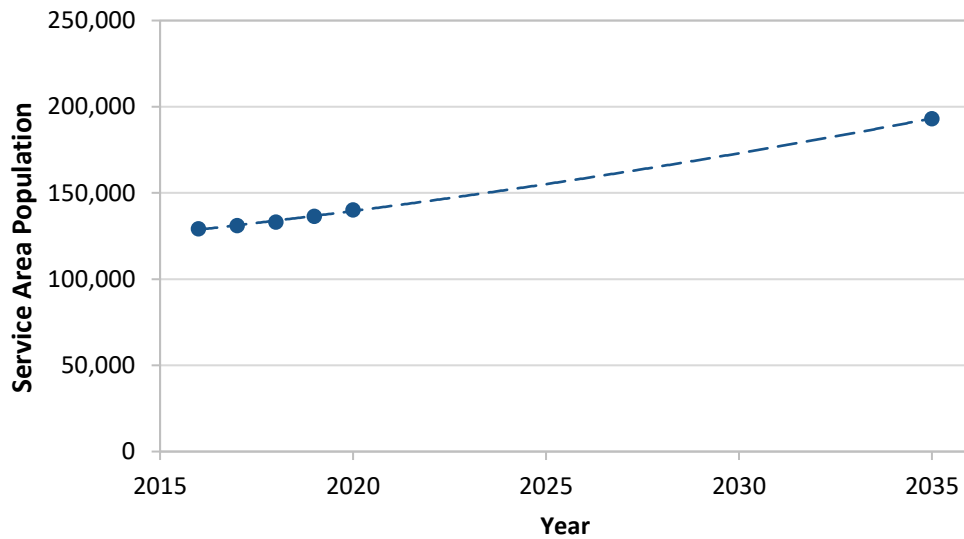


Figure 4-1 Existing and Projected Service Area Population

DWR Table 4-2

Submittal Table 4-2 Retail: Use for Potable and Non-Potable Water - Projected						
Use Type	Additional Description (as needed)	Projected Water Use				
		2025	2030	2035	2040	2045
Commercial	Potable water, including non-metered	6,135	6,508	7,017	7,017	7,017
Industrial	Potable water, including non-metered	4,175	4,726	5,123	5,123	5,123
Institutional/Governmental	Potable water, including non-metered	8,904	9,494	10,321	10,321	10,321
Multi-Family	Potable water, including non-metered	1,752	2,029	2,725	2,725	2,725
Single Family	Potable water, including non-metered	22,564	24,508	26,281	26,281	26,281
Landscape	Potable water, including non-metered	644	765	805	805	805
Losses	Potable water	1,429	1,401	1,587	1,587	1,587
Sales/Transfers/Exchanges to other Suppliers	Potable water, including non-metered	0	0	0	0	0
Groundwater recharge	Potable water	1,560	2,720	3,350	3,350	3,350
Sales/Transfers/Exchanges to other Suppliers	Raw Water, Discharge to Linda Creek and water wheeled on behalf of SJWD	404	404	404	404	404
<b>TOTAL</b>		<b>47,567</b>	<b>52,555</b>	<b>57,614</b>	<b>57,614</b>	<b>57,614</b>

NOTES: The city has no contracts for transfer for 2025 through 2045, as of yet. Projections are inclusive of lower income residential water demands. All values are in AF.

Total Gross water use projections, inclusive of recycled water, are provided in DWR Table 4-3. Recycled water demand is further characterized in DWR Table 6-4 of Chapter 6

**DWR Table 4-3**

<b>Submittal Table 4-3 Retail: Total Gross Water Use (Potable and Non-Potable)</b>						
	2020	2025	2030	2035	2040	2045
Potable Water, Raw Water	32,300	47,567	52,555	57,614	57,614	57,614
Recycled Water Demand	3,768	4,022	4,435	4,933	4,933	4,933
<b>TOTAL WATER USE</b>	<b>36,068</b>	<b>51,589</b>	<b>56,990</b>	<b>62,547</b>	<b>62,547</b>	<b>62,547</b>

NOTES: All values are in AF. Values include potable and non-potable water use.

#### 4.2.6 Distribution System Water Losses

Distribution system water losses are the difference between the volume of water that is delivered into the potable drinking water distribution system and actual consumption. Losses are always present in a water system due to pipe leaks, unauthorized connections or use, faulty meters, and unmetered institutional and governmental water use. Each year the City characterizes its water loss in accordance with the American Water Works Association (AWWA) Water Audit Method. CWC requires urban retail water suppliers to conduct and submit validated water loss audit reports annually to DWR on October 1<sup>st</sup> following the reporting year. Final Water Audit and Validation Reports are available for 2016 through 2019 and provided in Appendix D. As the UWMP is required to be submitted prior to the due date of the Water Audit, values for 2020 stated herein are approximate and may be altered in the final submission of the 2020 Water Audit. Distribution system water losses for five years preceding the plan update from 2015-2019 are summarized in COR Table 4-D and estimated water loss for 2020 is given in DWR Table 4-4.

**COR Table 4-D** 12 Month Water Loss Audit Reporting for 2015-2019.

<b>Reporting Period Start Date (mm/yyyy)</b>	<b>Volume Water Loss (AF)</b>
01/2015	2,127.52
01/2016	2,330.47
01/2017	2,682.94
01/2018	2,140.95
01/2019	1,865.24

**DWR Table 4-4**

Submittal Table 4-4 Retail: 12 Month Water Loss Audit Reporting	
Reporting Period Start Date	Volume of Water Loss*
01/2020	1,599.23
* Taken from the field "Water Losses" (a combination of apparent losses and real losses) from the AWWA worksheet.	
NOTES: All Volumes are in AF. The 2020 Water Audit has not been validated at the time of plan preparation and final water losses reported in the validated Water Audit may differ.	

An update to the CWC requires that 2020 UWMPs and all UWMPs submitted thereafter include data showing whether the urban retail water supplier met the distribution loss standards enacted by the California State Water Resources Control Board (SWRCB) pursuant to Section 10608.34. At the time of plan preparation, the SWRCB has not adopted performance loss standards. Proposed water loss performance standards will set a maximum allowable water loss in gallons per connection per day for the City. The proposed baseline water loss is an average of the 2017 through 2019 water loss and is calculated to be 41.0 gallons per connection per day and the proposed performance standard to be met by 2028 is 22.3 gallons per connection per day Appendix E. Water loss in gallons per connection per day for 2017 through 2020 is shown in COR Table 4-E.

**COR Table 4-E** Loss Reported in AWWA Water Audit for 2017-2019.

AWWA Loss Category	2017	2018	2019	2020 <sup>(1)</sup>
Apparent Loss	8.02	8.01	7.90	9.78
Real Loss	46.89	34.97	28.78	21.19
Water Loss	54.91	42.98	36.68	30.97
NOTES: All values are gallons per connection per day.				
<sup>(1)</sup> The 2020 Water Audit has not been validated at the time of plan preparation and final water loss reported in the validated Water Audit may differ.				

The data from 2017 through 2020 demonstrate that the City annually reduced water loss measured as gallons per connection per day. The City continues to prioritize and allocate resources to detecting and repairing leaks in the distribution to reduce water loss. Over the last five years the City has increased the accuracy of reported losses through a process of quantifying the City’s authorized unmetered use of water for institutional and governmental operations, which had previously gone unquantified and were reported as water loss. These municipal functions include fire suppression, street sweeping, hydraulic utility excavation, and others. In dedicating resources to tracking and understanding these internal uses, consumption of water for these authorized uses has not been reduced or restricted and the services continue, as necessary. The City anticipates that it is on track to meet the performance standard by 2028.

Note that in DWR Table 4-2 the projected water loss in 2030 and thereafter was calculated by multiplying the performance standard by the estimated number of service connections and for 2025 an intermediate water loss

multiplier of 27.09 gallons per connection per day was used. 2025 through 2045 number of service connections were estimated using the same ratio of 2020 total number of service connections to 2020 population.

#### 4.2.7 Estimating Future Water Savings

As noted in DWR Table 4-2 and the following DWR Table 4-5, water use projections do consider future water savings and lower income residential demands.

**DWR Table 4-5**

<b>Submittal Table 4-5 Retail Only: Inclusion in Water Use Projections</b>	
Are Future Water Savings Included in Projections?	Yes
Sections where citations of the codes, ordinances, utilized in demand projections are found.	4.2.7.1
	4.2.7.2
	4.2.7.3
Are Lower Income Residential Demands Included in Projections?	Yes

The unit demand factors and resultant demands calculated by the EU department in COR Table 4-B and COR Table 4-C do not account for reduced demand from conservation measures. However, based on previous years’ demand data, the City has observed that passive conservation measures have resulted in an approximate 25% reduced demand from what was projected. This 25% demand reduction is reflected in DWR Table 4-2 for the potable water use categories of Commercial, Industrial, Institutional/ Governmental, Multi-Family, Single Family, and Landscape. Conservation measures are described in the subsequent sections.

##### 4.2.7.1 Compliance with Water Efficient Landscape Requirements

New development areas are required to reduce landscape area and calculated water demands as part of the process for land use approval, as required by the California Code of Regulations Title 23, Division 2 Chapter 2.7 Model Water Efficient Landscape Ordinance (MWELO). The City of Roseville’s own standards have additional requirements for Water Efficient Landscaping, which can be found in Chapter 14.18 of the Roseville Municipal Code (available via the City’s website at <https://qcode.us/codes/roseville/>).

##### 4.2.7.2 Increased Utilization of Recycled Water

The City of Roseville requires recycled water to be used in most land use development areas currently being planned, and for construction water during drought years. Future required use includes landscaping associated with commercial, industrial, multi-family, parks, and transportation corridors. Guidelines for Recycled Water Service are outlined in Roseville Municipal Code Chapter 14.17 (available via City’s website at <https://qcode.us/codes/roseville/>).

##### 4.2.7.3 Implementation of Low Water Use Fixtures

Section 16.04.100 (A.) of the Roseville Municipal Code states that: “The 2019 California Building Standards Code is hereby adopted by the City of Roseville Municipal Code.” The Roseville Municipal Code is available via the City’s website at <https://qcode.us/codes/roseville/>.

Additionally, the mandatory CALGreen building standards code promotes conservation through the use of appliances and fixtures such as high-efficiency toilets, faucet aerators, and on-demand water heaters.

### 4.2.8 Characteristic Five-Year Water Use

The California Water Code Section 10635(a) requires that in addition to calculating water use projections over the next 20 years, in five-year increments, that suppliers perform a drought risk assessment lasting five consecutive years. The projected unconstrained demand for 2021-2025 is estimated in table COR Table 4-F. Unconstrained demand is demand absent any water supply or usage restrictions but does include the conservation practices for new construction, outlined in the previous section. This projection informs the drought risk assessment, which is detailed in Chapter 7 .

**COR Table 4-F** Five consecutive year unconstrained demand.

Gross Water Use	2021	2022	2023	2024	2025
Potable Water, Raw, Other Non-Potable	35,353	38,407	41,460	44,513	47,567
Recycle Raw Water Demand	3,819	3,870	3,920	3,971	4,022
NOTES: All volumes are in AF.					

### 4.3 Water Use for Lower Income Housing

Policy LU5.5, of the Land Use Element, strives to uphold the City of Roseville’s Affordable Housing Goal by requiring that a minimum of 10% of all new housing units cost no more than 30% of the total monthly income of very low-, low-income, and moderate-income households. The City of Roseville EU Department annually coordinates with the Planning Division to gather data related to low-income housing metrics. The total number of affordable housing units in 2020 was 3,103, of which 633 were single family residences and 2,470 were multi-family residences. The water demands for low-income housing for 2020 were estimated by multiplying the number of single family and multi-family units by the average unit demand factor for low to medium density residential and high density residential, respectively, then reducing it by 20% to account for conservation efforts. These estimations are summarized in COR Table 4-G.

**COR Table 4-G** 2020 Affordable Housing Water Use

Unit Demand Factors	
Average Low to Medium Density Residential Factor for Single Family Units	520.4 (gpd/DU)
Average High Density Residential Factor for Multi-Family Units	232.5 (gpd/DU)
2020 Affordable Housing Water Use	
Single Family Residential	295 (AF/yr)
Multi-Family Residential	516 (AF/yr)
Total	645 (AF/yr)

As stated in DWR Table 4-5, the water use projections of DWR Table 4-2 are inclusive of water use for lower income households. The estimated water demand by sector for each specific plan, in COR Table 4-C, included affordable housing water use in the single family and multi-family water use calculations, which was used to derive the water use projections in DWR Table 4-2. The portion of water from those projections to be used by affordable housing units is shown in COR Table 4-H. As 10% of all new housing construction is required to be allocated to affordable housing, 10% of the difference between each of the five-year projections was added to the preceding period to estimate how much water would be used by low-income housing.

**COR Table 4-H Affordable Housing Water Use Projections**

Housing Type	2025	2030	2035	2040	2045
Multi-Family Residential	329	356	426	426	426
Single-Family Residential	1,061	1,255	1,433	1,433	1,433
Total Affordable Housing Units	1,390	1,612	1,859	1,859	1,859
NOTES: All values are in AF/yr.					

#### 4.4 Climate Change Considerations

All projections included in Chapter 4 are representative of unconstrained demand except for passive conservation efforts described in 4.2.7. However, consideration of effects that climate change may have on demand projections and water supply and reliability is a critical aspect of ensuring that the City is well positioned to meet future demands. The City’s primary water source is surface water from Folsom Lake and the City recognizes that the reliability of this source is reduced during dry years or a drought. A comprehensive study aimed at understanding how climate change will impact the American River Basin, from which the City receives its surface water supplies, was performed in 2020 and is included in Section 6.14.2. The effects of climate change on water supplies are considered in future plans for the groundwater program, a drought risk assessment, and a Water Shortage Contingency Plan, which are provided herein.

## Chapter 5 SBX7-7 Baselines, Targets, and 2020 Compliance

With the adoption of the Water Conservation Act of 2009, also known as Senate Bill X7-7 (SB X7-7), the State of California is required to achieve a 20% reduction in urban per capita water use by December 31, 2020. Additionally, incremental progress towards meeting the goal was required to be demonstrated in the 2015 UWMP. The 2015 UWMP calculated gallons per capita per day (GPCD) water use and confirmed that the 2015 interim target was met, and that progress was being made toward meeting the water use target for 2020. This chapter summarizes baselines and targets, which were quantified in previous UWMPs, and confirms that the City's 2020 water use is compliant with SB X7-7 legislation.

### 5.1 Baselines and Targets

The City first addressed SB X7-7 in the 2010 UWMP, where baseline per capita water use, the 2015 interim target, and 2020 target were established and adopted. For the 2015 UWMP update the Department of Water Resources issued guidance that there were significant discrepancies between the CDoF estimated 2010 population and the 2010 population as determined by the 2010 U.S Census, which could result in poor baseline population estimates. Consequently, the City and other water suppliers were required to recalculate baseline population that had been reported in the 2010 UWMP and to modify the 2015 and 2020 targets accordingly.

SB X7-7 requires each urban water retailer to determine their baseline daily per capita water use measured in GPCD, over a 10-year or 15-year baseline period. The 10-year baseline period is defined as a continuous 10-year period ending no earlier than December 31, 2004 and no later than December 31, 2010. SB X7-7 also defines that for suppliers which met a minimum of 10% of their 2008 water demand through recycled water that the baseline could be extended to a maximum of a 15-year baseline period. Only 8.76% of the City's demand was met with recycled water in 2008, consequently the City used a 10 consecutive year period for its baseline. Additionally, SB X7-7 requires that a 5-year baseline per capita water demand be calculated over a 5 consecutive year period ending no earlier than December 31, 2007 and no later than December 31, 2010. Given the requirements the City used the following baseline periods:

- 10-year Baseline Period: 1995-2004
- 5-year Baseline Period: 2003-2007

Since the 2015 UWMP was completed, the City has experienced no changes to the service area that would require recalculation of baseline or targets; there have been annexations for new construction, but these do not trigger recalculation requirements. Baselines and targets are summarized in DWR Table 5-1. The 2015 SB X7-7 Verification Form, which provides tables for detailed calculations of baselines and targets, is provided in Appendix F.

**DWR Table 5-1**

Submittal Table 5-1 Baselines and Targets Summary from SB X7-7 Verification Form				
Baseline Period	Start Year	End Year	Average Baseline GPCD	Confirmed 2020 Target
10-15 year	1995	2004	309	247
5 Year	2003	2007	295	

## 5.2 Service Area Population

To correctly calculate compliance water use in GPCD, the population served by the City must be calculated. The method for 2020 service area population was briefly described in Section 4.2.5 and is further explained herein. The 2020 U.S. Census data were not available at the time of plan preparation and could not be used for population estimates, as such the City of Roseville population for 2020 was obtained from CDoF.

The CDoF population estimate for cities utilizes ACS data to distribute the 2010 U.S. census housing units into CDoF’s standard housing types. Number of housing unit estimates are respective of new construction, annexations, demolition, and conversions. CDoF coordinates with both local jurisdictions and the U.S. Census Bureau to obtain housing unit change data. For 2020, CDoF estimated that the total population for the City of Roseville was 145,163. However, there are a few areas in the City of Roseville that are not served by the City. The population of the area not served was estimated by determining the total number of households in those areas and applying the household multiplier. The number of households was approximated based on utility information from other City of Roseville departments and the household multiplier was obtained from CDoF. The resulting population for the areas not served by the City is 4,976 and this was subtracted from the CDoF total population to obtain a 2020 service area population of 140,187.

## 5.3 Gross Water Use

Annual gross water use is defined by the CWC as the volume of water, treated or untreated, that enters the distribution system except for the following: recycled water, the net volume of water placed into long term storage, water conveyed by the retailer for use by another supplier, water delivered for agricultural use, and process water for industrial use if industrial water use is a significant percentage of overall water use. The volume of recycled water used within the City’s service area is reported separate from potable water and is excluded from all gross water use volumes reported herein. No other exclusions or deductions were used in the calculation of the baseline gross water use and so are not included in the calculation of the 2020 gross water use.

## 5.4 2020 Compliance Daily Per-Capita Water Use

The 2020 compliance daily per capita water use (in GPCD) was calculated in accordance with Methodology 4 of DWR’s *Methodologies for Calculating Baseline and Compliance Urban Per Capita Water Use* document. The SB X7-7 Compliance Form is a set of tables containing calculations demonstrating that the City met the 2020 target and achieved a 20% reduction from its baseline and is provided in Appendix G. 2020 GPCD and target compliance are also summarized in DWR Table 5-2.

**DWR Table 5-2**

Submittal Table 5-2: 2020 Compliance from SB X7-7 2020 Compliance Form				
2020 GPCD			2020 Confirmed Target GPCD	Did Supplier Achieve Targeted Reduction for 2020? Y/N
Actual 2020 GPCD	2020 TOTAL Adjustments	Adjusted 2020 GPCD		
203	0	203	247	Yes
NOTES: No allowable adjustments were applicable to the City.				

CWC Section 10608.24(d)(1) allows for adjustments to be made for factors outside of the supplier’s control when determining compliance. Such factors include differences in evapotranspiration and rainfall, substantial changes to commercial or industrial water use due to increased business output and economic development, and substantial changes to institutional water use resulting from extraordinary events. No adjustments were made to the City’s 2020 GPCD, as noted in DWR Table 5-2, and the City was able to demonstrate compliance without adjustments.

**5.5 Regional Alliance**

The City has complied with SB X7-7 and UWMP requirements as an individual supplier and has elected to not participate in a Regional Alliance.

## Chapter 6 Water Supply Characterization

This chapter catalogues and describes the various water resources and supplies available to the City of Roseville including contract supplies from other agencies, surface water, groundwater, storm water, wastewater, and recycled water, as well as water transfers. The supply source, origin, quality, quantity, and impacts of climate change on availability for each source are discussed within this section.

### 6.1 Surface Water

The City’s primary water supply contracts are and have historically been comprised of high-quality surface water received through Folsom Reservoir according to the terms of the City’s water supply contracts with the US Bureau of Reclamation (USBR), Placer County Water Agency (PCWA), and San Juan Water District (SJWD). Since these supplies are not considered self-supplied and are instead purchased through other agencies, they are described in Section 6.2 Purchased and Imported Water.

### 6.2 Purchased and Imported Water

The City has historically relied heavily on its water supply contracts with Placer County Water Agency, the US Bureau of Reclamation, and San Juan Water District. All four untreated surface water contract entitlements for American River water total 66,000 acre-feet per year (AF/yr). The City’s current contract and supplies of are outlined in COR Table 6-A.

**COR Table 6-A** Surface Water Supply Summary

Contract Supply	Supply Type	Quantity	Availability
USBR	Raw Surface Water	32,000 AF	Subject to CVP M&I Usage Policy <sup>(1)</sup>
PCWA	Raw Surface Water	30,000 AF	All Year Types
SJWD	Raw Surface Water	800 AF	Normal or Wet Hydrologic Years
SJWD	Raw Surface Water	3,200 AF	Normal or Wet Hydrologic Years
(1) The City's USBR Supply is subject in any year to determinations of allotments based on unimpaired inflow to Folsom Reservoir and downstream operations.			

Water supplies from all three source agencies outlined above are received through the same point location at Folsom Dam. Folsom Lake has been the primary source of water supply for the City of Roseville since 1971. Surface water from the American River is collected and diverted at the Folsom Lake Pumping Plant located at Folsom Dam. The City receives supplies from all four of its raw water contract entitlements through the Folsom Lake Municipal and Industrial (M&I) Intake at this facility.

Untreated water supplies received at this point are conveyed by gravity or pumped by USBR depending on lake level through two parallel pipelines (84-inch and 72-inch) to the City’s Barton Road Water Treatment Plant (BRWTP), with a capacity for treatment of volumes up to 100 MGD. The 72-inch pipeline was constructed in 2010 to increase redundancy and reliability of this critical supply route, in partnership with SJWD. Additionally, the City has 17 intertie facilities with neighboring agencies through which water supplies may be transferred under normal

water year conditions as well as emergency or drought conditions. In the future, the City is exploring options with PCWA to facilitate receipt of treated water directly through existing and/or new intertie facilities.

### 6.2.1 Contract Supplies – Vulnerabilities and Restrictions

The City’s contract supply with the USBR as part of the Central Valley Project is subject to yearly assignments based on each year’s hydrologic conditions. Each year the City is informed in April of the determined percentage allotment of the full 32,000 AF allowed by the contract terms. This determination is made based on the unimpaired inflow of runoff into Folsom Reservoir. This supply is therefore highly vulnerable to climate change and its impacts on rainfall and snowpack conditions upstream of Folsom Reservoir in the Sierra Nevada Mountains. In recent years, this allotment has varied significantly on an annual basis and the City has undertaken dedicated efforts to examine alternatives for increasing water supply reliability in all year types.

The City’s contract supply with PCWA is available in all hydrologic year types; it is also conveyed from the Middle Fork Project (MFP) through Folsom Reservoir and received as raw water at the same diversion point at Folsom Dam. The City is currently exploring potential future purchase of additional treated water supply received directly from PCWA to complement the raw water contract supply. PCWA’s future Ophir Water Treatment Plant may provide up to 3,360 AF to the City in the future. The City is also currently engaged with PCWA to explore improvements to existing intertie facilities to expand and diversify opportunities for the transfer of supplies not dependent on the diversion facility at Folsom Dam.

The City has two water supply contracts with SJWD totaling 4,000 acre-feet. This supply is only available in Normal or Wet Year types and is received either through Folsom Reservoir or through interties with SJWD.

The City’s surface water supplies are all dependent upon the operation of Folsom Reservoir by the US Bureau of Reclamation; the dam that creates the reservoir was originally constructed with a primary purpose of flood control, not water supply, and is still operated according to that primary function. The importance of this facility has led the City to examine options for redundancy, resilience, and or improvements with respect to the intake, and best practices in terms of management of its other water resources.

### 6.2.2 Water Forum Agreement

The City is a member of the Sacramento River Forum and a signatory to the Water Forum Agreement (WFA). Accordingly, the City has agreed to limit its diversions from the upper American River to 58,900 AF/yr during Normal and Wet water years, and to between 58,900 AF/yr and 43,800 AF/yr in Drier and Driest water years. The City is responsibly committed to the Water Forum Agreement but maintains the position that “By instituting programs to conserve water, it abandons no right, title or interest in or to any City water rights, contractual entitlements or any appurtenant rights necessary to exercise such water rights or entitlements,” as described by Resolution No. 09-64, Declaring an Intent to Retain Control of Conserved Water (Appendix H).

### 6.2.3 Other Available Water Purchases

The City may choose to purchase Article 3F water from the Bureau of Reclamation when such supply is available. This supply source is typically only available in winter and spring months as it is generally considered “excess flow” released by the USBR above and beyond the entitlements of downstream users. In 2019 the City exercised this option and used approximately 950 AF of Article 3F water as part of their ASR program to inject and recharge the

aquifer. This effort represented a continued commitment to provide not only water supply reliability for the City's residents but also to support Conjunctive Use to aid in regional water supply reliability.

### 6.3 Groundwater

In recent years, the City has taken significant steps to expand and strengthen their Groundwater Program to broaden the City's water supply portfolio. The City currently owns and maintains 6 operational groundwater wells, with 6 additional wells planned for development in the next 10 years, and one planned destruction. Four of the 6 operational wells are capable of Aquifer Storage and Recovery (ASR) whereby treated water is injected into the underlying aquifer for later extraction and use. Currently, the City plans to design all new wells with ASR capability, as the City moves toward a more evenly distributed reliance on diverse water resources and regional sustainability.

Groundwater is considered to be available for use as part of Roseville's water supply portfolio in all year types including Normal, Single-Dry, or Five Consecutive Year Drought scenarios. Importantly, groundwater will be a critical resource in future drought years as it supplements increasingly vulnerable surface water supplies.

#### 6.3.1 Groundwater Basin Description

The City is located over the North American Subbasin of the Sacramento Valley Groundwater Basin. The North American Subbasin (DWR Groundwater Basin Number 5-21.64) is located in the eastern central portion of the Sacramento Groundwater Basin, encompassing portions of Sutter, Placer, and Sacramento Counties. As of 2020, the Basin is listed by DWR as high priority in large part due to the population in the basin and existing and projected future groundwater use, but the basin has neither been adjudicated nor is it considered in overdraft or critical overdraft conditions.

Groundwater elevations in the subbasin along the Placer/Sacramento County line declined at a rate of 1 to 1.5 feet per year for multiple decades until approximately the mid-1990s. Some of the largest decreases have occurred in the area of the former McClellan Air Force Base. From 1995, groundwater elevations were stabilized, and the declining elevation trend was dampened due to groundwater management activities stemming from the Water Forum Agreement restraining further increases in groundwater pumping and implementation of in-lieu banking in the region. Groundwater elevations in Sutter and northern Placer counties generally remain stable, although some wells in southern Sutter County have experienced declines.

In addition, the subbasin has historically been pumped by agricultural and urban users. Recently, in some areas of the subbasin, agricultural land has been and is being developed and converted to urban uses. At this time, the subbasin is operating within the current estimate of sustainable yield.

#### 6.3.2 Groundwater Management

The City actively manages groundwater resources both internally in coordination with land use planning and growth projections as well as regionally in accordance with the provisions of the Sustainable Groundwater Management Act. These efforts are discussed in the following subsections.

### *6.3.2.1 Western Placer County Groundwater Management Plan*

A Groundwater Management Plan (GMP) was completed in November of 2007 in accordance with Senate Bill (SB) 1938 and Assembly Bill (AB) 3030 in cooperation with PCWA, City of Lincoln, and California American Water. The GMP is available through the PCWA website: [Western Placer Groundwater Management Plan](#).

### *6.3.2.2 Sustainable Groundwater Management Act (SGMA)*

The Sustainable Groundwater Management Act of 2014, or SGMA, was a three-bill legislative package composed of AB 1739 (Dickinson), SB 1168 (Pavley), and SB 1319 (Pavley). The package was passed in September 2014 and contains a framework for sustainable management of groundwater supplies by local agencies, with a limited role for state intervention if local agencies fail to meet the requirements of SGMA. SGMA lays out a process and a timeline for local authorities to achieve sustainable management of high and medium priority groundwater basins throughout the state. It also provides tools, authorities, and deadlines to achieve statewide sustainable groundwater management. For local agencies involved in implementation, the requirements are significant and will take years to accomplish. DWR has the responsibility to evaluate local agency progress, while the SWRCB may intervene if DWR determines that local agencies fail to make progress and achieve the requirements of SGMA. Essentially, local agencies who volunteer to comply with SGMA must form as Groundwater Sustainability Agencies (GSAs) and prepare, adopt, and implement a Groundwater Strategic Plan (GSP) that meets the requirements of SGMA.

More specifically, critical required steps include the formation of GSAs within two years of when SGMA became effective; the adoption of GSPs within 5-7 years depending on the status of the basin in question (in critical overdraft condition or not); and preparation, adoption and implementation of a GSP(s) that achieves the sustainability goal within 20 years of plan adoption.

SGMA applies to basins or subbasins designated by DWR as high or medium-priority, based on a statewide prioritization that uses criteria including population, importance and amount of groundwater pumped, extent of irrigated agriculture dependent on groundwater, and other criteria. DWR's final Basin Prioritization findings indicate that there are 127 of California's 515 groundwater basins and subbasins which are high and/or medium-priority. These high and medium-priority basins account for 96% of California's annual groundwater pumping and include 88% of the state's population. The priority ranking for the North American sub-basin of the Sacramento Valley groundwater basin is 24 out of the state's 515 basins, with an overall ranking score of 22.5 and a designation of High Priority.

The City is well along the path of SGMA compliance, having joined the West Placer Groundwater Sustainability Agency (WPGSA) consisting of the City of Lincoln, Placer County Water Agency, Nevada Irrigation District, and the County of Placer. The WPGSA is one of a group of five GSAs formed within the North American Subbasin that consist of West Placer Groundwater Sustainability Authority, Sacramento Groundwater Authority, South Sutter Water District, Sutter County, and Recreation District 1001 GSAs. All five of these GSAs will prepare and submit one joint GSP for the entire Subbasin. This GSP will be submitted to DWR in advance of the January 31, 2022 deadline for high-priority basins not currently in critical overdraft.

### 6.3.3 Historical Groundwater Production

Until recently, groundwater had not been utilized by the City under normal year conditions. In the 2015 UWMP, the City’s groundwater wells were identified for use only in drought or emergency conditions, with minimal pumping for the purpose of maintenance or demonstration of the City’s ASR program. Over the last five years, the City has worked to advance and expand the groundwater infrastructure and groundwater program to provide additional water supply reliability.

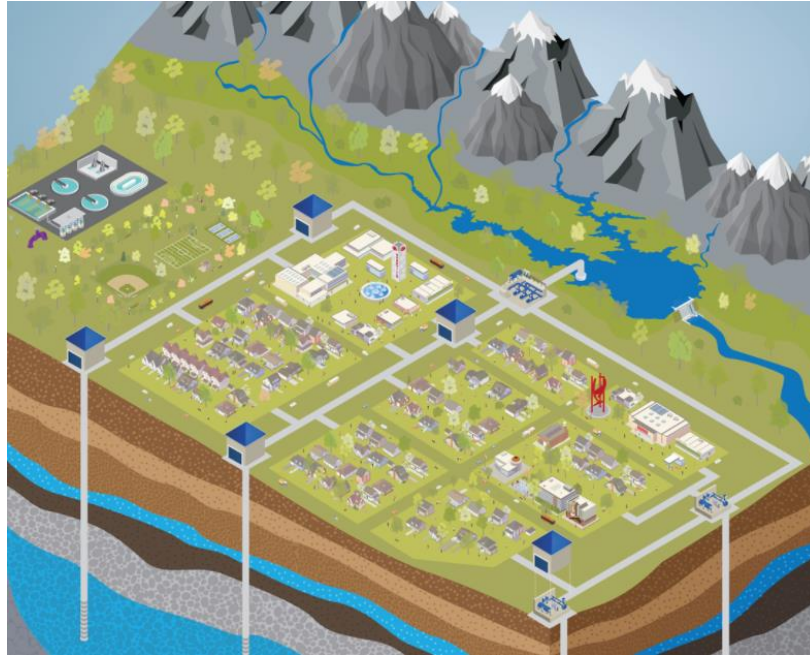
Beginning in 2018, the City began to regularly operate existing groundwater infrastructure specifically by pumping small volumes of groundwater from the City’s production wells and serving that water into the distribution system as part of the maintenance plan. In 2019 and 2020, the City was able to store excess surface water through the use of ASR production wells by injecting that water into the aquifer. As the City continues to develop this program and look to the future of sustainable supply, groundwater pumping patterns will continue to evolve. A summary of the amount of groundwater pumped by the City over the past five years is provided in DWR Table 6-1.

**DWR Table 6-1**

Submittal Table 6-1 Retail: Groundwater Volume Pumped						
<input type="checkbox"/>	Supplier does not pump groundwater. The supplier will not complete the table below.					
<input type="checkbox"/>	All or part of the groundwater described below is desalinated.					
Groundwater Type	Location or Basin Name	2016	2017	2018	2019	2020
Alluvial Basin	North American Sub-basin of the Sacramento Valley Groundwater Basin 5-21.64	0	0	16.6	23.37	201.1
<b>TOTAL</b>		0	0	17	23	201
NOTES: Water pumped from Roseville groundwater wells does not need to be desalinated.						

### 6.3.4 Aquifer Storage and Recovery

The City considers development of a diverse and drought resistant water supply portfolio of primary importance. To this end, the City has invested in both planning and capital improvements develop their Aquifer Storage and Recovery (ASR) Program into a highly functional and critical component of the Water Utility’s future. The ASR Program utilizes groundwater pumping infrastructure along with existing water supplies to increase reliability. ASR wells are capable of injecting treated surface water from the distribution system into the groundwater aquifer for later extraction and use. A schematic of wells equipped for ASR within an urban environment, accessing the underlying aquifer for groundwater, is provided in Figure 6-1.



**Figure 6-1** Urban Groundwater Infrastructure Schematic

ASR production wells can be used seasonally (i.e. throughout the water year) or periodically over many years to create a “groundwater bank”, storing surface water supplies within the aquifer in times of abundance (wet season or years) for use in times of scarcity (dry season or years). An important component of an ASR Program is to maintain consistent and detailed records of groundwater levels within the aquifer and extraction/injection volumes. This information is used to ensure the groundwater basin is managed sustainably providing water supply reliability benefits while avoiding impacts to the groundwater basin. The City is a committed leader in the region with respect to the development of potential future cooperative water banking and responsible regional resource management.

#### 6.4 Stormwater

At this time, the City does not employ any active stormwater recovery measures. In recent years, the City has invested in studies to determine whether stormwater recapture represents a possible resource for future diversity in groundwater recharge projects. Considerations include water rights, timing and quantity of available runoff, property rights, and water quality, among others. Given the complexity of the issues pertaining to stormwater capture or surface spreading, the City continues to conduct analyses to determine the feasibility of this option in the future.

#### 6.5 Wastewater and Recycled Water

The City currently owns and operates two regional wastewater treatment facilities that treat wastewater flows collected from the City, South Placer Municipal Utilities District (SPMUD), and some areas of unincorporated Placer County. This section provides information on wastewater management, as well as its current and potential reuse as a recycled water resource.

### 6.5.1 Wastewater Collection, Treatment, and Disposal

The South Placer Wastewater Authority (SPWA) was created under a Joint Powers Agreement in October 2000 and is comprised of the City of Roseville, South Placer Municipal Utilities District, and the County of Placer. The SPWA oversees policy for funding regional wastewater infrastructure. The City collaborates with the regional partners on forward planning and best practices for the management of these regional facilities.

The wastewater collection and treatment facilities within the City's service area are maintained and operated by City staff. The wastewater collection facilities outside of the City's service area are maintained by the other SPWA agencies (Placer County and SPMUD). Wastewater outside of the City's service area but within the SPWA Service Area Boundary is conveyed through trunk sewers to the City's wastewater treatment facilities located within the City limits. Metering stations are located at the City's service area boundaries to account for the wastewater entering the City's collection system originating from Placer County and SPMUD collection areas.

The City owns and operates on behalf of the SPWA the Dry Creek Wastewater Treatment Plant (Dry Creek WWTP) and the Pleasant Grove Wastewater Treatment Plant (Pleasant Grove WWTP). Both plants discharge tertiary treated wastewater to surface water. Dry Creek WWTP discharges to Dry Creek while the Pleasant Grove WWTP discharges to Pleasant Grove Creek. The two wastewater treatment plants serve an area that extends beyond the City boundaries.

The Dry Creek WWTP provides tertiary-level wastewater treatment. The treatment consists of screening, grit removal, primary clarification, aeration, nitrification and denitrification, secondary clarification, filtration, and ultraviolet disinfection. Disinfected tertiary-treated wastewater from the Dry Creek WWTP meets Title 22 regulations for full, unrestricted use. The current (2020) average dry weather flow (ADWF) is approximately 8.5 MGD, of which approximately 65%, or 5.5 MGD comes from the City of Roseville.

The plant is currently authorized to discharge up to 18 MGD ADWF into Dry Creek under the Municipal General Order. The Dry Creek WWTP discharge is assigned Municipal General Order enrollee number R5-2017-0085-004 and National Pollutant Discharge Elimination System (NPDES) permit No. CAG585001. Per the State Water Resources Control Board Division of Water Rights, the City is required to maintain an instream flow of four million gallons per day discharge to Dry Creek. Disinfected tertiary treated wastewater from the Dry Creek WWTP meets Title 22 regulations for full, unrestricted use. The Dry Creek WWTP currently (2020) produces 1,063 AF/yr of recycled water. A portion of recycled water from Dry Creek is discharged into a gravity line that supplies a school and Morgan Creek Golf Course, both of which are located in Placer County, outside the City's water service area. The remainder of recycled water from the Dry Creek WWTP is pumped into the recycled water distribution system and used within the City's water service area.

The Pleasant Grove WWTP currently (2020) treats approximately 8.1 MG ADWF with approximately 65% or 5.3 MGD coming from the City of Roseville. The Pleasant Grove WWTP provides disinfected tertiary-level treatment through the process of screening, grit removal, secondary aeration, secondary clarification, filtration, and ultraviolet disinfection. The Pleasant Grove WWTP discharge is assigned Municipal General Order enrollee number R5-2017-0085-005 and National Pollutant Discharge Elimination System Permit No. CAG585001. There are no instream flow requirements for Pleasant Grove Creek.

Disinfected tertiary-treated wastewater from Pleasant Grove WWTP meets Title 22 regulations for full, unrestricted use. The Pleasant Grove WWTP currently (2020) produces 2,434 AF/yr of recycled water that is pumped into the recycled water distribution system and used within the City’s service area boundary.

Pleasant Grove WWTP is currently undergoing construction of a major capital improvement project which began in November 2019 and is expected to be complete in 2022. The project includes an increase in treatment capacity from 9.5 MGD up to 12 MGD. Improvements to the treatment process include the addition of primary clarification, waste activated sludge thickening, and anaerobic digestion. This project represents significant improvement to the capacity of the Pleasant Grove WWTP with important components of long-term resilience and improved efficiency of the City’s utilities.

The project also includes important improvements which benefit the environmental and create renewable energy resources. Methane from anaerobic digestion will be converted to a renewable compressed natural gas (CNG) to fuel the City’s growing solid waste fleet and fuel new microturbines that generate electricity for plant usage. The project includes a receiving facility for energy-dense wastes to enhance methane production.

As previously described, both treatment plants are regional wastewater facilities and as such, wastewater is generated both inside and outside of the City from a combination of residential and non-residential sources. A summary of the volume of wastewater processed at and discharged from each of the City’s wastewater treatment plant in 2020 is provided in DWR Table 6-2 and DWR Table 6-3.

**DWR Table 6-2**

<b>Submittal Table 6-2 Retail: Wastewater Collected Within Service Area in 2020</b>						
100%	Percentage of 2020 service area covered by wastewater collection system					
100%	Percentage of 2020 service area population covered by wastewater collection system					
<b>Wastewater Collection</b>			<b>Recipient of Collected Wastewater</b>			
Wastewater Collection Agency	Wastewater Volume Metered or Estimated?	Volume of Wastewater Collected from UWMP Service Area 2020	Agency Receiving Collected Wastewater	Treatment Plant Name	Is WWTP Located Within UWMP Area?	Is WWTP Operation Contracted to a Third Party?
City of Roseville	Metered	5,958	City of Roseville	Pleasant Grove WWTP	Yes	No
City of Roseville	Metered	6,501	City of Roseville	Dry Creek WWTP	Yes	No
<b>Total Wastewater Collected from Service Area in 2020:</b>		12,459				
NOTES: All volumes are in AF. Approximately 65% of the flow received at the Dry Creek WWTP and 65% of the flow received at the Pleasant Grove WWTP originates in the City's water service area.						

DWR Table 6-3

Submittal Table 6-3 Retail: Wastewater Treatment and Discharge Within Service Area in 2020										
Wastewater Treatment Plant Name	Discharge Location Name or Identifier	Discharge Location Description	Method of Disposal	Wastewater Generated Outside the Service Area Treated?	Treatment Level	2020 volumes				
						Wastewater Treated	Discharged Treated Wastewater	Recycled Within Service Area	Recycled Outside of Service Area	Instream Flow Permit Requirement
Pleasant Grove WWTP	Pleasant Grove Creek	Creek	River or creek outfall	Yes	Tertiary	9,166	6,491	2,434	0	0
Dry Creek WWTP	Dry Creek	Creek	River or creek outfall	Yes	Tertiary	10,001	7,902	956	378	4,481
<b>Total</b>						<b>19,167</b>	<b>14,393</b>	<b>3,390</b>	<b>378</b>	<b>4,481</b>
NOTES: All volumes are in AF. 100% of influent flow received at both WWTPs is treated and discharged within the City's service area boundary.										

## 6.6 Recycled Water System

### 6.6.1 Recycled Water Coordination

The City regards recycled water as a valuable resource that is a key component of the City's overall water supply portfolio. The City operates its recycled water system and program in coordination with its regional wastewater partners, including South Placer Municipal Utilities District and Placer County. The City has been successfully irrigating landscaped areas throughout the City and planning recycled water implementation as part of new development surrounding the City. The City prepared the 2016 Recycled Water Systems Evaluation to position the City for implementing the next phases of recycled water projects as new users within the City come online, and as the various UGA's plan for and install recycled water infrastructure.

The City operates the recycled water program through the requirements of Master Reclamation Permit Order 97-147 (Permit). The Permit implements the reclamation criteria of the City's Title 22 disinfected tertiary recycled water. Current uses of recycled water within the City include irrigation of landscapes and golf courses, industrial cooling for the Roseville Energy Park, and construction purposes such as dust control and soil compaction. Recycled water is also conveyed outside the City's water service area for golf course and landscape irrigation.

The City has prepared the South Placer Regional Wastewater 2020 Systems Evaluation Report (Appendix I), which delineates the current and projected service area boundary, including Urban Growth Areas expected to be added in the near future as development continues. The report provides baseline and projected characterizations of its regional wastewater and recycled water systems. The Systems Evaluation Report was updated to address recent annexations by the SPWA partner agencies, planning revisions, as well as changes in wastewater characteristics and flows. Recycled water supplies and availability are directly linked to the planning and operation of the wastewater treatment plants and must be managed and planned in coordination. The City and its SPWA partners continue utilizing recycled water supplies is to promote responsible water supply management. Beneficial use of available disinfected tertiary treated Title 22 recycled water allows surface water and groundwater supplies to be applied to potable uses.

All agency elements for a reuse program within the City boundary, including land planning, development, wastewater treatment, and water supply, are a part of the City of Roseville government organization.

### 6.7 Recycled Water Beneficial Uses

The City's recycled water program predominantly serves landscape irrigation customers. The City currently delivers recycled water to golf courses, parks, schools, and many miles of streetscape for landscape irrigation within the City's potable water service area. The City also provides recycled water to a school and a golf course outside of the City's potable water service area. The City delivers recycled water to the Roseville Energy Park, which is owned and operated by the City of Roseville Electric Utility, for industrial cooling purposes. Landscapes at both regional wastewater treatment plants also use recycled water for irrigation purposes. Recycled water can be used for construction purposes such as dust control and soil compaction.

The current and projected direct beneficial uses of recycled water in the City's water service area are shown in DWR Table 6-4.

DWR Table 6-4

Submittal Table 6-4 Retail: Recycled Water Direct Beneficial Uses Within Service Area										
Name of Supplier Producing (Treating) the Recycled Water:		City of Roseville								
Name of Supplier Operating the Recycled Water Distribution System:		City of Roseville								
Beneficial Use Type	Potential Beneficial Uses of Recycled Water	Amount of Potential Uses of Recycled Water	General Description of 2020 Uses	Level of Treatment	2020	2025	2030	2035	2040	2045
Landscape irrigation (excludes golf courses)	Landscape irrigation of public areas and medians.	1,841	Landscape irrigation of public areas and medians.	Disinfected Tertiary	1,336	1,446	1,625	1,841	1,841	1,841
Golf course irrigation	Irrigation	2,403	Excludes golf course usage outside service area boundary.	Disinfected Tertiary	1,744	1,888	2,121	2,403	2,403	2,403
Industrial use	Industrial cooling	310	Roseville Energy Park (REP) cooling water use.	Disinfected Tertiary	310	310	310	310	310	310
Other	Morgan Creek Golf Course and Creekview Ranch School	378	Irrigation	Disinfected Tertiary	378	378	378	378	378	378
<b>Total:</b>					<b>3,768</b>	<b>4,022</b>	<b>4,435</b>	<b>4,933</b>	<b>4,933</b>	<b>4,933</b>
<b>2020 Internal Reuse</b>					yes					
NOTES: All values are reported in AF.										

The uses listed in DWR Table 6-4 include use of recycled water supply as well as required discharges. Recycled water uses represent demands within the City’s service area boundary including all approved specific plans. The 4 million gallon per day required discharge to Dry Creek as an instream flow requirement totaling 4,480 AF/yr is not shown in DWR Table 6-4.

A comparison of the 2020 actual use of recycled water to what was projected for use in 2020 in the 2015 UWMP is provided in DWR Table 6-5.

**DWR Table 6-5**

<b>Submittal Table 6-5 Retail: 2015 UWMP Recycled Water Use Projection Compared to 2020 Actual</b>		
<b>Use Type</b>	<b>2015 Projection for 2020</b>	<b>2020 Actual Use</b>
Landscape irrigation (excludes golf courses)	1,923	1,336
Golf course irrigation	1,378	1,744
Industrial use	1,120	310
<b>Total</b>	<b>4,421</b>	<b>3,390</b>
NOTES: All values are in AF. Golf course irrigation does not include golf course irrigation outside the City's service area (Morgan Creek Golf Course)		

### 6.8 Actions to Encourage and Optimize Future Recycled Water Use

As of 2020, the peak recycled water production in July is approximately equal to the peak recycled water demand in July. For the City to further expand recycled water usage during the irrigation season, additional recycled water must be made available. This will most likely be accomplished through expansion of operational storage, with the necessary storage volume dependent on actual demand requirements. Therefore, the City will continue to evaluate in-City and regional recycled water demands and consider its ability to provide recycled water for future projects.

It is the policy of the City that where the use of recycled water is feasible, appropriate, and acceptable to all applicable regulatory agencies, the City will require an owner or customer to use recycled water for approved uses. The City has other methods of encouraging recycled water use including a rate discount and public education. The recycled water rate for customers is currently 50 percent of the potable water rate. The City also implements an extensive public education campaign to educate its customers about the reliability and other benefits of recycled water. Another major benefit to customers of using recycled water is that it can be used reliably in times of drought. In the event the City imposes drought restrictions on uses, such as irrigation and construction, recycled water is exempt from these restrictions. Under certain drought stages, the City would mandate the use of recycled water for construction purposes.

One target of future recycled water use is new development, as stated in DWR Table 6-6. A major hindrance to expanding use of recycled water in existing developments is lack of infrastructure. Installing new infrastructure in existing areas is exceedingly expensive. The City requires use of recycled water for all commercial irrigation services in newly developing master planned areas. This is feasible because the recycled water infrastructure can

be installed as part of the original project. Additionally, the City is considering expanding recycled water distribution to entities both within and outside the potable water service area.

**DWR Table 6-6**

Submittal Table 6-6 Retail: Methods to Expand Future Recycled Water Use			
Page 6-12	Page location of recycled water use narrative in UWMP		
Name of Action	Description	Planned Implementation Year	Expected Increase in Recycled Water Use
Developer Agreements	Per City of Roseville development standards, recycled water must be incorporated into future construction.	2020-2045	1,165
<b>Total</b>			<b>1,165</b>
NOTES: All values are in AF.			

### 6.9 Desalinated Water Opportunities

There are no opportunities for the development of desalinated water within the City’s service area as a future supply source. The City is not located near any bodies of water that would allow for the option.

### 6.10 Exchanges or Transfers

The City maintains an on-demand treated water system that is used for municipal and industrial purposes. The City maintains direct treated water interties with five surrounding jurisdictions, as described in Section 2.2.3. The City can transfer water between jurisdictions through these interties or access water to supplement its distribution system. These facilities are designed to be used for wheeling water through the service area or for demand shortage assistance.

As a condition of the Water Forum Agreement, the City has entered into a re-operation agreement with PCWA for up to 20,000 AF to be used when Roseville’s surface diversion is cut back. In general, the agreement calls for PCWA to release up to an additional 20,000 AF to the American River on an annual basis during time of reduced water availability in the system. This water is to maintain flows in the Lower American River (Nimbus Dam to Sacramento River), and therefore is not available for the City’s use. This re-operation water is considered a transfer, although the ultimate user of the water, if any, has not been identified as part of the agreement - only that the water would be marketed when it was identified as available. It is possible there could be multiple users as the water will flow to the Delta and theoretically be available to all Delta water users.

Also, as a condition of the Water Forum Agreement, the City has committed to not take the entire amount of contracted water from the Upper American River. As a result of having 66,000 AF/yr of water available through various contracts and a commitment to take no more than 58,900 AF/yr from the American River Watershed, there is an opportunity to find a long-term transfer for the 7,100 AF/yr with a user downstream of the confluence of the American and Sacramento Rivers. The Water Code definition of short- and long-term conditions are that short-term is considered for a period of one year or less and long-term is for a period of more than one year.

## 6.11 Supply Management

The City has historically relied primarily on their suite of surface water contracts, supplying high quality water through the City-owned Barton Road Water Treatment Plant, and serving the City's population through gravity flow. In most year types, the City will continue to rely primarily on these supply sources for the bulk of potable water supply. Of these surface water contracts, the City employs supplies through the USBR contract as a first priority each year, pulling next from the PCWA contract as needed. Each year allocations from the USBR are subject to variation, resulting in potential differences in the duration and quantity of supply pulled from this contract annually.

City Water Utility staff plan to utilize groundwater infrastructure differently in Normal and Dry hydrologic years. In general, Roseville plans to use groundwater infrastructure in accordance with sustainable groundwater management goals and objectives. In a Normal year, this means that the City plans to extract up to the quantity of water banked in that year. In drought years, the City may find the need to operate its wells more significantly to meet demands when significant impacts are seen to surface water supplies. This is outlined further in Chapter 7. As the City continues to install more ASR wells into the coming decade, provisions of the municipal code will be updated to reflect their groundwater strategy.

## 6.12 Future Water Projects

The City has taken a proactive approach to ensuring resource diversity with a focus on surface water contracts, strong groundwater infrastructure, and highly collaborative regional presence in water planning and future conjunctive use. Future water supply project opportunities, including diversifying the purchasing or importing of water, expansion of the City's groundwater and ASR program, and regional cooperative conjunctive use are discussed in the following sections.

### 6.12.1 Purchased or Imported Water

In addition to the current contract with PCWA for 30,000 AF/yr of surface water, the City is evaluating and may enter an agreement with PCWA for additional treated surface water supplies available in all hydrologic year types. The treated PCWA water would be supplied by PCWA's future Ophir Water Treatment Plant (Ophir WTP) which will treat water from the Middle Fork Project. The Ophir WTP will be constructed in phases, with the first phase expected to be operational by 2035 and provide an estimated 10 MGD total supply to all customers. Additional phases will be evaluated as PCWA wholesale customers need new supply. The City may purchase up to 3 MGD of normal year capacity from the Ophir WTP, equivalent to 3,360 AF/yr of treated surface water supply.

The City is also exploring future opportunities for water transfers with regional partner agencies in an effort to diversify regional water management strategies in conjunction with responsible groundwater management practices. In 2019, the City executed an agreement for pilot water transfer program with Sacramento Municipal Utilities District (SMUD). This agreement allowed for an annual water transfer for up to 6,000 AF for three years. The transfer allows Roseville to use wet season higher flows to recharge the groundwater aquifer for later season extraction and use. The transfer was executed consistent with Water Forum Agreement policies and goals, as well as an excellent precedent for regional conjunctive use strategies. The City may look to renew this transfer or evaluate similar opportunities in coming years to provide drought resiliency and support the sustainable management of groundwater.

### 6.12.2 Groundwater and ASR Program

The City has historically relied upon groundwater resources only as a backup supply in times of shortage. Over the last few years and in response to lessons learned during the 2015 drought, changing climate conditions, and the overall need for further diversity and reliability of water supply, the City has invested in efforts to operationalize and expand its groundwater program as a regular part of its water supply portfolio in all year types. Along this vein, the City developed a Groundwater Strategic Plan in an effort to evaluate current infrastructure, potential new well sites, further understand the condition and accessibility of the aquifer within the City's service area boundary, and how groundwater planning would look moving forward. The result of these planning efforts has been the identification of 6 future well sites throughout the City's Pressure Zones 1 and 4, with a heavier emphasis on infrastructure on in Pressure Zone 1. Conceptual design and siting have been completed for these future well sites, with exploratory drilling. The City plans to install these wells and their topside improvements within the next 5-10 years, all with ASR capability to enhance flexibility of operations and expand the City's conjunctive use capabilities. For planning purposes, each well is assumed to extract a nominal 1,750 GPM, with a final production value to be determined upon production well drilling and development. These 6 future wells are expected to represent a total of 16,936 AF/yr of additional water supplies.

Four of the City's six existing wells have ASR injection capability, and at this time the City plans for future wells to also be ASR capable. The ASR Program will not only allow the City to change the pattern of water withdrawal from Folsom Reservoir from peak demand times in the summer to times when water is more available (i.e. the winter) but could also be used as a replacement for surface water in WFA dry/drier years. The expected future water supply programs are listed in DWR Table 6-7.

**DWR Table 6-7**

Submittal Table 6-7 Retail: Expected Future Water Supply Projects or Programs						
Name of Future Projects or Programs	Joint Project with other suppliers?		Description	Planned Implementation Year	Planned for Use in Year Type	Expected Increase in Water Supply to Supplier
	Yes/ No	Agency Name (if applicable)				
Regional Conjunctive Use	Yes	Various	Regional water banking and aquifer storage and recovery projects.	2025	All Year Types	Not Yet Determined
Production/ASR Well Program Expansion	No		Development of up to 6 new production wells with ASR capability.	2035	Potentially, All Year Types	14,431
Ophir Water Treatment Plant	Yes	PCWA	Partnership with PCWA in the development of additional treated water capacity for purchase through existing interties.	2035	All Year Types	3,360
PCWA-Roseville Cooperative Water Reliability Project	Yes	PCWA	Partnership with PCWA to optimize and improve existing interties to increase supply transfer volumes and reliability.	2025	All Year Types	Not Yet Determined

NOTES: All values are in AF.

### 6.13 Summary of Existing and Planned Sources of Water

The City’s current planned sources of water can be summarized as such:

- The City is currently contracted to purchase 66,000 total AF/yr of American River water diverted from Folsom Lake with certain restrictions (see Chapter 7).
- The City intends to purchase an additional treated water supply from PCWA of 3,360 AF/yr as part of their Ophir Water Treatment Plant project.
- The City neither currently uses nor plans to use surface water that is not mentioned above.
- The City maintains groundwater wells for normal, drought year, and emergency supply. Four of the City’s 6 existing active production wells possess ASR capability.
- The City does not currently use storm water as a potable water offset. The City is investigating future opportunities to use stormwater in other beneficial ways.
- The City currently utilizes and has future plans to expand recycled water usage.
- The City neither currently uses nor plans to use desalinated water.
- The City maintains direct treated water interties with four surrounding jurisdictions for use in emergency or water transfer situations.

The actual 2020 water supplies for the City are summarized in DWR Table 6-8 and the future projected water supplies for the City are summarized in DWR Table 6-9.

**DWR Table 6-8**

<b>Submittal Table 6-8 Retail: Water Supplies — Actual</b>			
Water Supply	Additional Detail on Water Supply	2020	
		Actual Volume	Water Quality
Purchased or Imported Water	US Bureau of Reclamation	24,375	Drinking Water
Purchased or Imported Water	Placer County Water Agency	9,409	Drinking Water
Purchased or Imported Water	San Juan Water District	0	Drinking Water
Groundwater (not desalinated)	City of Roseville owned production wells	201	Drinking Water
Recycled Water	Recycled water produced by City of Roseville WWTPs	3,497	Recycled Water
<b>Total</b>		<b>37,482</b>	
NOTES: All values are in AF.			

DWR Table 6-9

Submittal Table 6-9 Retail: Water Supplies — Projected											
Water Supply	Additional Detail on Water Supply	Projected Water Supply									
Water Supply		2025		2030		2035		2040		2045	
		Reasonably Available Volume	Total Right or Safe Yield	Reasonably Available Volume	Total Right or Safe Yield	Reasonably Available Volume	Total Right or Safe Yield	Reasonably Available Volume	Total Right or Safe Yield	Reasonably Available Volume	Total Right or Safe Yield
Purchased or Imported Water	USBR - CVP Contract Supply	32,000	32,000	32,000	32,000	32,000	32,000	32,000	32,000	32,000	32,000
Purchased or Imported Water	PCWA - Middle Fork Project Supply	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000
Purchased or Imported Water	SJWD	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000	4,000
Other	Water Forum Limitation on American River Supply Diversion	-7,100	–	-7,100	–	-7,100	–	-7,100	–	-7,100	–
Purchased or Imported Water	PCWA - Potential Future Purchase (OPHIR WTP)	0	0	0	0	3,360	3,360	3,360	3,360	3,360	3,360
Groundwater (not desalinated)	Groundwater Wells	1,560	7,920	2,720	12,570	3,350	14,430	3,350	14,430	3,350	14,430
Recycled Water	South Placer Wastewater Authority	4,022	4,022	4,435	4,435	4,933	4,933	4,933	4,933	4,933	4,933
<b>Total</b>		<b>64,482</b>	<b>77,942</b>	<b>66,055</b>	<b>83,005</b>	<b>70,543</b>	<b>88,723</b>	<b>70,543</b>	<b>88,723</b>	<b>70,543</b>	<b>88,723</b>

NOTES: Under normal year operations, the City intends to manage groundwater use sustainably through the active recharge of surface water through the ASR Program. Values shown above assume a 3-month injection window and an equal volume of extraction. New ASR well infrastructure is expected to be operational by 2030, with additional wells installed by 2035. The City is signatory to the Water Forum Limitation and has committed to not take the entire amount available through the USBR – CVP Contract Supply, this commitment is reflected as -7,100 above. All Values are in AFY.

## 6.14 Climate Change Impacts to Supply

### 6.14.1 Local Climate Change Outlook

The City has acknowledged and incorporated many recent lessons learned from the last 10 years of climate related impacts to the reliability of its water supply. Beginning with the extended drought early in the decade, culminating with the extreme shortages experienced in 2015, Roseville has seen unprecedented curtailments of water supply and how important diversity of sources, diversion locations, and other options become when regular supply is interrupted.

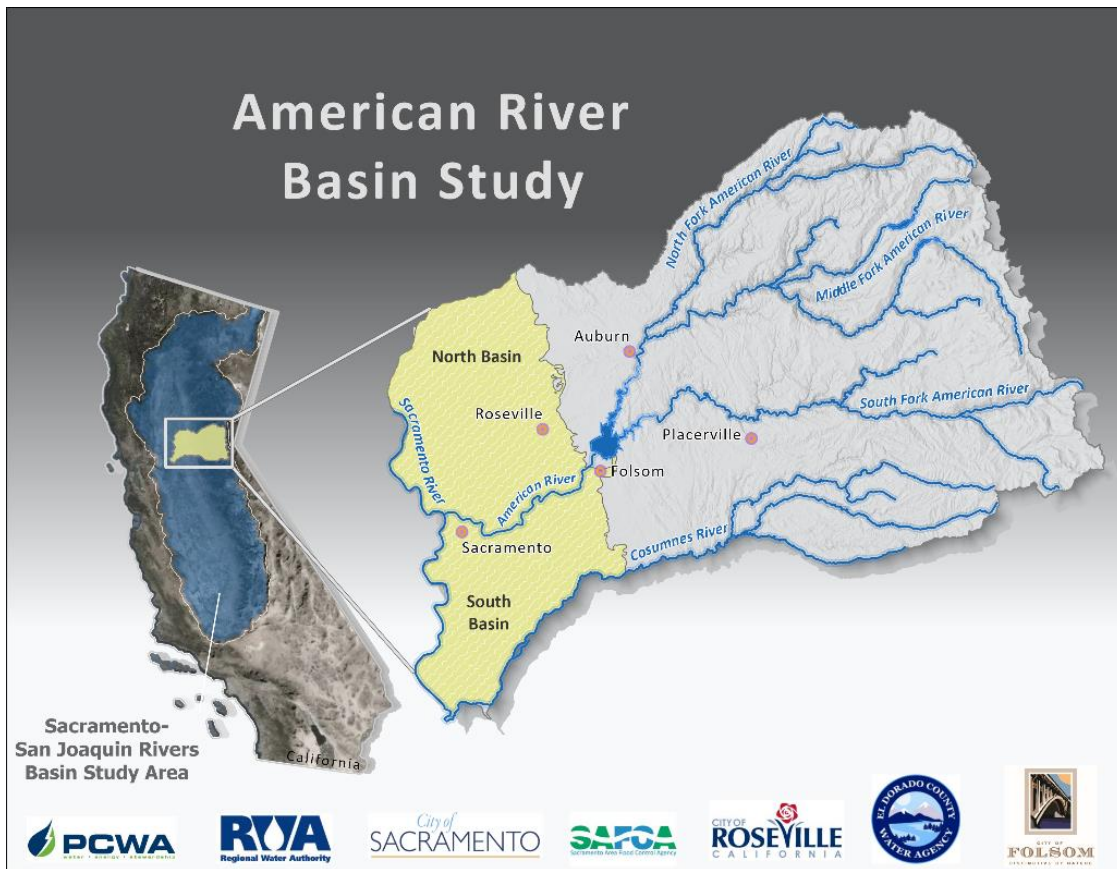
It is expected that regional reductions in Sierra Nevada snowpack will continue and worsen in the coming years, creating uncertainty of surface water supplies – specifically the contract Roseville holds with USBR for 32,000 AF annually which can be curtailed down to 0% depending on each year’s hydrologic outcome. Further, in drought years a lack of inflow to Folsom Reservoir can reduce water surface elevations significantly and quickly, with the possibility of exposing the intake facility at the dam.

The City’s surface water supplies will be more vulnerable to declining snowpack in coming years, with potential for severe limitations in single dry years as well as periods of persistent drought. Integrating cross-seasonal groundwater management (injecting in times of excess for extraction in times of scarcity) will provide much needed resilience in the face of shifting climate conditions.

With these things in mind, the City has taken steps to operationalize its groundwater infrastructure and work toward beneficial use (injection) of excess wet season supplies in preparation for seasonal shortages in surface supply. It is important to note that Roseville is not simply planning to draw from the aquifer to offset its surface water contracts, but rather that they are making concurrent plans to recharge this aquifer and bank supply before the need arises. It is this type of forward planning that Roseville brings to the regional stage in helping the group of agencies relying on these same supply sources to move toward a more sustainable outlook. Diversity of operations and supply sources allow a more flexible approach to each year’s specific hydrologic conditions and water demand.

### 6.14.2 Regional Climate Studies

In 2020, the American River Basin (Basin) region conducted a climate change study in partnership with local water purveyors and the USBR. The purpose of the American River Basin Study (ARBS or Study) was to develop data, tools, analyses, identify supply-demand imbalances, and climate change adaptation strategies specific to the Basin. Under the “new normal” of a changing climate, the ARBS aims to improve the resolution of regional climate change data and to develop regionally specific mitigation and adaptation strategies. As a participant of the study, and service area contained within the Study Area, the following summarizes climate change findings pertinent for the region. More detail, along with the approved study can be found at [www.pcwa.net/planning/arbs](http://www.pcwa.net/planning/arbs).



**Figure 6-2** American River Basin Study Area

The Study Area is bounded by the Sierra Nevada Mountain range to the east, the Feather and Sacramento rivers to the west, the Bear River to the north, and the Cosumnes River to the south (see Figure 6-2). In addition to the American River Watershed, the Study Area encompasses the North and South American Groundwater Subbasins, and Non-Federal Partners’ service areas outside of the American River Watershed.

### 6.14.3 Projected Future Conditions

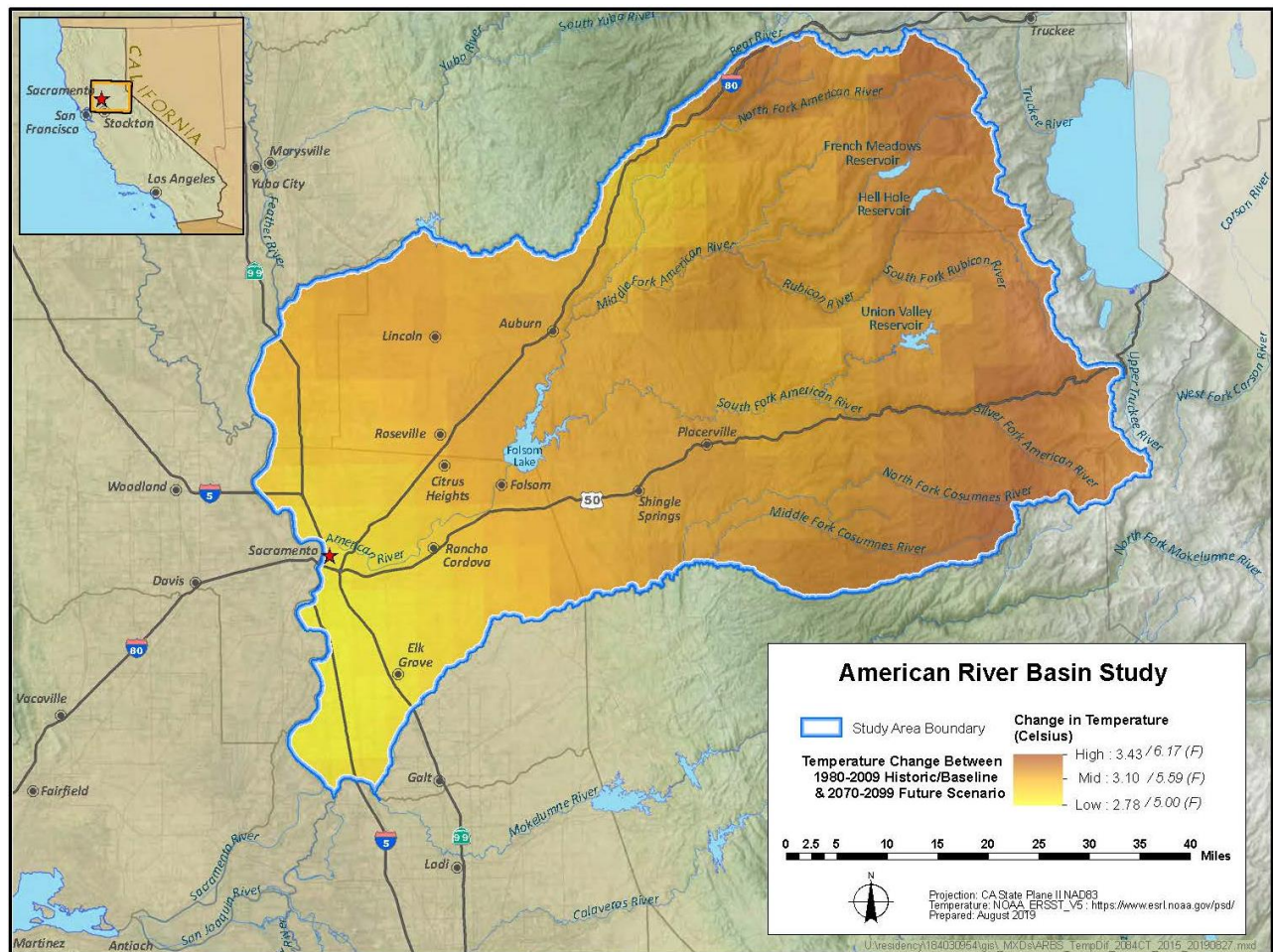
Analysis of projected future climate conditions in the American River Basin and development of climate scenarios for the ARBS were based on an ensemble of bias-corrected and spatially downscaled climate projections<sup>1</sup>. This ensemble has been used by the California Water Commission and DWR as the primary source of climate projection information in several recent studies, including the Water Storage Investment Program (WSIP) and California’s Fourth Climate Change Assessment (Pierce et al., 2018). Projected future climate conditions were evaluated and characterized based on the ensemble of downscaled climate projections.

<sup>1</sup> Climate projections were developed using Global Climate Models from the Coupled Model Intercomparison Project Phase 5 (CMIP5) and downscaled using Localized Constructed Analogs (LOCA) method projected and coupled with two future emission scenarios (RCP 4.5 and RCP 8.5) available from Dr. David Pierce at the Scripps Institution of Oceanography.

Hydrology scenarios were used to develop streamflow inputs to CalSim 3.0, which was then used to evaluate changes in water supplies, demands, and management throughout the CVP and State Water Project (SWP), including the Study Area. Demands for each water purveyor largely relied upon water purveyor’s information provided in Regional Drought Contingency Plan/Regional Water Reliability Plan (RWRP) (Regional Water Authority, 2017) and 2015 UWMPs.

### 6.14.3.1 Temperature

Surface air temperatures are projected to increase steadily, with average summer temperatures increasing by approximately 7.2 degrees Fahrenheit (°F) by the end of the 21st century (see Figure 6-3), and winter temperatures increasing by 4.9°F. Projections of daily maximum and minimum temperatures suggest similar warming trends during all seasons, with maximum temperatures projected to increase as much as 7.3°F during the summer months.



**Figure 6-3** Projected Changes in July Temperature between Historical (1980-2009) and End of Century Under Central Tendency Climate Change

### 6.14.3.2 Precipitation

Annual precipitation projections show no significant trend in the median of change over the 21st century. Many of the available GCM projections show change in precipitation, but there is no consistency in the magnitude and

direction of projected change between models. Approximately half of the projections indicate a minor increase in annual precipitation and half indicate a minor decrease, highlighting the large uncertainty in future precipitation over this region. Although lacking clear trend in projected annual precipitation, by the end of the 21st century the average fall and spring precipitation is expected to decrease, with winter and summer precipitation increasing. Increasing variability is also projected in winter and fall precipitation. A summary of these projections is provided in COR Table 6-B.

**COR Table 6-B** Projected Change in Precipitation and Temperature Over the American River Basin Study Area Between 1980-2009 and 2070-2099

Season	Percent Change in Basin-Averaged Annual Mean Precipitation (%)	Change in Basin-Averaged Annual Mean Daily Air Temperature (°F)	Change in Annual Mean of Daily Maximum Air Temperature (°F)	Change in Annual Mean of Daily Minimum Air Temperature (°F)
Fall	-6.0	5.8	6.1	5.5
Winter	4.7	4.9	5.0	4.8
Spring	-11.9	5.8	6.3	5.1
Summer	10.4	7.2	7.3	7.0

#### 6.14.3.3 Snowpack

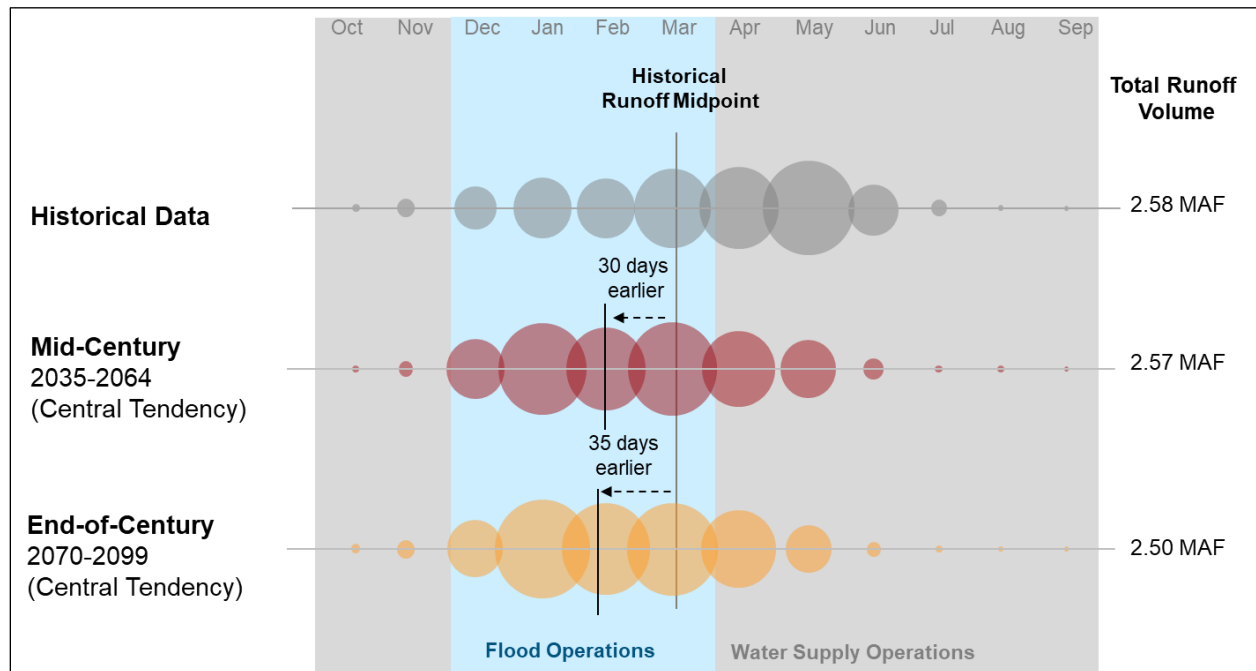
Snow water equivalent (SWE) is a key indicator of water supplies in this region, where runoff is largely influenced by snowmelt. The increasing variability in precipitation combined with increases in surface air temperatures are key drivers in projections of a reduction in annual average SWE. Average SWE is forecasted to decrease by 50-85% across all climate scenarios and future time periods. In addition, areas that accumulate snow above Folsom Reservoir are also projected to have up to a 12-inch decrease in maximum snowpack by end of the century.

#### 6.14.3.4 Evapotranspiration

Potential evapotranspiration (PET) serves as a key indicator of landscape water demands, including consumptive use by evaporation and transpiration from bare soil, water surfaces, native vegetation, and crops. Average annual PET is expected to increase 1.2 to 6.2 inches across all climate scenarios and future time periods. PET is strongly correlated with air temperature and thus expected to increase more under the hot scenarios (HD, HW) than under the warm scenarios (WD, WW).

#### 6.14.3.5 Runoff

Watershed runoff is a direct indicator of local water supply available, as well as to statewide CVP-SWP system. Climate change projections indicate a pronounced shift in the distribution of runoff from May and June to earlier in the season (December to March), implying a transition in precipitation from snow to rainfall and/or earlier snowmelt and increasing the amount of runoff during the winter months. Peak runoff is expected to shift by more than a month earlier by mid to late century (Figure 6-4). Spring runoff will decrease due to reduced winter snowpack. Similar to the precipitation scenarios, there is large uncertainty in projected runoff where the ‘wet’ scenarios suggest an increase in annual runoff and the ‘dry’ scenarios suggest a decrease in annual runoff. The projected changes in basin wide runoff range from an increase of 486 thousand acre-feet (TAF) under the warm-wet scenario to a decrease of 203 TAF under the hot-dry scenario by the end of the century.



**Figure 6-4:** Distribution of Average Monthly Runoff for Historical Record (1922-2015) and Future Projections Under Central Tendency Climate Scenario

The change in annual climatic and hydrologic indicators between historical baseline observations (1915 to 2015) and projected future conditions for the ARBS area are listed in COR Table 6-C.

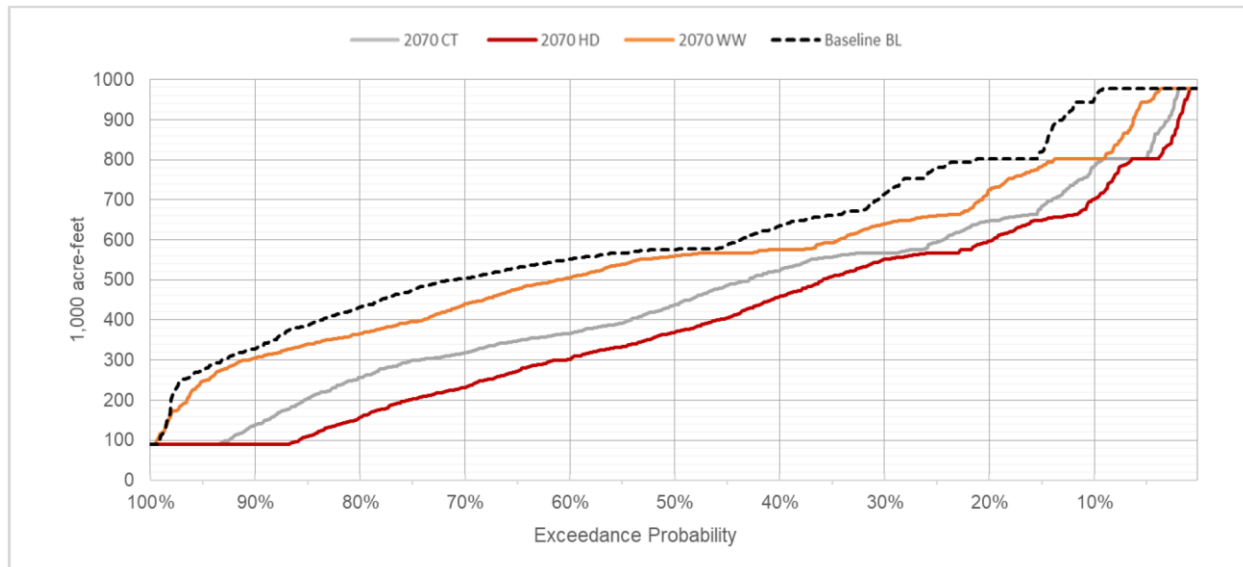
**COR Table 6-C** Change in Hydrologic Indicators Between Historical Observations and Projected Future Hydrology

Time Period	Climate Scenario	Precip (in)	T <sub>avg</sub> (°F)	T <sub>max</sub> (°F)	T <sub>min</sub> (°F)	PET (in)	SWE <sub>avg</sub> (in)	SWE <sub>max</sub> (in)	Runoff (TAF)
1915-2015	Historical Observations	38.2	54.8	67.8	35.6	42.8	1.5	5.7	1,458
2040-2069	Warm-Wet	1.9	4	6.2	1.6	1.6	-0.7	-2.3	701
	Central Tendency	0.1	5	8.1	2.1	2.7	-0.9	-2.8	-2
	Hot-Dry	-2.8	6.2	10.4	2.7	3.7	-1.1	-3.4	-206
2055-2084	Warm-Wet	3.8	4.7	7.4	2	2	-0.8	-2.5	199
	Central Tendency	-1.1	6.3	11.1	2.6	4.1	-1.08	-3.5	-93
	Hot-Dry	-3.4	7.9	13.3	3.7	5	-1.2	-3.8	-185
2070-2099	Warm-Wet	7	5.4	8.3	2.5	1.8	-0.9	-2.9	486
	Central Tendency	-0.6	6.5	11	2.8	3.9	-1	-3.3	-54
	Hot-Dry	-4.6	8.9	15.7	4.1	6.2	-1.3	-4.3	-203

### Water Supply Reliability

Changing climate conditions in the Sierra Nevada Mountains threaten the volume of water stored in the snowpack and the timing of runoff entering Folsom Reservoir. Consequently, they can also affect the critical role of Folsom Reservoir in the CVP Operations. Reliance on Folsom Reservoir is expected to increase commensurate with the

impact of sea level rise on salinity in the Delta. Modeling of these factors has illustrated that, without operational adjustments, Folsom Reservoir is projected to have lower end of conservation season (end of September) storage levels and approach “dead pool” more often under most future climate scenarios (see Figure 6-4). Similarly, increased early season runoff would increase flood risks along the Lower American River, leaving less water in the upper watershed available during water supply operations.



Key:  
Baseline BL = Historic Conditions, 2070 CT = Central Tendency 2070 Climate Scenario, HD = Hot-Dry 2070 Climate Scenario, WW = Warm-Wet 2070 Climate Scenario

**Figure 6-5** Exceedance Plot of Folsom Reservoir Storage (end of September) Under Future Climate Change

Under the 2070 level of development, the ARBS projects a supply-demand imbalance of 63 to 78 TAF/year in the Upper Basin (or Foothills Area) without further conservation or management actions. In the Lower Basin, groundwater extraction is expected to increase by 62 to 155 TAF/year to offset the projected imbalance, which would affect groundwater sustainability.

Based on the water supply and demand imbalance results, the region’s water supply reliability has vulnerabilities. The ARBS assessed several adaptation portfolios for addressing the range of vulnerabilities and future supply-demand imbalances for the Study Area for regional benefits. Portfolios analyzed were:

1. Foundational Institutions
2. No Assurances for Long-term CVP Water Contract
3. Alder Creek Storage and Conservation Project
4. Sacramento River Diversion Project
5. Federally Recognized Groundwater Bank (North and South Basin)
6. Folsom Dam Raise with Groundwater Banking (South Basin)
7. Modified Flow Management Standard

The seven formulated adaptation portfolios were quantitatively evaluated using CalSim 3 to alleviate supply-demand imbalances and benefits to the region. The Study’s intent was not focused on individual water-supplier’s portfolio, but rather how the region could plan to increase regional reliability. The precise composition, scale,

operations, partnerships, funding, and governance to advance these project concepts will require further evaluations and coordination among Basin interests, including USBR, DWR, and SWRCB.

While climate change does have an impact on the basin, impacts are largely seen closer to the end of the century, and not within the timeline of the UWMP. Through proactive adaptation management actions, the Study highlights ways for the region to alleviate climate change impacts by the end of century. Therefore, in consideration of the timeline of the UWMP, the City of Roseville does not reflect any climate change impacts in supply and demand scenarios within this Plan.

### 6.15 Energy Intensity

A new requirement of the CWC, pursuant to 10631.2. (a), for 2020 UWMPs is that suppliers must include information that can be used to calculate energy intensity of their water service. Typically, a large portion of energy consumed in municipalities is dedicated to the conveyance, treatment, distribution, and storage of water. Maintaining water systems involves numerous pumps, motors, and other equipment which run for most or all hours of the day year-round. Because the water operations consume a significant amount of energy, these facilities can be a substantial contributor to greenhouse gas emissions in communities. Understanding how much energy is consumed at the City’s various facilities is critical to ensure that the City is mindfully and efficiently utilizing energy resources.

An analysis of the energy intensity, which is the amount of energy consumed per the volume of potable water supplied, is provided in COR Table 6-D.

**COR Table 6-D** Energy Intensity Reporting

Start Date for Reporting Period	1/1/2020	Sum of Water Management Processes
End Date	12/31/2020	
Volume of Water Entering Process (AF)		32,300
Energy Consumed (kWh)		10,419,600
Energy Intensity (kWh/AF)		322.60
NOTES: Values include only water management processes that are under the City’s operational control.		

The City treats and distributes the majority of its potable supply with the significant aid of gravity flow, from Folsom through the WTP and out into the distribution network throughout the City’s service area. Data collected to support the analysis included in COR Table 6-D were primarily sourced from energy consumption billing data for the City’s conveyance, treatment, distribution, and storage facilities for potable water. Where data was not available, estimates were made based upon similar facilities as well as calculations proportionate to the volume of water involved in the facility process. Some of the City’s conveyance or distribution facilities do not have power sources or are owned by the adjacent utility and therefore do not represent consumption included in the calculation above.

## Chapter 7 Water Service Reliability and Drought Risk Assessment

This chapter describes the long-term reliability of the City’s water supply portfolio in all hydrologic year types through the year 2045. The City’s existing and planned water management strategies and options for increasing the reliability of water supplies are also addressed. Shorter term reliability planning that may require immediate action, such as drought or a catastrophic supply interruption, is addressed in the Water Shortage Contingency Plan.

### 7.1 Constraints on Water Sources

This section addresses potential legal, environmental, water quality, and climatic effects on the reliability of water supply sources through the year 2045.

#### 7.1.1 Legal Constraints

The City does not anticipate legal factors to affect the reliability of recycled water or purchased water supply within the planning horizon of this UWMP.

There are no existing legal constraints that limit groundwater pumping and the groundwater basin is not currently adjudicated. However, as an updated sustainable yield for the subbasin has yet to be defined under SGMA, the legal authority to enforce the sustainable yield of the subbasin has not been created, and the basin is subject to the users’ cooperation in managing the basin until a formal authority is created. The City actively participates in regional discussions regarding best practices and cooperative management of water resources. These issues and concerns are being discussed in forums like the Regional Water Authority and as part of the Western Placer County Groundwater Management Plan along with sustainable groundwater management objectives and activities. The collaborative group of City of Roseville, PCWA, City of Lincoln, and California American Water is responsible for and has been identified as the responsible entity for monitoring groundwater levels meeting requirements of the 2009 SB X7-6 California State Groundwater Elevation Monitoring Program (CASGEM) program. Information gathered as part of this program was included in the groundwater model that was developed to support the ASR application with the Regional Water Quality Control Board to determine impacts of proposed extractions and injections related to groundwater levels in the region.

#### 7.1.2 Water Quality Constraints

The City’s water supply portfolio consists of high-quality surface water, recycled water, and groundwater resources. In some areas of the City, iron and manganese can be found in native groundwater at concentrations both above and below the secondary taste and odor maximum contaminant level established for these constituents. The City monitors groundwater quality closely, to ensure water provided for potable use does not exceed these standards.

#### 7.1.3 Physical Constraints

The physical constraints of recycled water, surface water, and groundwater are discussed in the following sections.

##### 7.1.3.1 Recycled Water

Recycled water is physically constrained by flows into the City’s wastewater treatment plants. It is therefore seasonally available in higher quantities when demands are lowest during the wet season. The distribution

network of “purple pipe” is also a physical constraint for this supply source, as it only exists in the western portion of the City. Access to recycled water and its availability to offset potable needs are therefore, limited by physical access to this pipe network.

#### *7.1.3.2 Surface Water*

The City has identified its Folsom Lake intake as a likely physical constraint on current surface water supplies. All three surface water contract supplies are received through this point of diversion, making it a critical facility for the reliability of Roseville’s surface water supply. If the water level of Folsom Lake were to drop close to or below the intake elevation as it nearly did in 2015, the City would not be able to divert water without additional infrastructure. The City is also able to receive supply through interties in emergency conditions; however, the WTP represents the primary diversion point. As a result of this vulnerability and lessons learned in the 2015 drought year, the City is actively exploring cooperative efforts with Folsom diversion and operation partners to duplicate or lower the intake facility to alleviate this concern. The City is likewise examining options for alternate diversion points or use of interties to increase reliability of physical water supply access.

The capacities of the Folsom Dam diversion, Roseville Water Treatment Plant, and distribution systems are sufficient to divert, treat, and convey the projected surface water demands. A 150 cubic feet per second (cfs) capacity limitations at the USBR pumping plant, which was agreed to based on recent pumping plant improvements, is sufficient to provide water to meet the City’s needs.

#### *7.1.3.3 Groundwater*

The physical constraints on the current groundwater supply are the pumping capacities of existing wells. The total pumping capacities from all the six wells are about 11,050 GPM, approximately 15.9 MGD, per Chapter 3 . The City plans to install 6 additional wells by 2035 to provide additional groundwater supplies. Currently, the City plans to design all new wells with ASR capability to allow for greater groundwater banking and extraction capability throughout seasonal variations in surface water supply availability. Many of these planned well sites have been reassessed and relocated to areas of the City’s surface are with more advantageous groundwater conditions as well as hydraulics with respect to the distribution network. Installation of wells higher in the hydraulic grade area of the system will allow for a greater downstream sphere of influence for this infrastructure and more flexible system operation in times of reliance on groundwater.

#### *7.1.4 Other Constraints*

Aside from legal and physical constraints, several other considerations affect the availability and reliability of Roseville’s water supply portfolio. The City’s purchased surface water supply is subject to reductions during dry years (seasonal and climatic shortages) pursuant to the Water Forum Agreement (WFA), the USBR Operations Criteria and Plan (OCAP), and the Central Valley Project Municipal and Industrial Water Shortage Policy (CVP M&I WSP). These agreements and programs are discussed in greater detail in the following subsections.

##### *7.1.4.1 Sacramento Water Forum Agreement*

The Sacramento Water Forum is a diverse group of business and agricultural leaders, citizen groups, and environmentalists, water managers, and local governments working together to balance two co-equal objectives:

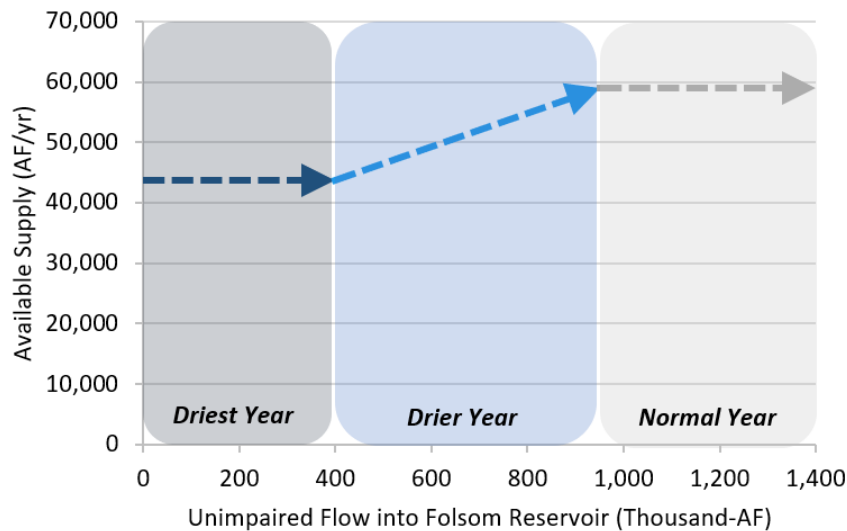
1. Provide a reliable and safe water supply for the Sacramento region’s long-term growth and economic health.
2. Preserve the fishery, wildlife, recreational and aesthetic values of the Lower American River.

The City, along with several other Sacramento-area water suppliers are signatory to the January 2000 Water Forum Agreement which includes Purveyor Specific Agreements, with the most recent revisions affected to these agreements in 2015. The Water Forum Agreement provides the framework for how water resources, including surface water and groundwater supplies would be used in the region, through the year 2030. The City’s Purveyor Specific Agreement includes limitations on City surface water diversions from the American River under various hydrologic conditions. The Water Forum categorized water years into three types, all of which are defined in terms of the projected March through November unimpaired flow into Folsom Reservoir. These hydrologic year types are as follows in COR Table 7-A.

**COR Table 7-A** Water Forum Agreement Hydrologic Year Types

Year Type	Unimpaired Flow into Folsom Reservoir
Normal/Average or Wet Year	Greater than or equal to 950,000 AF
Drier Year	Between 400,000 and 950,000 AF
Driest/Critically Dry Year	Less than 400,000 AF

Although Roseville’s water contract entitlements total 66,000 AF/yr, the City’s diversions from the American River are limited by the WFA in normal/wet years, drier, and driest years. In normal/wet years, the City has agreed to limit surface water diversions from the American River to 58,900 AF/yr. In driest or critically dry years, the maximum diversion from the American River is limited to 43,800 AF/yr. In drier years, the City may divert an amount between 43,800 and 58,900 AF/yr from the American River, calculated linearly depending on the unimpaired flow into Folsom Reservoir, as shown in Figure 7-1.



**Figure 7-1** Water Forum Agreement Supply Limitations

It is important to note that during the drier and driest years, the City has an agreement with PCWA to release an additional 20,000 AF/yr of water down the American River on the City's behalf through re-operation of PCWA's American River Middle Fork Project (MFP). This 20,000 AF/yr of water is not part of the City's contracted supply of 66,000 AF/yr. The intent of the MFP re-operational releases during drier and driest years is to mitigate environmental impacts resulting from increased diversions above 1995 baseline levels.

#### *7.1.4.2 USBR Operations Criteria and Plan*

In addition to the WFA, the City's USBR water is also subject to restrictions as detailed in the 2004 Long Term Central Valley Project Operations and Criteria Plan (location on USBR's website). Chapter 5 of the OCAP entitled "Operations Forecasting" states that CVP allocations can be affected by:

- Forecasted reservoir inflows and Central Valley hydrologic water supply;
- Current amounts of storage in upstream reservoirs and in San Luis Reservoir;
- Projected water demands in the Sacramento Valley;
- Instream and Delta regulatory requirements;
- Annual management of 3406(b)(2) resources (related to fish and wildlife); and/or
- Efficient use of CVP-SWP export capacity through Joint Point of Diversion flexibility.

The OCAP includes a requirement that contractors be informed by USBR no later than February 15 of any possible deficiency in supplies that year. Since 1992, increasing constraints placed on operations by legislative and ESA requirements have made water delivery to CVP contractors more difficult, with recent drought conditions further impacting deliveries. Additionally, it is important to note that the City's USBR water deliveries may be curtailed purely based on downstream Delta conditions, irrespective of available upstream supply.

#### *7.1.4.3 Central Valley and Industrial Water Shortage Policy*

Upon a condition of shortage as determined by the OCAP, the CVP M&I WSP details the "incremental steps" by which available M&I water supply is allocated to the CVP water service contractors. From the November 2015 USBR news release, elements of the CVP M&I WSP include:

- Define water shortage terms and conditions for applicable CVP water service contractors, as appropriate.
- Determine the quantity of water made available to CVP water service contractors that, together with the M&I water service contractors' drought water conservation measures and other non-CVP water supplies, would assist the M&I water service contractors in their efforts to protect public health and safety during severe or continuing drought.
- Provide information to CVP water service contractors for their use in water supply planning and development of drought contingency plans.

The Final Environmental Impact Statement (EIS) describes the existing setting, alternatives for future operations under the CVP M&I WSP, and potential environmental impacts of each alternative. USBR selected Alternative 4, the Preferred Alternative, which comprises the Updated CVP M&I Water Shortage Policy developed by USBR with stakeholder input received during preparation of the Final EIS.

The decision will allow USBR the greatest degree of flexibility to address CVP water service contractors’ needs during a Condition of Shortage while recognizing that CVP deliveries are subject to the amount of CVP water available. The Updated CVP M&I WSP also provides clarity to the terms, conditions, and procedures of the CVP M&I WSP. A copy of the November 2015 Final Record of Decision is included in Appendix J.

## 7.2 Water Supply Reliability Assessment

This section addresses the reliability of the City’s water supply in average, single dry, and multiple dry water years. The City uses the following water year definitions from the DWR 2020 Guidebook:

**COR Table 7-B** Reliability Assessment Year Type Characterization

Year Type	Description
Average or Normal Year	A single year or averaged range of years that most closely represents the average water supply available to the Supplier.
Single Dry Year	The year that represents the lowest water supply available to the Supplier.
Five Consecutive Year Drought	The driest five-year historical sequence for the supplier.

The reliability of the potable and recycled water supplies is discussed in the following sections and are compared to the projected potable and recycled water demand.

### 7.2.1 Potable Water Supply and Demand Assessment

This section provides an assessment of the City’s expected water supply and demand for Normal Year, Single Dry Year, and Five Consecutive Year Drought scenarios, based on data available at the time of publication of this UWMP, and discusses the City plans to mitigate potential supply deficits.

The City has identified the following base water years to represent the Year Types:

- **Average or Normal Year:** 2017
- **Single Dry Year:** 2015
- **Five Consecutive Year Drought:** 2011 - 2015

This City has identified these base water years based heavily on lessons learned through the droughts experienced in the last 10 years. In 2017, 100% of the typical contract supply was available, making it a good candidate to represent an average or normal year. In 2015, the City experienced a 75% curtailment of their USBR contract value – a source which had been considered highly reliable until that time. With only a 25% allotment, this represents the lowest experienced water supply level in Roseville’s history. The time period between 2011 and 2015 represented multiple years of drought conditions and the lowest average available water supply experienced by the City, and therefore has been identified to represent the five consecutive year drought condition. Supply volumes for base years are provided in DWR Table 7-1.

DWR Table 7-1

Submittal Table 7-1 Retail: Basis of Water Year Data (Reliability Assessment)			
Year Type	Base Year	Available Supplies if Year Type Repeats	
		<input type="checkbox"/>	Quantification of available supplies is not compatible with this table and is provided elsewhere in the UWMP. Location _____
		<input checked="" type="checkbox"/>	Quantification of available supplies is provided in this table as either volume only, percent only, or both.
		Volume Available	% of Average Supply
Average Year	2017	64,279	100%
Single-Dry Year	2015	49,739	77%
Consecutive Dry Years 1st Year	2011	64,279	100%
Consecutive Dry Years 2nd Year	2012	59,430	92%
Consecutive Dry Years 3rd Year	2013	59,480	93%
Consecutive Dry Years 4th Year	2014	51,531	80%
Consecutive Dry Years 5th Year	2015	49,942	78%

NOTES: Groundwater is not utilized as a significant source of supply until a Drought Stage 3 is declared by the City. Totals include recycled water which is assumed to be available in all year types.  
All volumes are in AF.

The City intends to use their groundwater supply differently in different year types. Under Normal Year conditions, the City intends to inject groundwater at an overall net benefit to the aquifer, or at most to extract groundwater up to the amount injected. In times of drought however, as in a Single Dry Year, or multi-year drought condition, the City can and will utilize their groundwater infrastructure as a larger percentage of overall supply. These assumptions and the resulting groundwater availability by year type are outlined in COR Table 7-C.

**COR Table 7-C** Groundwater Supply Availability by Year Type.

Groundwater Supplies and Management by Year Type					
Well Data	Operational ASR Wells	6	10	11	11
	Total Annual Extraction Capacity	17,600	28,000	32,100	32,100
	Total Annual Injection Capacity	7,000	12,100	14,900	14,900
Year Type	Assumptions	2020	2030	2035	Buildout
<b>Normal</b>	In a Normal Year, the City would only typically extract less than or equal to the volume injected. The injection window is estimated at <b>3 months</b> for the wet season when additional volume might be available, and <b>90% capacity</b> would be assumed to account for 10% down time for maintenance.	1,560	2,720	3,350	3,350
<b>Single Dry</b>	In a Single Dry Year, the City would expect to pump for <b>6 months</b> of the year at <b>90% capacity</b> to allow for 10% down time for maintenance.	7,920	12,570	14,430	14,430
<b>Year 5 of a Multi-Year Drought</b>	In the 5th year of a 5 -Year Drought, the City would expect to pump for <b>6 months</b> of the year at <b>90% capacity</b> to allow for 10% down time for maintenance.	7,920	12,570	14,430	14,430
NOTES: All values are in AF.					

The availability of total water supply from each source by hydrologic year type is outlined in COR Table 7-D.

**COR Table 7-D Potable Supply Availability by Year Type**

Potable Water Supply Availability by Source and Hydrologic Year Type						
Supply Source	2020 (current)	2025	2030	2035	2040	2045
<b>NORMAL WATER YEAR</b>						
USBR	32,000	32,000	32,000	32,000	32,000	32,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	4,000	4,000	4,000	4,000	4,000	4,000
Water Forum Limitation	-7,100	-7,100	-7,100	-7,100	-7,100	-7,100
PCWA (Future)	0	0	0	3,360	3,360	3,360
Groundwater	1,560	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>60,460</b>	<b>60,460</b>	<b>61,620</b>	<b>65,610</b>	<b>65,610</b>	<b>65,610</b>
<b>SINGLE DRY YEAR</b>						
USBR	8,000	8,000	8,000	8,000	8,000	8,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	0	0	0	0	0	0
Water Forum Limitation	0	0	0	0	0	0
PCWA (Future)	0	0	0	3,360	3,360	3,360
Groundwater	7,920	7,920	12,570	14,431	14,431	14,431
<b>Total</b>	<b>45,920</b>	<b>45,920</b>	<b>50,570</b>	<b>55,791</b>	<b>55,791</b>	<b>55,791</b>
<b>FIVE CONSECUTIVE YEAR DROUGHT - YEAR 1</b>						
USBR	32,000	32,000	32,000	32,000	32,000	32,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	4,000	4,000	4,000	4,000	4,000	4,000
Water Forum Limitation	-7,100	-7,100	-7,100	-7,100	-7,100	-7,100
PCWA (Future)	0	0	0	3,360	3,360	3,360
Groundwater	1,560	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>60,460</b>	<b>60,460</b>	<b>61,620</b>	<b>65,610</b>	<b>65,610</b>	<b>65,610</b>
<b>FIVE CONSECUTIVE YEAR DROUGHT - YEAR 2</b>						
USBR	24,000	24,000	24,000	24,000	24,000	24,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	0	0	0	0	0	0
PCWA (Future)	0	0	0	3,360	3,360	3,360
Water Forum Limitation	0	0	0	0	0	0
Groundwater	1,560	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>55,560</b>	<b>55,560</b>	<b>56,720</b>	<b>60,710</b>	<b>60,710</b>	<b>60,710</b>

FIVE CONSECUTIVE YEAR DROUGHT - YEAR 3						
USBR	24,000	24,000	24,000	24,000	24,000	24,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	0	0	0	0	0	0
Water Forum Limitation	0	0	0	0	0	0
PCWA (Future)	0	0	0	3,360	3,360	3,360
Groundwater	1,560	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>55,560</b>	<b>55,560</b>	<b>56,720</b>	<b>60,710</b>	<b>60,710</b>	<b>60,710</b>
FIVE CONSECUTIVE YEAR DROUGHT - YEAR 4						
USBR	16,000	16,000	16,000	16,000	16,000	16,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	0	0	0	0	0	0
Water Forum Limitation	0	0	0	0	0	0
PCWA (Future)	0	0	0	3,360	3,360	3,360
Groundwater	1,560	1,560	2,720	3,350	3,350	3,350
<b>Total</b>	<b>47,560</b>	<b>47,560</b>	<b>48,720</b>	<b>52,710</b>	<b>52,710</b>	<b>52,710</b>
FIVE CONSECUTIVE YEAR DROUGHT - YEAR 5						
USBR	8,000	8,000	8,000	8,000	8,000	8,000
PCWA	30,000	30,000	30,000	30,000	30,000	30,000
SJWD	0	0	0	0	0	0
Water Forum Limitation	0	0	0	0	0	0
PCWA (future)	0	0	0	3,360	3,360	3,360
Groundwater	7,920	7,920	12,570	14,431	14,431	14,431
<b>Total</b>	<b>45,920</b>	<b>45,920</b>	<b>50,570</b>	<b>55,791</b>	<b>55,791</b>	<b>55,791</b>
NOTES: Groundwater more significantly relied on in single dry years and year 5 of a five consecutive year drought condition. All values are in AF.						

### 7.2.2 Comparison of Supply and Demand

A comparison of projected water supply and demand during Normal, Single Dry, and Five Consecutive Year Drought conditions are included in DWR Table 7-2, DWR Table 7-3, and DWR Table 7-4. It is important to note that in all scenarios shown in these tables, Normal Year demands are shown. As outlined in Chapter 4, passive demand reduction savings are incorporated into the demand projections themselves; however, no specific conservation effort to reduce demands in a drought year have been shown in these tables in order to depict the most basic comparison of supply and demand in these year types. As shown, there is an adequate water supply in all normal years. In single dry years and in certain multiple dry years, water supply deficit may occur.

### 7.2.3 Recycled Water Supply and Demand Comparison

The City’s recycled water supply is an important resource as it is considered to be 100% reliable in all water year types. Recycled water supply has been set equal to the projected recycled water demand in these analyses because showing a surplus recycled water supply would mask potential potable water shortages.

### 7.2.4 Total Water Supply and Demand Comparison

A comparison of projected total (potable and recycled) water supply and demand during a normal water year is included in DWR Table 7-2. As shown, there is an adequate water supply in normal years to meet demands through 2045.

**DWR Table 7-2**

Submittal Table 7-2 Retail: Normal Year Supply and Demand Comparison					
	2025	2030	2035	2040	2045
Supply totals	64,482	66,055	70,543	70,543	70,543
Demand totals	51,589	56,990	62,547	62,547	62,547
Difference	12,893	9,065	7,996	7,996	7,996

NOTES: An additional 3,360 AF of supply from the PCWA Ophir WTP is assumed to become available in all year types as of 2035. The City plans to have 4 new wells operational by 2030 with an additional 2 following by 2035, as well as the destruction of 1 existing. Supply and demand include Recycled Water. All volumes are in AF.

A comparison of projected water supply and demand during a Single Dry Year is included in DWR Table 7-3.

**DWR Table 7-3**

Submittal Table 7-3 Retail: Single Dry Year Supply and Demand Comparison					
	2025	2030	2035	2040	2045
Supply totals*	49,942	55,005	60,723	60,723	60,723
Demand totals*	51,589	56,990	62,547	62,547	62,547
Difference	(1,647)	(1,985)	(1,824)	(1,824)	(1,824)

NOTES: An additional 3,360 AF of supply from the PCWA Ophir WTP is assumed to become available in all year types as of 2035. The City plans to have 4 new wells operational by 2030 with an additional 2 following by 2035, as well as the destruction of 1 existing. Supply and demand include Recycled Water. All volumes are in AF.

A comparison of projected water supply and demand during a Five Consecutive Year Drought is included in DWR Table 7-4.

DWR Table 7-4

Submittal Table 7-4 Retail: Multiple Dry Years Supply and Demand Comparison						
		2025	2030	2035	2040	2045
First year	Supply totals	64,482	66,055	70,543	70,543	70,543
	Demand totals	51,589	56,990	62,547	62,547	62,547
	Difference	12,893	9,065	7,996	7,996	7,996
Second year	Supply totals	59,582	61,155	65,643	65,643	65,643
	Demand totals	51,589	56,990	62,547	62,547	62,547
	Difference	7,993	4,165	3,096	3,096	3,096
Third year	Supply totals	59,582	61,155	65,643	65,643	65,643
	Demand totals	51,589	56,990	62,547	62,547	62,547
	Difference	7,993	4,165	3,096	3,096	3,096
Fourth year	Supply totals	51,582	53,155	57,643	57,643	57,643
	Demand totals	51,589	56,990	62,547	62,547	62,547
	Difference	(7)	(3,835)	(4,904)	(4,904)	(4,904)
Fifth year	Supply totals	49,942	55,005	60,723	60,723	60,723
	Demand totals	51,589	56,990	62,547	62,547	62,547
	Difference	(1,647)	(1,985)	(1,824)	(1,824)	(1,824)

NOTES: An additional 3,360 AF of supply from the PCWA Ophir WTP is assumed to become available in all year types as of 2035. The City plans to have 4 new wells operational by 2030 with an additional 2 following by 2035, as well as the destruction of 1 existing. Supply and demand include Recycled Water. All volumes in AF.

As stated in DWR Table 7-4, there is sufficient supply to meet demands in Normal Years through 2045. In Single Dry Years and some extended drought years, shortages do occur. DWR Table 7-2, DWR Table 7-3, and DWR Table 7-4 include recycled water supply and demand. The remaining deficits shown will be mitigated by potable water conservation measures implemented as part of the Water Shortage Contingency Plan.

### 7.2.5 Deficit Mitigation

Depending on the raw water supply available from USBR, and in accordance with the WFA, deficits in potable water supply may occur in a single dry year or the latter stages of an extended drought condition. As shown in DWR Table 7-3 and DWR Table 7-4, the greatest potential deficit between available supply and demand would occur in Year 4 of a Five Consecutive Year Drought condition.

One potential strategy to alleviate deficiencies shown above is indicated in DWR Table 7-5. In DWR Table 7-5, the potential volume of water resulting from potable water demand reductions are shown.

**DWR Table 7-5**

<b>Submittal Table 7-5: Five-Year Drought Risk Assessment Tables to address Water Code Section 10635(b)</b>					
	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2025</b>
Total Water Use	39,172	42,276	45,380	48,484	51,589
Total Supplies	64,279	59,430	59,480	51,531	49,942
Surplus/Shortfall w/o WSCP Action	25,107	17,153	14,100	3,047	(1,647)
<b>Planned WSCP Actions</b> (use reduction and supply augmentation)					
WSCP - supply augmentation benefit	0	0	0	0	0
WSCP - use reduction savings benefit	0	0	0	0	6,659
Revised Surplus/(shortfall)	25,107	17,153	14,100	3,047	5,013
Resulting % Use Reduction from WSCP action	0%	0%	0%	0%	13%
NOTES: Supply and demand totals include Recycled Water. Demand reductions actions only apply to the portion of total water use that is potable and not to the recycled water.					

The City will determine the needed balance between water conservation and groundwater pumping on a case-by-case basis consistent with the City’s Municipal Code. The City also continues to plan for and analyze opportunities for water supply projects or exchanges that would increase the reliability of the raw water supplies diverted from the American River.

### 7.3 Regional Supply and Reliability

All water consumed by the City comes from local supply sources. No water is imported from other regions, nor does the City anticipate importing water from other regions throughout the UWMP planning period. However, the City is actively engaged in multiple planning projects and coordination intended to strengthen water supply reliability throughout the Sacramento area, in addition to investing in long-term water storage projects like the future Sites Reservoir. Projects like Sites will not provide direct benefit in terms of water supply to Roseville; however, as a regional project it promises to strengthen the Northern California water portfolio as a whole, providing benefit to all who operate within this sphere. The City is a committed regional partner in working to solve supply shortage issues before they become a critical reality, with climate change and increasingly limited supply sources at the crux of the issue. The City will continue these efforts into the future and work with its partner agencies to find the best path forward.

## Chapter 8 Water Shortage Contingency Plan

Following the severe drought of 2012-2016, the State of California Legislature sought to expand the water shortage contingency analysis under former law and mandated that a Water Shortage Contingency Plan (WSCP) be adopted by suppliers. A copy of the WSCP is provided in Appendix K.

## Chapter 9 Demand Management Measures

This chapter describes the City’s historical and existing water conservation program, status of implementation of Demand Management Measures (DMMs), and projected future conservation implementation. The CWC requires that the UWMP include a comprehensive description of historical, current, and projected water conservation programs.

*CWC 10631 (e) Provide a description of the supplier’s water demand management measures. This description shall include all of the following:*

*(1) (A) For an urban retail water supplier, as defined in Section 10608.12, a narrative description that addresses the nature and extent of each water demand management measure implemented over the past five years. The narrative shall describe the water demand management measures that the supplier plans to implement to achieve its water use targets pursuant to Section 10608.20.*

*(B) The narrative pursuant to this paragraph shall include descriptions of the following water demand management measures:*

*(i) Water waste prevention ordinances.*

*(ii) Metering.*

*(iii) Conservation pricing.*

*(iv) Public education and outreach.*

*(v) Programs to assess and manage distribution system real loss.*

*(vi) Water conservation program coordination and staffing support.*

*(vii) Other demand management measures that have a significant impact on water use as measured in gallons per capita per day, including innovative measures, if implemented.*

In previous UWMPs, a substantial amount of data was required to document a water supplier’s progress in implementing fourteen specific DMMs. In 2014, Assembly Bill 2067 simplified, clarified, and updated reporting requirements for DMMs. Starting with the 2015 UWMP, focus has turned away from detailed descriptions of each of the fourteen DMMs and has turned to water conservation measures that are being implemented to achieve compliance with SB X7-7. For retail agencies, the number of DMMs has been reduced from fourteen to six (plus an “other” category). A narrative description of the status of the DMMs and how the DMMs will help the water supplier achieve its SBX7-7 water use targets is required. Detailed data are not required.

Members of the CUWCC may include their reporting in the UWMP, but a narrative is also required.

### 9.1 Demand Management Measures

The six DMMs required to be discussed in the 2020 include the following:

- Water waste prevention ordinances;
- Metering;
- Conservation pricing;
- Public Education and outreach;
- Programs to assess and manage distribution system real loss; and
- Water conservation program coordination and staffing support.

For each DMM, the current program is described, followed by a description of how the DMM was implemented over the previous five years and the planned implementation to achieve the water use targets required by SB X7-7, which is discussed in Chapter 5

### 9.1.1 Water Waste Prevention Ordinances

The City currently restricts water waste within its service area. Roseville Municipal Code Chapter 14.09, Water Conservation Ordinance (Appendix L), defines water waste and associated penalties of continued infractions. Per the ordinance, customers in violation are provided a series of notifications at one-week intervals: first a courtesy notice, second an administrative warning, and finally a formal citation. If the situation is not remedied by the time specified in the formal citation, additional measures can be taken to enforce compliance. These measures include fines, water restrictions, low flow devices, or discontinued service. In addition, the City may waive the courtesy notice and administrative warning in times of drought.

To enforce the Water Waste Ordinance, the City employs two 1,500 hour/year conservation workers to patrol within the service area limits. The City has also employed contract help at night to conduct water waste patrols. These patrol efforts are ramped up and down seasonally according to the intensity of landscape water usage. In addition, full-time City staff patrol for water waste as part of their normal job duties. In addition to patrols by City staff, the City has an online reporting mechanism that allows customers to report observed water waste anonymously. Customers can visit [www.roseville.ca.us/waterwaste](http://www.roseville.ca.us/waterwaste) and submit an electronic form, which is then further investigated by City staff.

Implementation of this DMM is ongoing and expected to help the City achieve its water use targets by minimizing the nonessential uses of water so that the water is available to be used for human consumption, sanitation, and fire protection.

### 9.1.2 Metering

A meter retrofit program was developed and implemented from 2001 to 2011. Implementation of metered rates began immediately on all residential metered connections established after January 1, 2002, with the remaining retrofitted homes transitioned in large blocks as retrofits were completed. Customers were provided water use information for a period of one year before transition to volumetric billing began.

The metering DMM helps Roseville achieve its water use targets by providing accurate water use information to both the customer and the City. Higher than normal comparative usage triggers outreach to customers who may have leaks, as well as awareness of efficient water use practices. Overall, metering assists the City in managing customer water use and leak detection efforts.

### 9.1.3 Conservation Pricing

As a component of its meter retrofit program, the City adopted conservation pricing for water on all metered accounts from 2011 through 2015. Later, and to comply with Proposition 218 requirements, the City transitioned to a per-use, uniform billing rate structure in February 2016. A complete list of service charges, excess water use charges, and water rates are included in Roseville Municipal Code Sections 14.08.090 Service Charges for Metered Service through 14.08.100 Flat Water Rates. This information is included in Appendix M.

Implementation of this DMM is expected to help the City achieve its water use targets by ensuring water customers pay the true cost of water. The City regularly analyzes this cost of water production, capital improvement project needs, level of service requirements and other costs of operating the water system during regular rate studies. Where adjustments need be made, extensive public education efforts are undertaken to maintain transparency of utility operations and funding to support any required rate changes. Sufficient revenue will continue to be available to fund water system operations, maintenance, and water conservation programs.

#### 9.1.4 Public Education and Outreach

The City promotes water conservation and other resource efficiencies in coordination with the Regional Water Authority (RWA), Roseville Electric, and Roseville’s Public Information Department. The City distributes information through paid advertisements, television commercials, featured segments on the local government access channel, the internet (through the City’s website and streaming video), the City’s Utility Exploration Center, several water efficient workshops each year, movie theater ads, newsletters, bill inserts, mill messages, brochures, vehicle decals, community outreach events, community speaker bureaus, and yearly special events.

##### 9.1.4.1 Customer Water Usage Portal

The City plans to implement a customer portal as part of the implementation of Advanced Metering Infrastructure (AMI) which is currently underway. This portal will provide residents with an ability to view their past usage and identify any changes in use patterns that may indicate leaks or opportunities for implementing cost savings by conserving water.

##### 9.1.4.2 Utility Exploration Center

In 2008, the City’s utilities jointly funded and created the Roseville Utility Exploration Center (UEC). In addition to serving as a “storefront” for the utilities, the Center is used by the City for community outreach and environmental education. Designed for an interactive experience, the UEC hosts multiple hands-on exhibits with a “learning lab” for demonstrations, presentations, and workshops. Topics include water conservation and watershed protection, energy efficiency, waste reduction, and wastewater management.

Since opening, the Utility Exploration Center has hosted over 640,000 program participants, with approximately 5,000 student (preschool through sixth grade) to the exhibit hall; partnered with cultural, recreational, and utility-related organizations to create a lively series of changing events, workshops, and activities; and connected with residents in a variety of off-site outreach activities.

The Center is housed within the Gold LEED (Leadership in Energy and Environmental Design) certified Martha Riley Library building, which was the first building in Placer County to be so honored. Future plans include the “Inspiration Garden,” an outdoor learning space created in partnership with Roseville’s Water Efficiency division, with a goal of encouraging more residents to adopt water-wise gardening practices. The garden is planned for completion by summer 2021. Plans are also underway to update the original visitor center exhibits. A larger outdoor project, originally called the IDEAScape, would further expand exhibits to include topics such as river-friendly landscaping and irrigation, utility systems, solar energy, and watershed protection. The project is currently on hold but is anticipated for completion by 2030.

### 9.1.4.3 Student Outreach

In addition to Regional Water Authority (RWA) student outreach programs, the City independently provides presentations, conservation materials, and facility tours to local schools.

### 9.1.5 Regional Water Authority – Outreach and Education

In addition to local public education and outreach programs, the City also participates in a regional public education and outreach program through the Regional Water Authority (RWA). RWA is a joint powers authority formed in 2001 to promote collaboration on water management and water supply reliability programs in the greater Sacramento, Placer, El Dorado, Yolo, and Sutter counties. In collaboration with 19 water provider members and other wastewater, stormwater, and energy partners, RWA formed the Water Efficiency Program (WEP) in 2001 to bring cost effectiveness through economies of scale to public education and outreach activities.

The WEP operates on an average annual budget of \$530,000 and is supplemented by grant funding. Grants are an important funding resource for the Program. Since 2003, the Program has been awarded \$13.2 million in grant funding for public outreach and education as well as a variety of rebate programs, fixture direct install programs, system water loss, individualized customer usage reports, large landscape budgets and more. Of those funds, \$3.8 million was awarded between 2016 and 2020.

The main function of the WEP is to develop and distribute public outreach messages to customers in the region by collaborating with its water provider members. The Program distributes these messages on a regional scale through regional media and advertising buys and was honored with the United States Environmental Protection Agency WaterSense Excellence in Education and Outreach Award in 2016. From 2016-2020, the WEP created a series of public outreach campaigns. A summary of each campaign and highlighted achievements is as follows.

Following the historic 2015 California drought, the WEP launched the “Rethink Your Yard” Campaign in 2016 with a focus on prioritizing landscape watering, putting trees first and transitioning thirsty lawn and landscaping to beautiful, low water use, River-Friendly landscapes. The Program advertised the campaign through online ads, social media, commercial radio, Raley Field (local baseball stadium) and local billboards. The campaign featured local homeowners with their newly redesigned yards on billboards throughout the region.

The campaign launched in 2017 focused on encouraging customers to understand and deliver the amount of water their landscape really needs and to make permanent equipment changes to improve efficiency such as installing weather-based irrigation controllers, more efficient sprinklers and drip irrigation. The Program partnered on this messaging with local nurseries through a “Get Growing this Fall” initiative to encourage residents to plant in the fall when days are cooler and plants don’t need as much water to establish roots.

From 2018 through 2020, the regional campaign focused on tackling the landscape overwatering problem with a “Check and Save” message encouraging residents to check the soil moisture with a moisture meter before turning on sprinklers. To support this message, the Program provided free froggy moisture meters via an online request form and at events. In 2019, WEP distributed 3,000 moisture meters to customers throughout the region.

These campaigns are implemented through both paid advertising buys and earned media from public service announcements (PSAs). Every year the campaigns can be heard on local radio stations such as Capital Public Radio

and online through google, Facebook and YouTube advertisements. From 2016-2020, the WEP public outreach campaigns produced:

- Radio Advertising (2016-2020)  
3,443 radio advertisements ran  
17.2 million impressions
- Digital Advertising (Facebook, Google Display Network and Spotify) (2016-2020)  
24.3 million impressions  
262,900 clicks
- Additional advertising (billboards in 2016)  
1.8 million digital advertisements ran  
51.6 million impressions
- Public Service Announcements (Television and Radio) (2016-2020)  
20 million impressions  
\$570,000 in value had they been purchased as advertising

The Program also continues messaging through its own Facebook page. From 2016-2020, the Program created about 60 Facebook posts a year featuring water saving tips and other relevant information. The WEP hosted several Facebook sweepstake contests including: Tree Hugger in 2016, where participants submitted pictures hugging a tree to raise awareness about the importance of healthy trees and the Under/Over Debate in 2020, where participants were asked to weigh in what is the proper way to hang toilet paper to raise awareness of toilet leaks. The winner of the Under/Over Debate sweepstakes received a case of toilet paper delivered via mail and gift card to a local hardware store.

The Program continues to utilize the public outreach website [bewatersmart.info](http://bewatersmart.info) to reach customers throughout the region. The website contains regional and local water provider information on rebates and services, top ways to save, an interactive watering and water waste information map, a water-wise gardening database, recent press releases, the Sacramento Smart Irrigation Scheduler tool, and more. Educational information and customer services were modified to address the COVID pandemic in 2020 including online water efficiency lessons for kids, a list of nurseries that offered curbside pickup, virtual water wise house calls and numerous virtual educational customer workshops. Between 2016 and 2020, the website averaged 96,000 unique visitors per year.

For more targeted outreach, the Program distributed quarterly e-newsletters to participating residents. The e-newsletters are filled with water savings tips, upcoming events, and other interesting articles. They are usually timed around changes in the weather to help signal the need for residents to adjust their irrigation systems, such as day light savings coupled with a message to dial back sprinkler systems. The e-newsletter reaches 6,300 households.

Every year the WEP selects 3 public events to attend for the public to interact with local water efficiency staff. These events provide an opportunity for the region to communicate its messages in person. Events have included the Sacramento Home & Landscape Show at Cal Expo, Creek Week, Harvest Day, Farm-to-Fork Festival, and several Earth Day events. Additionally, RWA, in coordination with participating local water providers, hosts an annual

Mulch Mayhem event in which customers can pick up a truck load of free mulch from selected locations throughout the region. All in-person regional events were canceled in 2020 due to the COVID pandemic.

The Program is also very active in communicating to local media outlets such as the Sacramento Bee. Between 2016 and 2020, RWA issued 50 press releases on WEP activities and regionally significant news and participated in nearly 30 radio public affairs interviews. The RWA and the WEP were mentioned in dozens of news articles published by local and regional media outlets both within and outside of the Sacramento region during the same time frame.

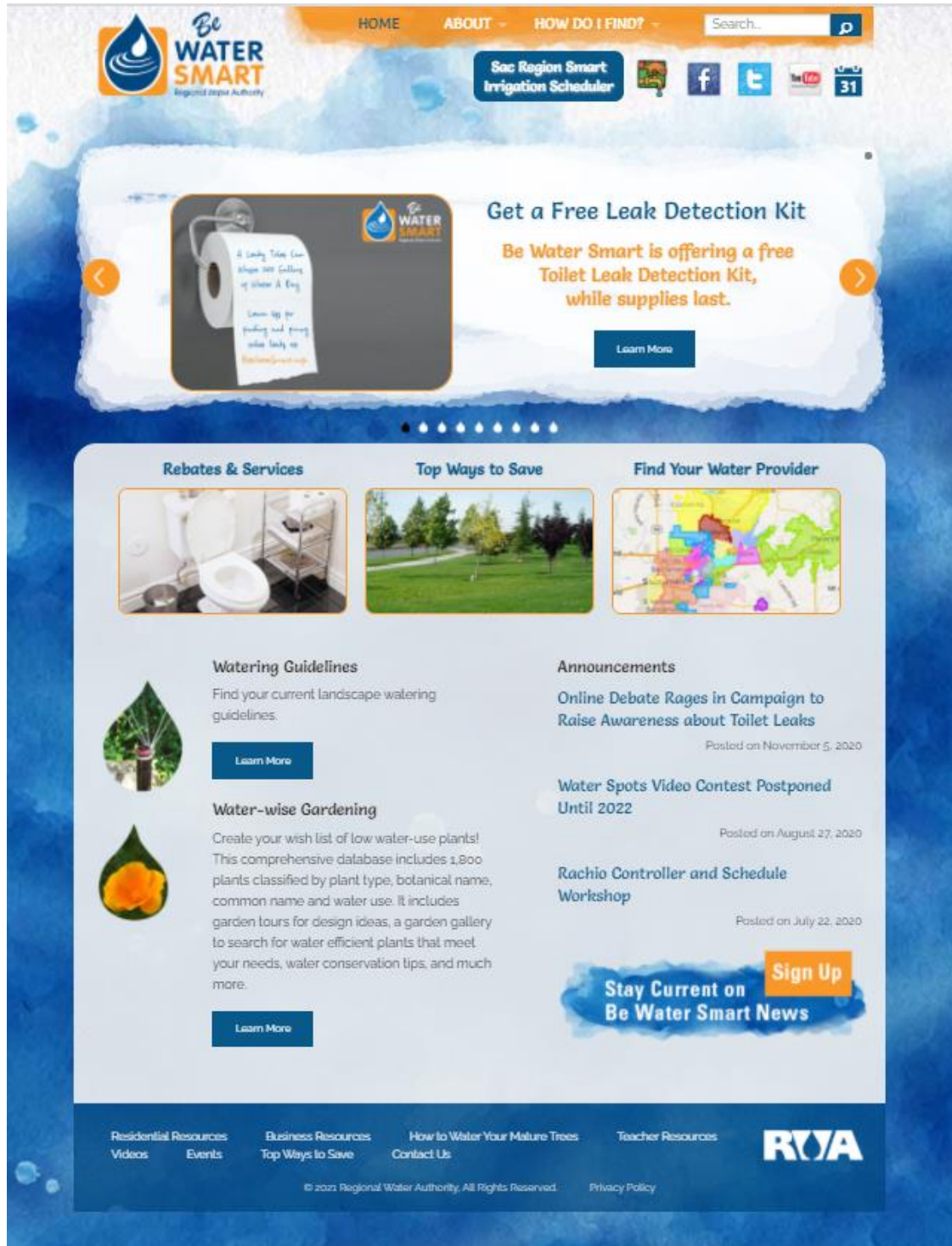
To support public outreach messaging and water savings tips, the Program also coordinated several regional rebate programs, which were partially funded by state and federal grants. A variety of rebate options were provided including toilets, clothes washers, and irrigation efficiencies (full summary in COR Table 9-A). Collectively, these rebates and installations will produce an estimated lifetime (10 years) savings of 6 billion gallons of water and 6.4 million kilowatt hours of energy.

**COR Table 9-A Regional Rebates and Installations from 2016 through 2020.**

Rebate/Installation Type	2016	2017	2018	2019	2020	Lifetime Water Savings per Type 2016-2020 (MG)	Lifetime Energy Savings per Type 2016-2020 (kWh)**
High Efficiency Clothes Washers Rebates	491	480	453	366	518	111.2	118,094
High Efficiency Toilets Rebates	4,494	3,124	2,255	1,868	904	512.3	544,076
Smart Irrigation Controllers Rebates	245	358	801	556	1,298	667.9	709,299
Irrigation Efficiencies Rebates*	21,271	5,879	5,548	1,724	NA	3,786.4	4,021,178
Turf Replacement Rebates (square feet)	376,613	584,535	236,064	85,375	NA	474.6	503,980
Toilet Direct Installation	1,943	4,542	968	NA	NA	237.4	252,066
Showerhead Direct Installation	1,141	2,512	704	NA	NA	222.6	236,447
Faucet Aerators Direct Installation	1,162	4,314	317	NA	NA	18.5	19,648
Urinal Direct Installation	NA	403	73	NA	NA	10.2	10,878
<b>Total Water Savings per year/Lifetime (MG)</b>	285.9	138.2	104.4	42.9	32.8	6,041.1	
<b>Total Energy Savings per year/Lifetime (kWh)**</b>	303,626	146,717	110,915	45,509	34,799		6,415,665
* Includes: pressure regulator equipment, pipe and pipe fittings, drip or low volume equipment, and sprinkler heads or nozzles.							
**Regional average of 1,062 kilowatt hours per MG							
kWh = kilowatt hours							
MG = million gallons							
NA = no funding available							
Lifetime = 10 years							

In addition to public outreach, the Program also coordinates school education activities. Since 2012, the Program has hosted the Water Spots Video Contest for high school and middle school students. The WEP provides a new contest theme each year and provides the region’s teacher and students with relevant facts and images to help develop 30 second video PSAs. Students submit their videos to RWA who hosts a panel of local celebrities including Monica Woods from ABC 10 to decide on a first, second and third place winner. The top 10 scoring videos are then posted online for public voting to select a “people’s choice” winner as well. Both teachers and student receive cash prizes and the winning videos are played at Raley Field during River Cats games and in select movie theaters throughout the region. The winning PSAs are incorporated into the WEP’s media activities as well. Past themes include *WATER MYTHS BUSTED!*, *H2o Hero*, and *Show Off Your Water Smarts*. Between 2016 and

2019, 450 videos were submitted (average of 90 videos a year). The 2020 Water Spots Video Contest was canceled due to the COVID pandemic.



### 9.1.6 Programs to Assess and Manage Distribution System Real Loss

The City maintains a comprehensive water audit and leak-detection program to assess, identify, and repair potable distribution system losses.

In 2009, the City began using AWWA Water Loss software to develop an annual water loss audit. The City continues to employ this method in compliance with Senate Bill 555, validating the annual audit for accuracy prior to submission to DWR each year by the regulatory deadline of October 1. Results from the audit have helped the City identify where in the distribution process leaks are occurring. This information is coupled with detailed pipeline information stored in the City's asset management and GIS system. Audit information helps identify potentially leak prone areas of the City's distribution system for focused rehabilitation or repair projects. The City has recently implemented a proactive auditory leak detection program by City crew members in addition to the audit analyses to identify leaks. Additionally, an independent desktop analysis of potential areas of loss is planned for the coming year. Once these areas are isolated, responses include corrosion monitoring programs, service cathodic protection, relining and/or replacement. The City's asset management software is then updated with identified leaks, which in turn provides more information useful for prioritization of future rehabilitation programs. In 2020, the City began design of a project to rehabilitate 8 miles of water main in the downtown area to improve the function and longevity of the mains, reducing water loss through older pipes in this area of town.

The City also employs a third-party leak detection service on an annual basis to perform focused auditory surveys for leaks, in addition to in-house training and leak detection processes executed by City operations staff throughout their regular maintenance operations. In combination, these measures and projects employed to identify and reduce system leakage offer the City a comprehensive and proactive approach to the reduction of lost water supply.

### 9.1.7 Water Conservation Program Coordination Staffing Support

In addition to the employees mentioned in Section 9.1.1, the City employs other individuals as members of the City's internal water conservation program team. Member qualifications include: Certified Landscape Irrigation Auditor (CLIA) certification, Water Distribution Operator D-2 certification, and extensive irrigation system management experience.

In compliance with DWR's UWMP guidelines, the full contact information for the City's Water Conservation Administrator is listed below:

Bobby Alvarez  
Water Conservation Administrator  
City of Roseville, Environmental Utilities Department  
916-746-1710 (office)  
BALvarez@roseville.ca.us

## 9.2 Other Demand Management Measures

In addition to the six DMMs described above, the City also implements the following programs:

- Residential Water Wise House Calls

- Residential HET Replacement Program
- Residential Irrigation Rebates
- Residential Cash for Grass Rebates
- Commercial Irrigation Water “Budgets”
- Commercial Irrigation Audit
- Commercial Cash for Grass Rebates
- Commercial Custom Rebate
- Commercial Irrigation Improvements Rebates
- Commercial Food Service Water Efficiency Rebates
- Commercial Landscape Water Use Reviews
- Commercial Interior Water Use Audits
- Commercial Water Waste “Night Patrols”
- Commercial HET Replacement Program

These programs are described in Section 9.2.

### 9.2.1 Residential Conservation Programs

The City implements several programs to reduce the consumption of water to its residents. The activities of these various programs are described in the following subsections. Implementation of these programs is expected to help the City achieve its water use targets by reducing the amount of water consumed by its residential customers.

#### 9.2.1.1 Water Wise House Calls

The City provides a free home water use inspection service known as the Water Wise House Call Program. Inspections are conducted by trained water conservation technicians and help identify potential water savings for the customer.

Single-family inspections are approximately one hour in length and consist of an indoor and outdoor evaluation. During the interior portion of the inspection, the technician measures flow rates of existing plumbing fixtures (offering high-efficiency alternatives if necessary), checks all fixtures and appliances for leaks, and provides information on the City’s currently available rebate programs (further described in Sections 9.1.2, 9.1.3, and 9.1.4).

Following the indoor evaluation, the technician then conducts an outdoor inspection. A typical outdoor inspection tests sprinkler system efficiency, distribution uniformity, pool equipment, as well as an evaluation for leaks via pressure test. Following the sprinkler test, soil moisture probes are utilized to optimize irrigation scheduling through adjustment of the residence’s irrigation controller.

Finally, water use information is reviewed, and the customer is provided with suggested corrective actions, information regarding the City’s rebate programs, and educational material on how to further water conservation.

In addition to local advertising, Water Wise House Calls are actively marketed to high water use customers by the City’s Water Efficiency Division. In 2020, modifications were made to this program to adhere to recommended safety procedures in consideration for the global health crisis caused by COVID-19. Adjusted Water Wise House Calls continue to be conducted in a safe manner for both residents and City employees.

### *9.2.1.2 Residential High Efficiency Toilet Replacement Program*

The City first established a HET rebate program in 2008. Residents can receive up to \$100 for replacing an older (pre-1992), non-conserving toilet with a new 1.28 gallon per flush model. Rebates are offered on a first come/first service basis to customers on an annual basis, and the program is advertised regularly on Roseville’s Channel 11, bill inserts, conservation articles, newsletters, and the City’s website. Customers can also obtain an application by request through the mail or at special events and City office public counters.

The City continued this rebate until 2018 when market saturation caused the water savings realized by this program to diminish significantly. This program is currently under reevaluation to determine whether the current terms and conditions bear revision to reinstate the program. Each year new opportunities are explored, and existing rebate programs evaluated for effectiveness as the City works to offer a suite of available opportunities to residents.

### *9.2.1.3 Residential Cash for Grass*

In 2008, Roseville created a turf replacement program titled “Cash for Grass” that provides incentive for customers to replace their turf with water efficient landscaping. Turf is purchased at \$1.00 per square foot up to \$1,000 per residential site. To comply, participants must not only remove their turf but also install a low-volume irrigation system to irrigate their new water efficient landscape.

## **9.2.2 Commercial, Industrial, Institutional Conservation Programs**

The City implements several programs to reduce the consumption of water to its commercial, industrial, and institutional customers. The activities of these various programs are described in the following subsections. Implementation of these programs is expected to help the City achieve its water use targets by reducing the amount of water consumed by its non-residential customers.

### *9.2.2.1 Irrigation Water “Budgets”*

The City has developed water “budgets” for the majority of its dedicated irrigation accounts (including those owned by the City). These budgets were created using the City’s geographical information system (GIS) to determine irrigated landscape area and then field verified for accuracy. The budget reports, produced monthly, show the site’s actual water use compared to the estimated water use based on site demographics. If a site’s water usage is significantly greater than expected, City staff may request the site’s owner complete a site water audit.

### *9.2.2.2 Irrigation Audit*

Similar to Water Wise House Calls, the City provides a free landscape audit service for irrigation customers upon request. Staff evaluates the irrigation system and makes recommendations for improvement. Rebates are available to further incentivize the customer to make improvements to their irrigation systems.

The City will continue to implement this program and will consider expansion based on the past years’ participation.

#### *9.2.2.3 Commercial Cash for Grass*

Similar to the Residential Cash for Grass Program, the City offers rebates to commercial customers for replacing turf with water efficient landscaping. Commercial customers can receive \$2.00 per square foot.

#### *9.2.2.4 Commercial Irrigation Improvement Rebates*

The City offers a suite of rebate opportunities for commercial irrigation customers including for conversion to drip irrigation, high efficiency nozzles, self-adjusting controllers, pressure regulators, as well as installation of irrigation submeters for a total potential rebate value of \$15,000 for those who meet the established criteria for their projects. Applications for these rebates are easily accessed through the City's website with clear outlines of qualifying equipment and labor for ease of submission.

#### *9.2.2.5 Commercial Food Service Water Efficiency Rebates*

The City also offers a series of rebates available to commercial customers in the food service industry, with a "One-Stop Program" through which they can apply for applicable benefits on the purchase and replacement of cooking appliances (steamers and combination ovens), sanitation equipment (dishwashers), as well as refrigeration equipment (ice machines) with improved efficiency.

#### *9.2.2.6 Customized Rebate Program*

In addition to the above rebates, the Customized Rebate Program helps commercial, industrial, and institutional customers save money with financial incentives on capital expenditures for retrofit of existing equipment with more water-efficient technologies. This program applies to hardware upgrades including equipment and technology for space cooling, refrigeration, laundry, cleaning, and flushing. The customized rebate amount is derived by measuring current usage of the process compared to the water usage of the new retrofitted process. Water savings are estimated using the number of days operated per year and the expected life of the equipment (capped at 10 years). Total amount of saved water is rebated at \$0.50 per 100 cubic feet. Rebates will be paid on a first-come, first served basis until program funds are depleted.

#### *9.2.2.7 Commercial Interior Water Use Audit*

The Commercial Interior Water Use Audit assists commercial properties in lowering water, wastewater, and energy costs. A facility review identifies equipment inefficiencies and provides a detailed report of all inefficiencies and corresponding recommendations.

#### *9.2.2.8 Night Patrols*

The City has implemented a Night Patrol program during peak water usage months that helps to identify commercial water waste after normal business hours. Patrols are typically conducted several nights per week.

#### *9.2.2.9 Commercial High Efficiency Toilet Replacement Program*

Similar to the Residential High Efficiency Toilet Replacement Program, commercial customers can receive up to \$175 for replacing an older (pre-1992), non-conserving toilet with a new 1.28 gallon per flush model.

### **9.3 Planned Implementation to Achieve Water Use Targets**

In most instances, helping customers understand the savings that can be achieved and methods available to achieve these savings is enough to motivate change. Through the above DMMs, the City can help customers

identify these savings, which in turn helps the City to achieve its water use targets. Additionally, the City will continue to work with the Parks Department, area school districts, landscape contractors, and property managers to improve water use efficiency.

#### **9.4 Members of the California Urban Water Conservation Council**

In 1991 (amended September 16, 1999), an MOU regarding urban water conservation in California was made that formalizes an agreement between DWR, water utilities, environmental organizations, and other interested groups to implement Best Management Practices (BMPs) and make a cooperative effort to reduce the consumption of California’s water resources. This MOU is administered by the California Water Efficiency Partnership (CalWEP).

In 1991, Roseville became a voluntary signatory of CalWEP’s MOU (formerly the California Urban Water Conservation Council or CUWCC). Since becoming a signatory to the MOU, the City has implemented and promoted its water use efficiency programs to help customers reduce water demand. The City reports to CalWEP on its coverage of the recommended BMPs on a calendar year basis.

The Urban Water Management Planning Act (Water Code Section 10631 (j)) allows for an urban retail water agency that is a signatory member of CalWEP to meet the DMM requirements by documenting that CalWEP has determined the urban water agency is complying (coverage) with all of the provisions of the MOU. Documentation of the City’s compliance is provided in Appendix N.

## Chapter 10 Plan Adoption and Submittal

This chapter provides information regarding the notification, public hearing, and adoption of the plan.

### 10.1 Inclusion of all 2020 Data

Because 2020 is the final compliance year for SB X7-7, the 2020 UWMPs must contain data through the end of 2020. If a water supplier bases its accounting on a fiscal year (July through June) the data must be through the end of the 2020 fiscal year (June 2020). If the water supplier bases its accounting on a calendar year, the data must be through the end of the 2020 calendar year (December 2020).

As indicated in Chapter 1, the City uses a calendar year for the water supply and demand accounting, and therefore this 2020 UWMP includes data through December 2020.

### 10.2 Notice of Public Hearing

The City provided 60-day notice of the preparation of its 2020 UWMP, and the notice of the 2020 UWMP Public Hearing to the cities and counties listed in DWR Table 10-1.

**DWR Table 10-1**

Submittal Table 10-1 Retail: Notification to Cities and Counties		
City Name	60 Day Notice	Notice of Public Hearing
City of Roseville	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
County Name	60 Day Notice	Notice of Public Hearing
Placer County	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Other agencies notified included the following:

- California American Water
- Citrus Heights Water District
- Placer County Water Agency
- Regional Water Authority
- San Juan Water District
- Sacramento Municipal Utilities District
- Sacramento Suburban Water District
- US Bureau of Reclamation

Public hearing notifications for adopting the Plan were published in the local newspaper (Roseville Press Tribune) and on the City’s website. A copy of the published Notice of Public Hearing is included in Appendix B.

### 10.3 Public Hearing and Adoption

The City has encouraged community and public interest involvement in the Plan update through the use of public meetings and web-based communication. Copies of the City's outreach efforts are included in Appendix B.

On June 16, 2021, public hearings for the Urban Water Management Plan and Water Shortage Contingency Plan were held. The public hearings provided an opportunity for all City water users and the public to become familiar with the Urban Water Management Plan and Water Shortage Contingency Plan and to ask questions about the plan's contents. In addition, the hearings presented an opportunity for the public to learn about or comment on the City's continuing plans for providing a reliable, safe, high-quality water supply. Copies of the draft Urban Water Management Plan and Water Shortage Contingency Plan were made available for public inspection on the City's website in advance of the public hearings.

Following the public hearings, adoption hearings for the Urban Water Management Plan and Water Shortage Contingency Plan were held on June 16, 2021 and were each adopted by City Council in separate resolutions. A copy of the adoption resolution for the 2020 Urban Water Management Plan is provided in Appendix O.

The adopted Water Shortage Contingency Plan is included as Appendix K of this Urban Water Management Plan and a copy of the adoption resolution is provided in Exhibit C of the Water Shortage Contingency Plan.

### 10.4 Plan Submittal

A copy of the 2020 UWMP will be submitted to DWR within 30 days of adoption and by July 1, 2021. The adopted UWMP will be submitted electronically to DWR using the WUEdata submittal tool. A CD or hardcopy of the adopted 2020 UWMP will also be submitted to the California State Library.

No later than 30 days after adoption, a copy of the adopted 2020 UWMP, including the Water Shortage Contingency Plan, will be provided to the cities and counties to which the City provides water.

### 10.5 Public Availability

No later than 30 days after submittal to DWR, copies of this 2020 UWMP will be available for public review at the City's public offices. An electronic copy of this Plan will also be available for review and download on the City's website: [www.roseville.ca.us/UWMP](http://www.roseville.ca.us/UWMP).

### 10.6 Public Implementation

This Plan will be the source document for any Senate Bill 610 Water Supply Assessment or Senate Bill 221 Water Supply Verifications required for any proposed projects between 2021 and 2025 that are subject to the California Environmental Quality Act (CEQA) and would demand an amount of water equivalent or greater than the amount of water by a 500-dwelling unit project. This Plan will also be the source document for water demand projections and water supply availability. Lastly, this Plan will provide guidance and direction on development of new local supplies and implementation of water conservation programs and recycled water expansion to meet the requirements of the Water Conservation Act.

### **10.7 Amending an Adopted UWMP**

If the City amends its 2020 UWMP or the Water Shortage Contingency Plan contained therein, copies of amendments or changes to the plans will be submitted to DWR, the California State Library, and any city or county within which the supplier provides water supplies within 30 days after adoption.

### **10.8 California Water Code Requirements**

Demonstration of compliance with all applicable requirements of the California Water Code pertaining to Urban Water Management Plan and Water Shortage Contingency Plan is provided in Appendix P. Appendix P was developed based on the UWMP Checklist provided in the Guidebook and is organized by subject.

# X HOUSING ELEMENT



RESOLUTION NO. 21-369

ADOPTING THE 2021 HOUSING ELEMENT COVERING THE PERIOD FROM 2021 TO 2029

WHEREAS, in March 2020 the Sacramento Area Council of Governments adopted the Regional Housing Needs Plan (RHNP); and

WHEREAS, the RHNP included the Regional Housing Needs Allocation (RHNA) for each member jurisdiction, allocating the City of Roseville 12,066 total units, of which 6,178 were lower income; and

WHEREAS, the City was required to update the 2013 Housing Element to demonstrate adequate capacity for the City's RHNA, as well as update the data, analysis, and content of the General Plan Housing Element to reflect current information and current Housing Law; and

WHEREAS, the City conducted extensive public outreach to receive feedback on the Housing Element update, including workshops in October 2020, publication of a Preliminary Draft in December 2020, publication of a Second Draft in June 2021, publication of an Adoption Draft in July 2021, and publication of a Final Draft in August 2021; and

WHEREAS, the updated 2021 Housing Element is responsive to both public comments and comments from the California Department of Housing and Community Development; and

WHEREAS, the Planning Commission held a public hearing on the proposed 2021 Housing Element on July 22, 2021; and

WHEREAS, on August 18, 2021, the City Council held a public hearing at which time the proposed 2021 Housing Element was considered; and

WHEREAS, the Council of the City of Roseville desires to approve said 2021 Housing Element as conducive to public interest, health, safety and welfare, and consistent with the land use practices of the City and with state law.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the 2021 Housing Element (attached as Exhibit A) is hereby adopted.

BE IT FURTHER RESOLVED, that the Development Services Director is hereby directed to retain said 2021 Housing Element on permanent public display in the Development Services Department of the City of Roseville and is authorized to make typographical or other non-content corrections without further Council approval.

PASSED AND ADOPTED by the Council of the City of Roseville this 18<sup>th</sup> day of August, 2021, by the following vote on roll call:

AYES COUNCILMEMBERS: Houdesheldt, Roccucci, Mendonsa, Bernasconi

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Alvord



MAYOR

ATTEST:



City Clerk



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## HOUSING



## INTRODUCTION

In California, cities and counties are required to adequately plan for existing and future housing needs. This plan is the Housing Element, a component of the General Plan that includes analyses of barriers to housing production and strategies for producing the needed housing. This Housing Element covers the period from 2021–2029. The Housing Element includes the following major sections:

- **Introduction:** This section analyzes the purpose and relationship to other elements, and data sources.
- **Public Participation:** This section includes the outreach efforts taken by the City to engage all segments of the community throughout the Housing Element update process. More details on public outreach, including materials posted, letters received, and how comments were incorporated into the Housing Element can be found in Appendix H.
- **Housing Plan:** This section identifies housing goals, policies, and objectives for the 2021 Housing Element. Funding sources are identified and schedules for implementation are set forth. In addition, a quantified objectives summary is provided.



- **Housing Needs Assessment:** This section includes an analysis of the city's demographic profile, housing characteristics, and existing and future housing needs.
- **Housing Resources:** This section includes a discussion of the City's Regional Housing Needs Allocation (RHNA), inventory/land availability, opportunities for energy efficiency and conservation, and financial resources.
- **Housing Constraints:** This section identifies potential governmental and non-governmental constraints, such as land use controls, fees and exactions, permit processing, land and construction costs, availability of financing, and equitable access to housing.
- **Glossary:** This provides an easy reference to explain terms used in the Housing Element.
- **Appendices:** Supporting technical materials and details are found within the appendices below.

#### **Appendix A – Review of the Previous Housing Element**

#### **Appendix B – Regional Analysis of Impediments (Fair Housing)**

#### **Appendix C – Detailed Sites Inventory**

#### **Appendix D – Maps of Sites Inventory**

#### **Appendix E – Rezone Program**

#### **Appendix F – Accessory Dwelling Unit Affordability Study**

#### **Appendix G – Homeless Resources**

#### **Appendix H – Public Outreach**

## PURPOSE

The United States is facing increasing housing issues of housing insecurity as a result of many issues, including insufficient housing, rising housing costs, and rising proportions of cost burdened households (those paying more than 30% of their income on housing). Nationwide, nearly a third of households are cost burdened according to American Community Survey data (2014–2018), while in California nearly 40% of households are cost burdened. While there are many factors contributing to the housing crisis which are not within local government control, local land use regulations, housing plans, and other government constraints can have a significant influence on housing outcomes. This is why a Housing Element is an essential part of a successful and healthy community, because it requires local governments to review their progress on the production of housing, identify the housing needs particular to their community, identify areas for improvement, and establish a future housing plan that will help provide access to affordable housing for all sectors of the community.

The purpose of the Housing Element is to identify and analyze existing and projected housing needs in an effort to preserve, improve, and develop housing for all economic segments of the community. The Roseville Housing Element is an eight-year proactive document, comprising guidelines for the long-term development of housing in the city.

In accordance with Government Code Section 65583, the Housing Element for Roseville includes technical data from the 2010<sup>1</sup> Census and 2014–2018 American Community Survey (e.g., population, housing, growth rates, and income levels), an evaluation of existing policies and implementation measures, and a description of new programs designed to effectively implement the Housing Element.

<sup>1</sup> This Housing Element is being prepared in fall/winter 2020/2021. Updated 2020 census data will not be available until spring 2021, and therefore was not available for use in this Housing Element.

The overall components of the Housing Element reinforce the City's dedication to provide current and future residents a range of purchase and rental units affordable to all income groups. The City will meet housing affordability goals with policies, programs, and implementation measures detailed in this Element. The City, along with all segments of the community, including the development, business, and manufacturing sectors, will work together to ensure the success of affordable housing programs.

The City of Roseville adopted a 10% Affordable Housing Goal in 1988. The 10% Affordable Housing Goal has been retained and implemented through the General Plan (as amended) and several Housing Element updates. Since its adoption 30 years ago, the 10% Affordable Housing Goal has proven to be an effective tool in the production of affordable housing. The 10% Affordable Housing Goal is not meant as a maximum goal to the development of affordable housing. In fact, the 10% goal does not ensure that Roseville meets its new RHNA allocation for the low- and very low income units for the 2021–2029 planning period.

The City's Affordable Housing Goal is not intended to be used as an inclusionary zoning program, whereby the property owner would be required to shoulder the entire responsibility of producing the affordable housing on a project-by-project basis. The intent of the 10% Affordable Housing Goal is to ensure City and developer willingness to actively work together to develop housing affordable to households of very low, low, and middle income as new Specific Plan areas in the City are planned. The City's experience has proven that incorporating the 10% Affordable Housing Goal as a long-term policy within the framework of the Housing Element provides the legal and social motivation for the City and developers to work together to designate, finance, and produce affordable housing units. However, the City will consider alternatives to achieving affordable housing within newly annexed areas, should conditions or legislation require the City to alter its approach to affordable housing.

Some of the base assumptions used in the element include:

- Future housing needs were derived from projections provided by the Regional Housing Needs Plan (RHNP), which was adopted by the Sacramento Area Council of Governments (SACOG) in March 2020. The California Government Code requires cities to use the growth rate projections contained in the RHNP.
- The City has established a 10% Affordable Housing Goal, which is based on existing and projected financial feasibility for housing projects.
- The provision of units for new households will not alter the need to maintain a 5% or less vacancy rate for both owner-occupied and rental units.
- The wage level associated with a majority of jobs created during the next eight years will not permit the purchase of a typical single-family detached unit in Roseville, unless a second wage earner contributes to total household income.
- There is a regional goal to continue to reduce commute traffic within the region by providing adequate housing in proximity to jobs, achieved, in part, by matching housing affordability to wage levels.
- Of current Roseville residents, very low- and low-income renters allocating in excess of 30% of their income for rent have a current unmet housing need.
- The City's 10% Affordable Housing Goal will be used to provide rental housing affordable to very low-and low-income households and purchase housing affordable to low-and moderate-income homebuyers.
- The State of California prefers to combine middle- and moderate-income levels into the moderate-income category. The City of Roseville considers 80% to 120% of median income too broad a range when dealing with housing affordability and has chosen to keep the two income levels separate. For purposes of clarification, the City of Roseville identifies middle-income households as having 80% to 100% of median income.
- The success of the Housing Element in attaining its goal of ensuring housing for all economic segments of the community will be measured through its ability to:



- Promote equal and fair housing opportunities for all individuals;
- Foster and maintain affordable housing for city residents;
- Promote public-private cooperation in the provision of affordable housing;
- Minimize governmental and non-governmental constraints to housing production;
- Incorporate energy efficiency and conservation into residential development;
- Continue housing monitoring programs.

The components of the Housing Element serve to reinforce the following overall principles:

- Roseville will work to accommodate the housing needs of its current and future residents by providing a range of purchase and rental housing affordable to all income groups.
- The City will strive to guarantee housing affordability over time through the adoption of policies and implementation measures as detailed in this Housing Element.
- The City's policy to provide affordable housing for all income groups is a social objective, and as such, it is the responsibility of all segments of the community to actively work together to achieve the goal. The City of Roseville, its development community, and its business/manufacturing community should work together to ensure the success of an affordable housing program.
- The City will take meaningful actions that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity.

## Summary of Population and Housing Characteristics

- **Population** – According to the California Department of Finance, the population total for the City of Roseville was 145,163 people in 2020.
- **Persons per Household** – According to the 2014–2018 American Community Survey (ACS), the citywide person-per-household average was 2.68.
- **Number of Households** – According to the 2014–2018 ACS, the number of households in the city was 49,204.
- **Household Income** – According to the California Department of Housing and Community Development (HCD), the area median income (AMI) for a family of four in Placer County in 2020 was \$80,100.
- **Employment** – According to the 2014–2018 ACS, approximately 63,060 Roseville residents 16 years and over are employed.
- **Regional Fair Share Allocation** – Roseville's fair share of the region's housing needs is 12,066 units, broken down into four income groups as follows:
 

Very Low income:	3,854 (32%)	Low Income:	2,323 (19%)
Moderate Income:	1,746 (15%)	Above Moderate Income:	4,142 (34%)
- **Residential Units** – According to the 2014–2018 ACS, there were 54,621 housing units in Roseville.
- **Owner-Occupied Households** – According to 2014–2018 ACS, 32,080 (65.2%) of the households were owner-occupied.
- **Renter-Occupied Households** – According to 2014–2018 ACS, 17,124 (34.8%) of households were renter-occupied.

- **Housing Vacancy Rates** – According to the 2014–2018 ACS, Roseville had a rental vacancy rate of 6.6% and an ownership vacancy rate of 0.9%.
- **Housing Stock by Unit Type** – According to the 2014–2018 American Community Survey, 76.4% of the city's housing stock was made up of single-family homes, 22.9% was multi-family units, and the remaining 0.7% was mobile homes.
- **Median Purchase Price** – According to realtor.com, the median sales price for homes in Roseville for the period from July 2020 to September 2020 was \$507,000. This figure represents an increase of 4.2%, or \$20,500, compared to the prior quarter and an increase of 8.2% compared to the prior year.
- **Rental Prices** – According to Forrent.com, in March 2021, one-bedroom apartments were renting for \$744 to \$2,790, two-bedroom apartments were renting for \$888 to \$4,840, and three-bedroom apartments were renting for \$1,975 to \$5,000, and meanwhile two-bedroom houses were renting for \$1,375 to \$1,925 and three-bedroom houses were renting for \$2,195 to \$2,495.

## Data Sources

The most current and relevant data sources were used in the preparation of the 2021 Housing Element. The information in this document draws on a broad range of informational sources. Information on population, housing stock, and economics comes primarily from the 2014–2018 American Community Survey, the 2013–2017 Comprehensive Housing Affordability Strategy (CHAS) data, the California Department of Finance, Sacramento Area Council of Governments (SACOG) publications, and City documents. Information on available sites and services for housing comes from numerous public agencies. The 2020 Census results were not available during document preparation. Information on constraints on housing production and past and current housing efforts in Roseville comes from City staff, other public agencies, and some private sources.

## General Plan Consistency

State law requires that “the general plan and elements and parts thereof comprise an integrated, internally consistent, and compatible statement of policies.” The purpose of requiring internal consistency is to avoid policy conflict and provide a clear policy guide for the future maintenance, improvement, and development of housing within the city. An update to the City's 2035 General Plan was approved in 2020. The purpose of the update was to incorporate updates based on the California Office of Preservation and Research 2017 update of the General Plan Guidelines, revise outdated information, clarify policy language, and make the General Plan more readable and user-friendly. More specifically, the Open Space and Conservation Element, Circulation Element, Safety Element, Land Use Element, and Noise Element were all updated to reflect changes in state law, such as the need to address travel demand management (vehicle miles traveled), environmental justice, tribal consultation, multi-hazard mitigation, and to urbanize the City's noise standards. All elements of the Roseville General Plan have been reviewed for consistency in coordination with the update to the Housing Element and were found to be consistent with the other elements of the Roseville 2035 General Plan. All Specific Plan Amendments are accompanied by a General Plan Amendment, which ensures General Plan consistency is maintained on an ongoing basis throughout the Housing Element cycle.

## Public Participation

State law requires a diligent effort be made to achieve public participation during the update of the Housing Element. Public participation assists the City with identifying and analyzing existing and projected housing needs in order to achieve the City's goal to preserve, improve, and develop housing for all income segments of the community.

It is important to note that the City of Roseville's effort to encourage community participation in development of its housing policies and programs is an ongoing process.

Public outreach efforts in conjunction with the Housing Element update are described below. Public outreach strategies for the Housing Element focused on digital options due to COVID-19. All of the City's outreach materials,



letters received, and a description of changes made to the Housing Element in response to comments are included as part of Appendix H. While the City experienced good levels of participation as part of initial outreach, Flash Vote, and during workshops, staff had concerns that all-virtual outreach might not be reaching lower income households or the Spanish-speaking community. To address this, staff specifically engaged in one-on-one interviews with stakeholders and community-based organizations which serve people experiencing homelessness, lower income households, and the Spanish-speaking community.

## INITIAL OUTREACH

After presenting the Housing Element update as a publically-noticed informational item at the July 15, 2020 City Council meeting (virtual), staff began preparing for broader community outreach. A comprehensive website with both summary information and detailed information was launched in August 2020, and announcements about the website and the initiation of the project were published through NextDoor, Facebook, Twitter, an article in Roseville Today and in Business Matters, and via e-mail to the City's listserve. These announcements prominently featured an encouragement to sign up for future notification and outreach events, which resulted in over 100 sign-ups within the first week.

## FLASHVOTE

The City distributed two Flash Vote surveys, with approximately 1,000 local respondents participating. On September 23, 2020 the City distributed a Flash Vote survey to receive initial feedback on housing types and outreach needs. The survey results suggest that respondents are somewhat evenly split between wanting smaller homes and larger homes; most want a mid-size yard or larger; and the cost of the home, size of the home, and distance to shopping/services are significant determining factors in choosing a home location. Only about a quarter of respondents indicated they understood the City's development process or how affordable housing gets constructed. As a result of this feedback the City devoted significant time to a discussion of processes and affordable housing at the City's first public workshop held on October 20, 2020 (see the Public Meetings and Hearing section, below).

A second Flash Vote survey on housing needs and concerns was distributed on October 20, 2020. When asked what type of housing the City needed most, over half chose single-family, but between 30 to 40 percent of respondents chose townhomes, senior housing, and multi-generational housing. These results speak to the need to provide flexible housing and age-in-place housing options. When asked about future growth concerns, people were most concerned about traffic, public safety, and the natural environment.

## INTERVIEWS AND STAKEHOLDER OUTREACH

Outreach was targeted to community-based organizations serving lower-income residents and special needs groups, service providers, and affordable housing developers. Groups and service providers contacted for individual interviews included The Gathering Inn, Volunteers of America, AMI Housing, Meta Housing, Mercy Housing, Placer County Whole Person Care, and the Latino Leadership Council. This included soliciting and receiving oral comments on the December partial draft. City staff also discussed the project and took comments and other feedback at the November 18, 2020 meeting of the North State Building Industry Association and at the November 19, 2020 meeting of the Roseville Coalition of Neighborhood Associations. Key discussion topics received from various topics included:

- Ensuring the housing allocation and rezone program effects are distributed equitably through the community
- Helping low income households build financial equity by increasing access to affordable purchase programs
- Removal of barriers to accessing services and programs, such as poor credit or unavailable personal documentation
- Improving and strengthening the connections between the City's social services unit and community-based organizations
- Increasing trust within vulnerable and disenfranchised sectors of the community
- Providing more one-bedroom housing options as a means of providing more housing for seniors and people with extremely low income

- Supporting more housing for very low and extremely low income populations
- Ensuring that investment of affordable housing within high opportunity areas does not result in disinvestment within other areas of the City

In addition, many service providers and affordable housing developers commended the City of Roseville, indicating that staff were engaged, proactive, and supportive of affordable housing and housing services.

## PUBLIC MEETINGS AND HEARINGS

The City of Roseville held a virtual workshop on October 20, 2020 to provide information on the project, the City's development processes, and affordable housing, and to take questions. Subsequently, the City held two virtual community meetings to receive comments and input on Housing Element development, one on October 27, 2020 at 6 p.m. and a second on October 29, 2020 at noon. Notice of these meetings was provided on the Housing Element website, in an e-mail to the City's listserve, and in Citywide communications. The purpose of the community meetings was to solicit public input and encourage public participation in the Housing Element update. Two meeting times were offered, one meeting during the daytime and one in the evening, in order to allow as many as possible from the community to attend the meetings. Each meeting was attended by City Planning staff and City Housing staff, including the Housing Manager. The evening community meeting was attended by seven people, including representatives from House Sacramento, Placer YIMBY, and representatives from local churches and the daytime meeting was attended by five people, including a representative from Placer Independent Resource Services (a non-profit providing advocacy and support for people with disabilities).

Attendees were very engaged and were very supportive of efforts to provide more housing, and more affordable housing. Each meeting group raised many questions and points of discussion on topics ranging from accessory dwelling units to accessibility. Key discussion topics included:

- Prioritizing infill development, particularly in commercial corridors, paired with discussions on how to promote conditions that result in "naturally occurring affordable housing."
- Policies or programs which could result in more medium density housing, such as bungalows and duplexes.
- The role of accessory dwelling units in affordable housing.
- Policies and/or programs which could result in more housing accessible to people with disabilities.
- Affordable housing for seniors and age-in-place development.
- Opportunities for non-profits and places of worship to help meet the region's housing needs.
- Funding and grant opportunities for affordable housing construction and purchase.

A partial preliminary draft of the Housing Element was published on December 18, 2020 and made available for review on the City's Housing Element Update website. The partial draft included the main body of the Housing Element but excluded appendices and the City's inventory; this first level of public review was focused on background, data, the fair housing discussion, and policies/programs. The City published a notice to the City's interested person listserve, Twitter, NextDoor, and Facebook to advertise the availability of the preliminary draft. The notice included a description of the changes which had been made to the Housing Element and, in addition to the standard request for review and comment, specifically asked reviewers to consider key questions in their responses, including: whether they had difficulty finding information and whether there was additional information the document should include. The City received written responses from the Sacramento Housing Alliance and three members of the community, and also received oral comments (see prior section) from community-based organizations.

Written comments covered a wide variety of issues, but areas of focus included jobs-housing, such as living wages, impact fees for commercial development, and housing in proximity to jobs; the addition of "equity earning" housing options for lower income households (i.e. for purchase housing); various recommendations to improve clarity, such as



adding a glossary, additional maps, and more explanatory text; various recommendations to add data to supplement the text; recommendations to improve the housing preservation analysis; and fair housing programs.

A second draft of the Housing Element was released on May 26, 2021 and made available for review on the City's Housing Element Update website. The second draft included an appendix with all comments received on the December draft, as well as a summary of the comments and the revisions the City made in response. A revised second draft Housing Element was released on June 1, 2021 and made available for review on the City's Housing Element Update website, with responses requested by July 1, 2021. The revised second draft included revisions made in response to preliminary feedback from HCD along with a descriptions of those revisions. Notice of both the second draft and revised second draft was sent to the City's interested person listserve, Twitter, NextDoor, Facebook, and in City news releases. Reminder notices were distributed to the listserve and posted to social media on June 21, 2021.

The City received written responses from HCD and a member of the community, and received oral comments from the Sacramento Housing Alliance. Comments covered a variety of topics, but included requests for additional analysis of fair housing as it pertains to transportation, environmental quality, homelessness, farmworkers, and housing conditions; realistic capacity of commercial mixed use sites; realistic capacity of nonvacant sites; and large households. Various program modifications were also requested, including adding a fair housing focus to multiple programs, adding more details and commitments in the large sites program, changing the requirements for community care homes, adding extremely low income program commitments, adding data on affordable housing production, indicating when the residential capacity monitoring program would be in place, and an estimate of the number of people who would be assisted by the Homeless Prevention and Rapid Rehousing Program.

A third, adoption draft of the Housing Element was released on July 9, 2021. The City held a public hearing before the City's Planning Commission on July 22, 2021 to review and receive public comment on the adoption draft Housing Element and to receive the recommendation of the Planning Commission. The City received written correspondence from 25 residents and from the Sacramento Housing Alliance, but received no oral comments at the hearing. After discussion, the Planning Commission unanimously recommended City Council approve the Housing Element. The final draft Housing Element was published on August 6, 2021. City Council held the adoption hearing on August 18, 2021, where the 2021 Housing Element was approved.

## HOUSING PLAN

The City's programs listed in the Housing Element are organized to include program text, a timeline, objectives, the implementing agency, and funding sources for the program. Program timelines are generally stated as "ongoing," on a set time period (e.g. annually), and/or by a specific date (e.g. 2024). Programs with a timeframe of "ongoing" are existing programs where continuous implementation is ongoing. Programs which are new and must be implemented or which are only effective at certain times (such as annual applications for funds) include a specific date as the timeframe, and this represents the time by which the program will be effectuated or carried out. In addition to these timeframes, programs also include a set time period (monthly, annually, etc). The set time period reflects reporting rather than implementation, and indicates how frequently program results will be tracked or reported. For example, a program with a timeframe of "Ongoing, and at least annually" is an existing program being continuously implemented, with the results of implementation reported annually.

Program objectives indicate the metrics which will be used to determine program success, and are quantified wherever possible. The implementing agency indicates which agencies, departments, or divisions are responsible for carrying out the program. The funding source indicates the sources of funding for program implementation.

### Citywide Housing Goals

The City of Roseville has the following citywide goals.

## CITYWIDE HOUSING

- Goal H1.1** Provide decent, safe, inclusive, and affordable housing in sufficient quantities for all economic segments of the community.
- Goal H1.2** Ensure that all segments of the Roseville community actively work together to provide affordable housing.
- Goal H1.3** Preserve affordability, maintain, and improve Roseville’s supply of affordable housing stock.
- Goal H1.4** Increase the opportunity for low- and middle-income households to become homeowners, thereby freeing up rental housing for other low-income households.
- Goal H1.5** Reduce the overall incidence of homelessness among Roseville individuals and families through regional coordinated and comprehensive housing and supportive services.

The following goals, policies, and programs are divided into five sections:

- Affordable Housing
- Residential Land Inventory
- Equitable and Inclusive Housing Choice
- Government and Non-Governmental Constraints to Housing Production
- Residential Energy Efficiency and Conservation

## Affordable Housing Goals and Policies

### AFFORDABLE HOUSING

- Goal H2.1** Work with the development and business communities to provide affordable rental and homeownership opportunities for extremely low-, very low-, low-, and middle-income households.
- Goal H2.2** Strive to ensure the affordability of Roseville’s housing supply over time.
- Goal H2.3** Maximize efforts to meet affordable housing needs by requiring 10% of new housing units be affordable to extremely low-, very low-, low-, and middle-income households.
- Goal H2.4** Integrate the community in terms of income levels to avoid overconcentration of lower-income households.
- Goal H2.5** Encourage the production of rental and owner-occupied high-density, multi-family housing units.



- Policy H2.1** *The City shall pursue programs that can provide a range of purchase and rental units affordable to all income categories.*
- Policy H2.2** *Efforts to develop affordable units will be focused on multi-family rental units, with an emphasis on units affordable to the lowest income categories.*
- Policy H2.3** *Multi-family rental units provide the most cost efficient way to provide affordable housing opportunities to extremely low-, very low-, and low-income households.*
- Policy H2.4** *The 10% Affordable Housing Goal shall apply consistent with General Plan Land Use Element Policy LU5.5, which requires 10% of all new housing units to cost no more than 30% of the total monthly income of very low-, low-income, and moderate-income households. The Policy further requires the breakdown of the affordable units will be, at a minimum, 40% for rental to very low- and 40% for rental to low-income households. The remaining 20% may be reserved for moderate-income purchase (which will be priced to be affordable to households earning 95% of the Area Median Income) or may be distributed equally among the rental obligations.*
- Policy H2.5** *The City shall strive to maintain an overall vacancy rate of 5% for both owner and rental housing units.*
- Policy H2.6** *The City shall continue to pursue potential federal, state, and local subsidies for construction of new affordable housing as well as the continued availability of existing affordable housing.*
- Policy H2.7** *The City shall provide direct financial assistance in support of local affordable housing activities when feasible.*
- Policy H2.8** *The City shall encourage the Roseville business and development communities to participate in a community affordable housing goal.*
- Policy H2.9** *Encourage construction of affordable housing units to be intermixed with market-rate units..*
- Policy H2.10** *Encourage developers to incorporate accessory dwelling units, cohousing, and other flexible housing options into their projects.*
- Policy H2.11** *Promote efficient and cost-effective development types, such as mixed-use projects, small-lot subdivisions and other medium density housing such as duplexes and townhomes, as a means of achieving housing affordability and carrying out the provisions of the Land Use Element.*
- Policy H2.12** *The City shall work to preserve the affordability of assisted units.*

## Implementation Measures/Programs

### 1. FEDERAL AND STATE PROGRAMS

The City shall pursue and continue to participate in the following federal and state programs:

#### Housing Choice Vouchers (Federal)

The Housing Choice Voucher (HCV) Program is administered by the Roseville Housing Authority (RHA) and provides rental assistance to extremely and very low-income households through direct payments to the property owner. The Housing Authority currently has 785 vouchers which includes separate vouchers for the following special needs groups:

- 75 vouchers for households with a head-of-household or spouse that are non-elderly and disabled (NED)

- 65 vouchers for veteran households that come by referral from the Veterans Affairs Department (VASH)
- 33 vouchers that assist households who have a non-elderly adult with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless (Mainstream – new program in 2018)
- 30 vouchers that are attached to specific units at the Main Street Plaza affordable project (Project Based Vouchers – new program in 2020). Of the 30 PBV vouchers:
  - 1 is a regular HCV voucher
  - 10 are regular vouchers layered with Placer County Mental Health Services Act funding, 3 of which much come from homelessness
  - 19 are VASH vouchers
- 50 new Emergency Housing Vouchers for those who are homeless or at risk of homelessness, fleeing or attempting to flee domestic violence, dating violence, sexual assault, stalking, or human trafficking, recently homeless, or having high risk of housing instability (new program in 2021)

All of the HCV programs listed above support Roseville households that are extremely low-income. The Housing Choice Voucher Rental Assistance Program requires that 75% of new households admitted to the program each year fall under the extremely low-income category. Between 2013 and 2020, RHA issued 525 vouchers to new households. Over the last 8 years, RHA has assisted 49 extremely low-income households per year, at the minimum. The HCV rental assistance program is promoted on the City's website, through program brochures and through service providers throughout the region.

#### Community Development Block Grant (Federal)

The City is an entitlement jurisdiction for Community Development Block Grant (CDBG) funds and sets aside a portion of its annual allocation of CDBG funds for the following housing activities:

- **Owner Occupied Housing Rehabilitation Program**  
The City began the Owner Occupied Housing Rehabilitation Program in 1980. The program is considered a key component in the City's affordable housing strategy as a means of preserving Roseville's housing stock affordable to lower-income households. The program, targeted to low-income homeowners, offers grants to elderly and disabled homeowners and deferred loans to all low-income households for health and safety repairs and energy efficient upgrades. Deferred loans become due and payable upon sale, change of title, change of use or 30 years. Any program income received as a result of a loan payoff is used to fund new loans and grants. The Housing Rehabilitation Program is promoted on the City's website and through the use of program brochures. Implementation of this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions.

#### Home Investment Partnership Program (HOME) (State)

The City began its participation in the State-administered HOME Program in 1994 for the creation and maintenance of affordable housing. The City utilizes HOME funds for the following programs:

- **Housing Rehabilitation Program**  
The CDBG funds are leveraged with HOME funds to provide loans and CDBG grants to low-income homeowners. The Housing Rehabilitation Program is described above. Implementation of this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions.



- **First Time Home Buyer (FTHB) – Down Payment Assistance (DAP) Program**  
The City sets aside a portion of its HOME grant for down payment assistance in the form of deferred, shared appreciation loans (second mortgages). The FTHB-DAP Program is targeted to low-income households. The homebuyer must qualify under the City's definition of a first-time home buyer, be able to provide at least a 1% down payment, and have attended a Home Buyer's Seminar. The buyer must also comply with the City's criteria with regard to home selection. Outreach for this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions and where there is a higher proportion of communities of color.
- **Multi-Family New Construction**  
The City also pursues HOME funds for construction of multi-family affordable units. HOME funds are leveraged with other funding sources such as Section 202 funds, Low Income Housing Tax Credits, Tax Exempt Housing Bonds, etc., to provide affordable rental housing targeted to extremely low- and very low-income households. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive funds.

*(Policies H2.1, H2.2, H2.5, H2.6)*

**Time Frame:** Annual Applications, 2021–2029

**Objectives:** To support low income households that need assistance in order to stay housed by issuing a minimum of 65 Housing Choice Vouchers per year, 49 of them to extremely low income households, and assisting 6 low income homeowners per year.

**Implementing Agency:** Housing Division and Roseville Housing Authority

**Funding Source:** HUD, HOME, CDBG

## 2. DENSITY BONUS PROGRAM

The City shall continue to implement its Density Bonus Program to help promote and create affordable housing units. The program provides a property owner the ability to construct more income-producing units within the project that can offset the cost of providing affordable units. The Density Bonus Program is promoted on the City's website, and information is available at the City's Permit Center. The City's Housing Division staff also actively promotes the Density Bonus Program in conjunction with implementation of the 10% Affordable Housing Program.

The City's Density Bonus Program is consistent with State Government Code Section 65915–65918. The Density Bonus Program provides for a minimum 20% to a maximum 50% density bonus in the maximum number of dwelling units, in addition to incentives and/or concessions. The concessions and/or incentives may include reduction in zoning standards, development standards, design requirements, mixed-use zoning, financial assistance, or any other incentive that would reduce costs of the developer.

A developer may qualify for a density bonus and additional incentives and/or concessions if the developer agrees to construct and maintain a minimum of one or more of the following:

- Five percent (5%) of the units affordable to very low-income households
- Ten percent (10%) of the units affordable to lower-income households
- Ten percent (10%) of the units in a condominium project affordable to moderate-income households
- A senior housing development or mobilehome park that limits residency based on age
- Donates land to the City dedicated for the construction of very low income units
- Includes a qualifying child care facility

- Ten percent (10%) of the units for transitional foster youth, disabled veterans, or homeless persons and dedicated to very low income households
- Twenty percent (20%) of the units for lower income students in a student housing development or
- One hundred percent (100%) of the units dedicated to lower income households, except that up to twenty percent (20%) of the units may be dedicated to moderate income households.

The density bonus is increased on a sliding scale, depending on the type and number of affordable units, up to a maximum 50% density bonus. The number of concessions/incentives granted by the City also increases based on the number and type of affordable units to be constructed. The developer must enter into an Affordable Housing Agreement to secure the affordable units for a minimum of 55 years prior to issuance of building permits or prior to final map approval.

*(Policies H2.1, H2.2, H2.4)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To increase the City's supply of affordable housing.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

### 3. ACCESSORY DWELLING UNITS ORDINANCE

An accessory dwelling unit (ADU) shall be as defined by Government Code Section 65852.2 as it now exists or may hereafter be amended, and means an attached or detached residential dwelling unit that provides complete independent living facilities for one (1) or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the primary dwelling is situated. It also includes an efficiency unit and a manufactured home as defined in the Health and Safety Code. A junior accessory dwelling unit (JADU) shall be as defined by Government Code Section 65852.22, as it now exists or may hereafter be amended, and currently means a unit that is no more than 500 square feet in size and contained entirely within a single-family dwelling. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure. The City currently supports and promotes the development of ADUs and JADUs on the City's website and information is available at the City's Permit Center.

*(Policies H2.1, H2.2, and H2.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Issue building permits for a minimum of 10 units annually (five times the average rate between 2013 and 2017) for a total of 80 units.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 4. CONDOMINIUM CONVERSION ORDINANCE

The City shall continue to enforce its Condominium Conversion Ordinance to define those conditions under which the conversion of rental units to condominiums would be permitted. Under the ordinance, conversions cannot occur unless certain criteria are met, including the City's established minimum citywide vacancy rates for multi-family rental housing; a minimum percentage of multi-family rental units citywide; provision for affordable housing requirements and Community Benefit Fee; and tenant protections, including a Tenant Relocation Plan, etc.



If the conversion meets the required criteria, the developer must enter into an Affordable Housing Agreement to secure the affordable units provided as part of the conversion approval.

*(Policies H2.1, H2.2, H2.4, and H2.11)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To support the conversion of rental units to condominiums.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

## 5. STREAMLINE PROJECT PROCESSING

To provide certainty and facilitate application processing, the City publishes processing schedules for all entitlements, provides pre-application review to ensure applications are complete prior to submittal, and provides an online permit system. The online permit system allows applicants to submit an application, pay fees, and process comments and revisions entirely online. The online permit system streamlines development and reduces applicant costs by eliminating the need for printing, travel to City offices, and mailing delays. The City's entitlement processing timelines are included within Table X-37 on page 148. .

*(Policies H2.1 and H2.2)*

**Time Frame:** Ongoing, as applications are processed.

**Objective:** Complete 100% of complete applications within the City's adopted schedules.

**Implementing Agency:** Development Services Department

**Funding Source:** General Fund

## 6. SPECIFIC PLAN AREAS (SPA)

The provision of affordable housing is a societal goal, one that should be achieved through the efforts of the entire community. The City shall ensure that Specific Plans are consistent with the goals and policies of the General Plan. The primary purpose of the Specific Plan Area process is to guide the comprehensive urbanization of land use in a mix of residential neighborhoods, schools, parks, open spaces, supporting retail and public facilities, employment uses, and an affordable housing component. The Specific Plan Areas are the first step in implementing programs such as the 10% Affordable Housing policy.

The City's General Plan Land Use Element contains a section called Growth Management, which establishes the policy framework the City uses when considering new growth and annexation. Land Use Policy LU8.5 states "The City shall use the specific plan process to ensure a comprehensive, logical growth process for new development areas (e.g. annexations) or any areas where significant land use changes are considered." The City's General Plan establishes that the City does not grow in a piece-meal fashion. Instead, the City considers all annexations or significant land use plans inside the context of a detailed Specific Plan process. Additional Land Use Element policies describe the minimum standards, information, and benchmarks which must be met by new Specific Plans, which includes demonstration of compliance with the City's 10% affordable housing policy.

The City's 10% affordable housing policy has produced over 3,000 units since program inception, which is an average of 100 units per year. Furthermore, over the last decade the City's average overall housing production has been approximately 950 units per year, which means that on average 10% of the City's growth during the prior Housing Element cycle has been affordable housing. The 10% goal is applied within each Specific Plan as well, not just for the City as a whole. For example, the Stoneridge Specific Plan included capacity for 2,861 total units, 286 units of which were required to be affordable. At the time the Specific Plan was adopted in 1998 the City's policy did not require a

40/40/20 split of very low/low/moderate income units, so the Specific Plan called for a split of 75% very low and low (combined) and 25% moderate income units. The Specific Plan is nearly fully built with a total of 2,745 total units constructed, of which 251 are affordable, with 116 mixed income units remaining, of which 29 are lower income<sup>2</sup>. Of the constructed affordable units, 73 were moderate income purchase, 150 were low and very low income rental (for seniors), and 28 were low income purchase. The sites where these units were built are distributed through the plan area, not concentrated.

Compliance with the City's General Plan growth management policies results in a robust and detailed Specific Plan. The City's Specific Plans are divided into large lots, and each of these, if residential, is assigned a specific number of allocated units. This is evident in the City's residential capacity inventory in Table X-29 (page 77), where each Specific Plan includes a list of numbered large lots (e.g. AR-1 for Amoruso Ranch Specific Plan Large Lot 1) and these are assigned a land use designation, zoning designation, density, and specific number of allocated units. In turn, this allows the City's infrastructure planning for roads, drainage, sewer, and water, as well as service planning for parks, schools, fire services, and transit to be extremely robust and detailed. Each plan specifically defines the size and location of infrastructure and services, including lift stations, electric substations, wells, and fire stations. The detailed planning process enables the California Environmental Quality Act (CEQA) process to be likewise detailed and specific, resulting in the ability of future subdivision or multifamily projects consistent with the Specific Plan to use CEQA exemptions.

As part of assigning each large lot a specific unit allocation and density, a new Specific Plan must designate at least 10% of the total units as affordable. The affordable housing section or chapter of each Specific Plan includes a table or list of all large lots with an affordable housing obligation, along with the type of units and targeted income categories. Strategies, including City and landowner obligations, are described. A provision for the payment of in-lieu fees for affordable housing may be included, if appropriate. The City works with the Specific Plan applicant(s) to ensure an appropriate mix and type of residential and non-residential uses, and to ensure that affordable housing sites are distributed through the planning area in order to avoid the creation of concentrated affluence. The City does not meet its affordable housing policy in a piece-meal or project-by-project fashion; the affordable housing plan is established at the time the Specific Plan is approved. Additional discussion regarding the City's Specific Plan Areas is provided under the 10% Affordable Housing Goal in the Housing Constraints section of this Housing Element.

*(Policies H2.1, H2.2, H2.3, H2.4, H2.8, and H2.10)*

**Time Frame:** Ongoing, as SPAs are approved

**Objectives:** Ensure affordable units are integrated throughout the SPA and provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 7. PUBLIC/PRIVATE PARTNERSHIPS

While the Specific Plan Areas program above establishes the process by which affordable housing is scoped and planned within each Specific Plan, the Public/Private Partnerships program ensures the requirement is recorded on each property and defines the responsibilities of the City and property owner. Within each of the adopted Specific Plans, the City has included a provision for a public/private partnership, between developers of housing and the City, to achieve the 10% Affordable Housing Goal. In addition to implementing the Affordable Housing Goal within the Specific Plan, the City also requires the affordable housing plan to be reflected within a Development Agreement. The Development Agreement restates the land use plan, including the units allocated and the affordable housing

<sup>2</sup> These affordable units are located on Parcel 17 (4 purchase units), Parcel 54 (69 purchase units), Parcel 21 (150 rental units), and Parcel 23 (28 purchase units), which are distributed through the Specific Plan. The map is located here: [https://www.roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Development%20Services/Planning/Specific%20Plans%20&%20Planning%20Areas/Stoneridge%20Specific%20Plan/Stoneridge%20Tables%20and%20Map.pdf](https://www.roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Development%20Services/Planning/Specific%20Plans%20&%20Planning%20Areas/Stoneridge%20Specific%20Plan/Stoneridge%20Tables%20and%20Map.pdf)



obligations, but also includes a financing plan. The financing plan uses the detailed infrastructure and service studies to establish the per-unit fees which will be applied to every residential unit or non-residential project. This makes fees predictable and transparent for developers. Roseville has identified the following specific roles in this partnership to provide affordable housing:

#### City of Roseville

The City shall continue with an aggressive affordable housing program designed to maximize potential funds available through existing federal, state, and local programs. Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement. The Development Agreement requires a developer to enter into an Affordable Housing Agreement prior to building permits being issued or recording of the final map. The City of Roseville will assist all property owners in obtaining appropriate and available subsidies for construction of the affordable housing obligation.

#### Development Community

Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement.

*(Policy H2.7)*

**Time Frame:** Ongoing Roseville Specific Plan Process

**Objectives:** Ensure affordable units are integrated throughout the SPA and provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 8. AFFORDABLE HOUSING AGREEMENTS

Implementation of the City's Affordable Housing Goal begins with planning of the Specific Plan, is established by the Development Agreement, and then when a developer is ready to pursue construction on a site with an affordable housing obligation, is effectuated by the Affordable Housing Agreement. The City shall require Affordable Housing Agreements for all housing projects subject to affordability requirements. Such agreements shall stipulate: (1) the number of affordable units to be constructed; (2) the affordable purchase calculations or rental price; (3) the income group to whom the units will be affordable; and (4) the length of time the units will remain affordable. Maximum rents and purchase prices will be determined based on unit size and occupancy levels as follows:

Unit Size	Household Size
1 Bedroom	1.5 Persons
2 Bedroom	3 Persons
3 Bedrooms	4.5 Persons
4 Bedrooms	6 Persons

The City shall, on an annual basis, review all Affordable Housing Agreements for compliance with affordability provisions. Any property owner who fails to comply with the requirements of an Affordable Housing Agreement may be found by the City Council to be in default of the agreement.

*(Policies H2.1, H2.2, H2.3, H2.7, H2.9, and H2.10)*

**Time Frame:** Ongoing and Annual Monitoring

**Objectives:** Provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 9. IN-LIEU FEES

The City prefers affordable housing be developed as specified under the 10% Affordable Housing Goal within each of the Specific Plan Areas. The collection of in-lieu fees presents a challenge to the City, since the City does not control or own land to ensure the development of the affordable units. Therefore, the City has not established a formal in-lieu fee program and encourages the development of affordable housing. In-lieu fees may be considered on a case-by-case basis. In all cases where in-lieu fees are considered as an alternative to producing affordable units, Housing Division staff will review the project based on: (1) a good faith effort by the owner to secure and use available subsidies; (2) the type of project and its ability to absorb the affordable units; and (3) the ability to use the in-lieu fees within the same Specific Plan or infill areas. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive any funds collected.

Development Agreements shall be the mechanism used to secure implementation of the affordable housing program.

*(Policies H2.1, H2.2, and H2.3)*

**Time Frame:** Ongoing, as SPAs are approved.

**Objectives:** Provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 10. NON-RESIDENTIAL CONSTRUCTION FEE

The City shall consider the establishment of a non-residential construction fee program, and has initiated a nexus study to review the establishment of a non-residential construction fee which would levy a fee on non-residential construction to assist in the development and retention of affordable housing. The rationale behind this fee is that new employment is a factor in the need for additional housing. The City will review the establishment of a non-residential construction fee by 2021, at which time the City will determine if it will pursue a program and, if so, the specifics of the program. The program shall prioritize funds for projects in areas of high opportunity or in areas at risk of displacement.

*(Policy H2.7)*

**Time Frame:** 2021

**Objectives:** Provide additional funding sources for affordable housing.

**Implementing Agency:** Development Services Department

**Funding Source:** Affordable Housing and Planning Administration for nexus study - Funds would be generated as part of this program to provide affordable housing.

## 11. PRESERVATION OF AFFORDABLE HOUSING

The City shall designate, in 2021, a Preservation Coordinator who will:

- On an annual basis, update and analyze the risk of conversion to the highest risk properties.
- Register with State HCD as a Qualified Entity in 2022 to receive notices of properties facing a potential loss of affordability.



- If the Preservation Coordinator identifies projects with affordable units at risk, the City will contact the owner regarding their interest in selling properties or maintaining the rental units as affordable.
- The City will work with property owners to assist with the provision of the required notifications to tenants, local governments, and Qualified Entities in addition to assisting qualified local nonprofit organizations to register as a Qualified Entity.
- The City will assist with the identification and application for federal, state, and local subsidies to ensure the continued affordability of housing units.
- The City will make available to tenants of projects at risk of conversion, referral and contact information regarding tenant rights and conversion procedures, as well as information regarding other affordable housing opportunities within the City.

*(Policy H2.6, H2.11)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure affordable units remain affordable for as long as possible.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 12. HOUSING SUCCESSOR AGENCY

All redevelopment agencies were dissolved in California effective February 1, 2012. The City of Roseville elected to function as the successor to the former Redevelopment Agency (“Successor Agency”) and to form a Housing Successor to serve as the governing body for the former agency’s low and moderate income housing assets. Housing Successors receive the non-cash housing assets of the former Redevelopment Agencies and are charged with monitoring and maintaining existing low-and moderate income housing assets and meeting outstanding requirements for former redevelopment agencies.

Beginning in 2015, agreements were made to spend the remaining \$5.9 million in bond proceeds on an affordable housing development constructed by Mercy Housing. That project was completed in 2018 and the total distributed to Mercy in the form of a loan was \$5.76 million. After the expenditure of those funds, there are no longer any significant funding sources available.

The Housing Successor receives 20% of loan repayment revenues, approximately \$240,000 annually, until all loans are paid back, which is projected to be 2036. As of October 2020 there are current projects, planned for yet unencumbered, totaling approximately \$1.2 million. The Housing Successor may spend up to \$250,000 for Homeless Prevention and Rapid Rehousing (HPRR) each year, the maximum allowed in the law. The City will annually track the demographics of the people benefiting from these funds to ensure they are equitably distributed, and make adjustments to funding if they are not; this assessment shall use the best available data, including updated Census, ACS, Point in Time counts, and other data. Going forward the fund’s revenues will be only from loan payment funds. Surplus funds may provide small gap funding for future affordable development projects. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive any funds collected.

**Time Frame:** 2021–2029

**Objectives:** Gap financing for future developments and Homeless Prevention and Rapid Rehousing Program

**Implementing Agency:** Housing Division

**Funding Source:** City loan payoffs

## RESIDENTIAL LAND INVENTORY GOALS AND POLICIES

### LAND INVENTORY

**Goal H3**      **Maintain adequate land within the various land use categories that allows development of housing to meet projected demand for high-density units.**

- Policy H3.1**      *Encourage development of mixed-use and infill projects in accordance with goals and policies contained in the Land Use Element.*
- Policy H3.2**      *Continue to encourage developers to use accessory dwelling units, cohousing, and other flexible housing options in their housing projects as part of the City strategy for maximizing affordability of land development and the availability of housing.*
- Policy H3.3**      *Encourage the development of accessory dwelling units, including on existing multi-family sites.*
- Policy H3.4**      *Continue to support the use of Voluntary Rezones to encourage and facilitate increased land use density, thereby maximizing the affordability of land development either through increasing the permitted density of properties zoned for residential use or rezoning non-residential parcels to mixed use or high density residential use.*
- Policy H3.5**      *Encourage development of higher density residential units by use of mixed use zoning within three key commercial corridors with underutilized infill parcels: the Douglas Boulevard/Harding Boulevard corridor, Douglas Boulevard/Sunrise Avenue corridor, and the Atlantic Street corridor.*

### Implementation Measures/Programs

#### 13. RESIDENTIAL CAPACITY MONITORING (NO NET LOSS)

The City will continuously monitor the development of all sites identified in the adequate sites inventory, to ensure the minimum Regional Housing Needs Allocation for each income category is met at all times. The City will use an evaluation and tracking procedure pursuant to Government Code Section 65863. A tracking procedure consistent with the Government Code is currently in place. The City will track all instances where a site identified in the City’s adequate sites inventory is developed with greater or fewer units (at the specified income level) than had been identified in the inventory. If a project is proposed which would reduce the City’s capacity in any income category below the amount allocated by the City’s Regional Housing Needs Assessment, the City will identify and, if necessary, rezone within six months sufficient sites to offset the shortfall and ensure no net loss in capacity.

*(Goal H3)*

**Time Frame:** Ongoing as applications are received, and at least monthly.

**Objectives:** Evaluate 100% of residential applications for RHNA consistency.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

#### 14. REZONE PROGRAM FOR ADEQUATE SITES

The City has been allocated a RHNA of 12,066 total units, of which 6,178 units must be lower income (a combination of low and very low income). As of the writing of this Housing Element, the City has insufficient units to meet the lower



income RHNA, and has therefore committed to providing adequate sites through a rezone program consisting of the below. Each strategy describes two figures: the total capacity and the realistic capacity. The total capacity describes the total number of units which could result from full implementation of the strategy. The realistic capacity is a smaller number of units and represents the units the rezone program could realistically achieve within the 8-year planning period. The rezone program has generally been designed to operate as a menu, identifying a broad array of sites which could accommodate units from which to select in order to achieve the RHNA obligation.

1. **Commercial Corridors:** The City has identified three commercial corridors for revitalization. The Douglas Boulevard/Harding Boulevard Corridor includes a mix of single-family residential properties, single-family residences which have been converted to businesses, aging hotels, and many older commercial properties with large, minimally improved parking fields. The Douglas Boulevard/Sunrise Avenue Corridor includes a mix of land uses, including commercial businesses and business professional offices with large, minimally improved parking fields and single-family homes, duplexes, and apartments. The Atlantic Street Corridor includes a mix of uses along the street frontage, with residential uses to the rear; many of the residential properties contain more than one housing unit, or room for additional units. The Commercial Corridors strategy will consist of the preparation of Specific Plans for each corridor, the establishment of mixed-use land use and zoning designations to provide more opportunities for redevelopment and reuse, more flexible zoning and development standards, and streamlined approval processes. The City anticipates adding capacity for a minimum of 400 lower income residential units, which represents both the total and realistic capacity. See Appendix E for details.
2. **Infill Intensification:** The central core of Roseville where development occurred prior to the 1980s is known as the City's "Infill Area," and is approximately 8,500 acres. This older area of the City is not within a Specific Plan, and much of the development occurred prior to the adoption of the City's General Plan or Zoning regulations. Consequently, inconsistencies between a property's land use and zoning designations are relatively common, and the land use designation density typically reflects the built conditions rather than planned future conditions. These factors have presented regulatory barriers to development and redevelopment. The City would amend the land use and zoning designation of selected properties in the Infill Area, to remedy inconsistencies between land use and zoning and to increase the permitted residential densities. This program has the potential to add capacity for 832 units at all levels of affordability. The realistic capacity of this program is 186 units, based on the assumption that vacant or significantly underutilized sites are most likely to develop. See Appendix E for details. This program will include a replacement program, to ensure that if units are demolished and replaced the residents are not displaced and at least as many homes are rebuilt as were removed.
3. **Opportunity Sites:** Staff examined vacant sites throughout the City to find properties with the potential to be converted to a high density residential land use designation. After screening out sites due to the presence of approved entitlements, Development Agreements, or significant environmental constraints (floodplain, wetland preserves, etc), the City has identified potential sites for evaluation as part of this rezone program. Additional sites may be identified as the City develops this option and sites on this list may be removed due to constraints. The current list of sites has the potential to add a total capacity of 1,350 lower income (high density) residential units. The realistic capacity of this strategy is 600 lower income (high density) units. See Appendix E for details.
4. **Vacant Sites—Residential Intensification:** The western areas of the City include multiple vacant sites with High Density Residential land uses at densities below 25 units per acre. Increasing the land use density of these sites to 30 units per acre would yield additional units. As part of this strategy the City would develop and adopt a Land Use Amendment Policy requiring all Specific Plan Amendment projects involving land use changes to also amend the land use of High Density Residential sites the applicant/property owner controls to between 25 and 30 units to the acre. If all of the sites were amended to 30 units per acre the total capacity is 1,880 high density units. However, the realistic capacity is 900 units. See Appendix E for details.

The above rezone program has a realistic capacity of 2,086 lower income (high density) units. In adopting this program the City is approving a menu of strategies which may be pursued, and providing evidence for the realistic capacity which

could be added by each. In implementing the rezone program, the City may choose to implement one, all, or portions of these, based on need and to the extent necessary to ensure the City achieves the minimum required RHNA capacity, which currently requires the addition of 1,791 lower income units. The City's rezone program, in combination with other programs, shall result in the City's achievement and maintenance of the minimum required capacity of 6,178 lower income units. As stated in Housing Element Program 15, the City's adopted Zoning Ordinance permits ministerial (by-right) development of multifamily projects where at least 20% of the sites are affordable to lower income households. All of the sites identified in the City's rezone program shall be zoned with a minimum density of at least 20 units per acre, and more than 50% shall be accommodated on sites designated for residential use and for which nonresidential uses or mixed uses are not permitted.

*(Policy H3.2, H34, H3.5)*

**Time Frame:** 2024

**Objectives:** Achieve a minimum lower income capacity of 6,178 units by 2024.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund/Grant Funding

## 15. AFFORDABLE HOUSING STREAMLINING

The City has a ministerial approval process for affordable housing projects which meet specified criteria. The streamlined approval process is an opt-in program for developers who must request streamlined ministerial approval at the time of application to the City. To qualify, the developer must agree to enter into an affordable housing agreement with the City ensuring a minimum of 20% of the units will be affordable to low, very low, or extremely low income households. A qualifying project may opt to be reviewed for conformity with the City's Objective Design Standards through the ministerial Building Permit process in lieu of the City's discretionary Design Review Permit process. The Objective Design Standards are available on the City's Planning Division website. The City's discretionary Design Review Permit process is required for any developer seeking exceptions, variances, or modifications to objective zoning or objective design standards, excluding modifications granted as part of a density bonus concession, incentive, parking reduction, or waiver of development standards pursuant to Density Bonus Law or the City's density bonus program. The program applies citywide to all affordable housing projects meeting the affordability requirement, including to sites which have been included in the inventory for more than one Housing Element cycle.

*(Policy H3.1)*

**Time Frame:** Ongoing as applications are received, and at least annually.

**Objectives:** To streamline the approval of affordable housing projects by providing a ministerial approval process, thereby shortening timeframes by an average of three to five months and fees by \$8,000 or more.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 16. PRIORITIZE AFFORDABLE HOUSING

The City will prioritize the timely and efficient processing of affordable housing projects through various means, particularly for projects in areas of high opportunity or in areas at risk of displacement, including via the City's ministerial approval process, prioritizing utility services for affordable projects, and providing support and assistance in securing grants and other financial subsidies, particularly for projects in areas of high opportunity or in areas at risk of displacement. The City will also develop a phasing program for affordable housing sites, which will include streamlined processes for lot line adjustments, parcel maps, and similar entitlements which may be necessary to support construction and financing of affordable housing. At minimum, the phasing program will provide for ministerial processing of lot line adjustments, voluntary mergers, and parcel maps. The City will annually also investigate the



development of fee reductions for affordable housing projects. The City will annually track the use of Program 16 to determine its effectiveness, which will be evaluated based on the percent of affordable housing projects using the program, as well as the percent of large site property owners/developers using the program. The City will annually meet with affordable housing developers to discuss and, as needed, implement program improvements to ensure the City meets its goal of 100% of affordable housing projects using the program. The City will annually meet with affordable housing developers to discuss constraints to the production of affordable housing, and based on this feedback, commits to implementing program improvements to ensure the City meets its goal of 100% of affordable housing projects using the program.

*(Policy H3.1)*

**Time Frame:** 2024 and ongoing

**Objectives:** To facilitate and incentivize the construction of affordable housing. The goal is for 100% of affordable housing projects to leverage this program.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 17. HOUSING REPLACEMENT PROGRAM

Sites that have residential uses, or which had residential uses that were vacated or demolished anytime within the prior five years, shall be subject to this replacement program if any of the units were subject to an affordable housing agreement (or other affordability requirement pursuant to Government Code Section 65583.2). Development proposals on such sites shall maintain all affordable units at the same or lower income level, or shall be contingent on the replacement of all lost affordable units, at the same or lower income level.

*(Policy H3.1)*

**Time Frame:** Ongoing, as applications are received.

**Objectives:** To ensure conservation and replacement of affordable units.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 18. ACCESSORY DWELLING UNIT OUTREACH PROGRAM

The City will develop an accessory dwelling unit outreach program targeting existing multifamily sites, to help educate the owners of multifamily properties about the use of accessory dwelling units as a means to add units on multifamily sites without the need for additional entitlements. The program is intended to promote and create affordable housing units. The program will be promoted on the City's website and information will be available at the City's Permit Center. The City's Housing Division staff will also actively promote the program in conjunction with implementation of the 10% Affordable Housing Program and other Housing programs.

*(Policy H3.2, H3.3)*

**Time Frame:** 2022

**Objectives:** Ensure 100% of multifamily property owners who contact the City receive information on accessory dwelling units.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

## EQUITABLE AND INCLUSIVE HOUSING CHOICE

### HOUSING CHOICE

- Goal H4.1**      **Ensure the availability of quality housing opportunities for the elderly, the disabled, large families, female heads of households, and the homeless.**
- Goal H4.2**      **Participate in local and regional efforts to provide a network of facilities and resources to aid the special needs populations.**
- Goal H4.3**      **Design and implement programs to affirmatively further fair housing and promote housing opportunities throughout the City for protected classes to address significant disparities in housing needs and access identified within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments to Fair Housing Choice**
- Policy H4.1*      *Special housing needs shall be met through direct rental subsidies and below-market construction financing.*
- Policy H4.2*      *Continue the City's housing rehabilitation loan and grant programs to assist low-income elderly and disabled households.*
- Policy H4.3*      *Encourage construction of 3+ bedroom units in multi-family rental complexes to help meet the housing needs of low-income, large families.*
- Policy H4.4*      *Actively facilitate construction of rental units that include childcare facilities affordable to lower-income, female heads of households.*
- Policy H4.5*      *Work in conjunction with other Placer County jurisdictions, agencies, and organizations to provide shelter and supportive services for homeless individuals and families.*
- Policy H4.6*      *Encourage programs and developments that support inclusive, racially and ethnically diverse, and mixed-income residential communities throughout the City.*
- Policy H4.7*      *Support resources and assistance that help individuals who were justice-involved to locate, obtain, and maintain affordable housing.*
- Policy H4.8*      *Support programs and services which provide housing discrimination protection.*
- Policy H4.9*      *Support programs and measures that increase the affordability and availability of housing for people with disabilities.*

### Implementation Measures/Programs

#### 19. FEDERAL AND STATE PROGRAMS

The City shall pursue the below state and federal sources that will assist the City in addressing the housing and supportive needs of special needs populations. Implementation of these programs shall include a monitoring component to regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted resident population, and will implement affirmative marketing to groups who are shown to have limited access to the program. The City shall meet a minimum of once annually with affordable housing developers to discuss barriers to the production of affordable housing, with a particular emphasis on the production of extremely low income housing and housing for special needs groups. Consistent with this program and other housing



programs (such as Program 8, 9, 10, 12, and 16) the City shall prioritize, incentivize, and facilitate the construction of housing for extremely low income and special needs households, including by using financial resources to provide gap funding.

#### Section 8 Housing Choice Voucher Program (Federal)

The Department of Housing and Urban Development (HUD) provides funding for rental subsidy payments for households earning 50% or less of the area median income. Special vouchers have also been made available for veterans, called Veterans Administration Supportive Housing (VASH), as well as Mainstream Vouchers which serve those with mental illness and are homeless or near homelessness. The HCV programs serve households who are extremely low income and/or disabled and are administered by the Roseville Housing Authority. The Roseville Housing Authority (RHA) shall provide Housing Choice Vouchers (HCVs) to very low- and extremely low-income households in order to provide affordable housing options to those most in need; 75% of new households receiving vouchers shall be extremely low income. RHA shall offer Small Area Fair Market Rents and provide landlord education on the benefits of participating in the program. RHA shall also consider implementing a Landlord Incentive Program based on available federal funding and other best practices to incentivize new landlords to participate in the program. RHA will provide outreach materials to multifamily property owners and managers in areas of high opportunity on the benefits of accepting HCVs and will work to increase the number of properties accepting HCVs in high opportunity areas.

#### Section 202 (Federal)

HUD provides long-term, direct loans to private, non-profit sponsors to finance new construction of elderly and disabled housing affordable to households earning 50% or less of the median income. The City will support applications by non-profit housing developers for Section 202 funding.

#### HOME Investment Partnership Program (State)

The Housing Division utilizes State-administered federal HOME funds for the First Time Homebuyer Program, which provides down payment assistance to low-income first time homebuyers. The City's First Time Home Buyer Down Payment Assistance Program allows displaced homemakers to qualify as first time home buyers. The City also uses HOME funds to leverage Community Development Block Grant funds for the Housing Rehabilitation Program described below. The City will pursue HOME funds for financing of affordable multi-family rental projects targeted to special needs groups such as seniors and those with disabilities.

#### Community Development Block Grant (CDBG) (Federal)

The City will continue to set aside CDBG funds for the following programs that address the needs of special needs populations, including elderly, disabled, and homeless individuals and families.

#### Housing Rehabilitation Program

Deferred loans up to \$100,000 are available to low-income homeowners for health and safety repairs and general home improvements. Elderly and disabled homeowners can also receive a \$5,000 grant for health and safety repairs. Outreach for this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions and where there is a higher proportion of communities of color based on the most current census data.

#### Public Service Funds

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process.

*(Policies H4.1, H4.2, H4.3, H4.4 and H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Effectively implement federal and state programs and leverage funding opportunities, increase the number of participating properties in high resource areas of the City, and obtain funding for affordable housing projects serving special needs populations.

**Implementing Agency:** Housing Division

**Funding Source:** Housing Choice Voucher, CDBG, HOME, Section 202

## 20. HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM

The City Council has approved Roseville Homeless Prevention Rapid Rehousing (HPRR) funds consisting of Permanent Local Housing Allocation funds and up to \$250,000 in Low and Moderate Income Funds to assist Roseville homeless and those about to be homeless with grants for payment of past due rent, security deposits, first month's rent, past due utility bills, and emergency motel vouchers. Non-profits apply for program funds annually. On average, the HPRR program serves the community by providing over 37,000 bed nights for the homeless annually, providing rental assistance to maintain permanent housing for approximately 500 households, placing 50 individuals into transitional or treatment facilities, and permanently housing 15 people from homelessness per year. The City will annually track the demographics of the people benefiting from these funds to ensure they are equitably distributed, and make adjustments to funding if they are not.

*(Policy H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Fund non-profits to implement homeless prevention and rapid rehousing programs such as rent, utilities and deposit payments, homeless hotel vouchers, and ready-to-rent programs.

**Implementing Agency:** Housing Division & Non-profits that apply for funding

**Funding Source:** Permanent Local Housing Allocation and Low and Moderate Income Fund

## 21. ROSEVILLE COMMUNITY GRANTS FUNDS

The Grants Advisory Commission reviews grant applications and makes grant recommendations on an annual basis to the City Council for the following community grants:

### Citizens' Benefit Fund

The Citizens' Benefit Fund was established in 1993 following the sale of the City-owned Roseville Hospital. The proceeds were invested and a portion of the interest earned each year is made available for grants with the purpose of improving the quality of life for the citizens of Roseville. Public agencies, schools and non-profit 501(c)3 or 501(c)4 are eligible to apply.

### REACH Fund

The Roseville Employees Annual Charitable Hearts Fund (REACH) is a community giving fund created through the generosity of Roseville employees and retirees. These employee-donated funds are dispersed to local charitable organizations that serve youth, seniors and families in the South Placer County region.

*(Policy H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually

**Objectives:** Provide funding to public agencies and non-profits for programs that benefit and support the Roseville community.

**Implementing Agency:** Housing Division, City Manager, City Council

**Funding Source:** Citizens' Benefit Trust, and REACH Fund



## 22. ADDRESS SIGNIFICANT DISPARITIES AND INCREASE OPPORTUNITIES

To Achieve Getting People and Families off the Street, the City will:

- Create opportunities for development of permanent supportive housing for people experiencing homelessness, including families, by identifying sites and properties and prioritize local funding and incentives for that use. Current activities include consideration of a Project Homekey development which would create new permanent supportive housing units for people experiencing homelessness.
- Create and fund rehousing plans to move people from emergency COVID sheltering to permanent affordable housing, and in the future, respond similarly to major health or housing displacement emergencies. In its COVID response, the City has partnered with Placer County on a COVID rehousing program and will apply for program funding in 2021.

To Achieve Keeping People in their Homes, the City will:

- Provide Rental Assistance: fund rental assistance and work with tenants, nonprofit housing providers, advocates and the state to find solution on rent that keep tenants out of debt, prevent displacement, and sustain financial security of nonprofit housing providers. City's CDBG-CV3 funds are supporting a COVID rental assistance program. The City is partnering with Placer County on rental assistance for low-income households who are facing hardships due to the COVID-19 pandemic.
- Continue and adopt policies to prevent displacement as part of all specific plans, master plans, or other redevelopment/reinvestment programs which are proposed in areas that are within the City's Infill area or within areas of the City at risk of displacement including strategies to protect senior and low-income homeowners such as targeting home repair programs and no-net loss policies for existing affordable housing and condo conversion ordinances. The City will continue its income-qualified Owner-Occupied Housing Rehabilitation deferred loan and grant program. Applications and outreach materials are posted in English and Spanish. The City will direct implementation of these policies and programs into geographic areas of the community at greatest sensitivity or risk of displacement.

To Increase and Preserve the Affordable Housing Supply, the City will:

- Undertake all preservation programs outlined in the preservation section of the HE which includes continuing to annually monitor and support preservation of existing regulated affordable homes at risk of converting to market rates. The City currently monitors such developments and will enhance its program by naming a Preservation Coordinator.
- Provide outreach on targeted first-time homebuyer programs in neighborhoods that have suffered from historic disinvestment to increase awareness and access to such programs like HUD Section 8 Homebuyer assistance. Outreach will be in English and Spanish.
- Strengthen its local housing trust fund with local revenue sources. Currently the City's revenue sources include in lieu fees and pay offs from affordable purchase loans. Actions to include re-applying for state Local Housing Trust Fund (LHTF) Program as they are released.

Metrics: Number of households assisted with rental assistance; owner occupied rehab; number of permanent supportive housing projects the City explores.

*(Policy H4.10)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure that direct and indirect government activities and influence is equitable and supports access to housing opportunities for all groups. Metrics for success include 700 low, very low, and extremely low income households assisted with rental assistance; 15 owner-occupied rehab projects (based on current funding levels) within a disadvantaged community area or area at risk of displacement; at least 1 permanent supportive housing project explored annually.

**Implementing Agency:** Housing Division

**Funding Source:** Community Development Block Grant, General Fund

### 23. HOMELESS OUTREACH

The Roseville Police Department uses a Social Services Unit consisting of two full-time Problem-Oriented Policing Officers and two Homeless Outreach Workers from Placer County Health and Human Services to link homeless individuals to services throughout the County and to build trust with unsheltered individuals, particularly among communities where distrust is widespread and acts as a barrier to accessing services.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Contact 50 high-risk community members per month.

**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Community Development Block Grant, Downtown Roseville Partnership, General Fund

### 24. FAMILY MOBILE TEAM

The Roseville Police Department collaborates with Placer County Mental Health on a Family Mobile Team unit, which responds to family crisis situations and calls from minors in dangerous situations, to connect these individuals to support and services to avoid these situations from resulting in homelessness.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** A minimum of 350 interactions annually.

**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Community Development Block Grant, Downtown Roseville Partnership, General Fund

### 25. FAMILY REUNIFICATION PROGRAM

Continue the Family Connect and Reunification Program to assist those experiencing homelessness to be reconnected with family and friends who can help support the individual, including by providing transportation to the friend or family member.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually.

**Objectives:** Reunification of 20 individuals experiencing homelessness



**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Grant program or other funding

## 26. REGIONAL HOUSING PROGRAMS

When feasible, the City will address affordable housing issues on a regional basis.

Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act Funds

The City's Housing Division will continue to participate in the Placer Consortium on Homelessness (PCOH) with other jurisdictions, local organizations, and service providers to establish and promote a network of facilities and resources to assist the homeless population and other special needs populations. The City will continue to participate in the preparation of the Placer County Continuum of Care annual application for Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act funds.

*(Policy H4.5)*

**Time Frame:** Annually

**Objectives:** Participate in regional approaches to affordable housing.

**Implementing Agency:** Housing Division

**Funding Source:** Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act funds (Federal)

## 27. FAIR HOUSING AND HOUSING DISCRIMINATION LEGAL SERVICES

In 2019, the City completed a regional effort that updated the 2000 Analysis of Impediments to Fair Housing Choice (AI) pursuant to the 2015 AFFH Final Rule. Relevant sections are incorporated into the Housing Element.

The City shall continue to actively participate in the ongoing region-wide collaborative effort to improve fair housing choice and affirmatively further fair housing.

The City's 19 fair housing indicators for zoning codes analysis for ideal outcomes to prevent fair housing barriers included in the AI based on a checklist developed by the Region IX HUD office found that all of the 19 indicators supported fair housing and that none of the City's zoning codes create barriers to fair housing or impact housing choice. The City will work to ensure that it does not create barriers in its future actions to fair housing or impact housing choice by:

- Regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted resident population.
- Require that developers receiving public subsidies (monetary or in the form of density bonuses and fast track review) use affirmative fair housing marketing practices.
- Monitor how public sector investments can contribute to economic changes in neighborhoods, possibly accelerating displacement of low-income residents as part of all specific plans, master plans, or other redevelopment/reinvestment programs which are proposed in areas that are within the City's Infill area or within areas of the City at risk of displacement.
- Conduct robust and meaningful public engagement activities and events when considering adoption of policies to ensure all voices in the community are heard.
- In making planning decisions, be aware of how the built environment communicates inclusiveness or exclusiveness to different types of residents.

- Holding monthly housing meetings for non-profit organizations and local stakeholders, including the Latino Leadership Council to share regional resources and ensure equitable distribution of resources.
- Encourage and support affordable housing across the City in all neighborhoods, with a focus on areas of high opportunity.

The City will continue to provide assistance regarding equal housing opportunities through its Housing Division and Housing Authority in addition to funding a program which will provide the services of legal counsel to persons experiencing housing discrimination.

The City of Roseville will continue its collaborative Housing Education Campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Project Sentinel or similar HUD qualified fair housing provider, through the City's Fair Housing Education Program. Under contract with the City, fair housing provider will also offer fair housing workshops, respond to inquiries and provide wide-ranging fair housing information. Its website is a rich resource with information in six languages.

In addition to the provision of workshops and one-on-one counseling, the City's website includes fair housing information and referral service data with links to other Fair Housing resources.

*(Policies H4.6, H4.7, H4.8)*

**Time Frame:** Ongoing, and at least annually.

**Objectives:** To ensure residents are informed of their housing rights and are provided with support on fair housing issues, and that City actions do not create barriers to fair housing or impact choice. Annually, 50 responses to inquiries; at least 1 Fair Housing Workshop; Adequate annual funding, \$12,000 for 2022, future years amount responsive to resources/needs.

**Implementing Agency:** Housing Division and Roseville Housing Authority

**Funding Source:** Housing Choice Voucher Rental Assistance, Community Development Block Grant Funding, City's Low- and Moderate-Income Fund, General Fund

## 28. SUPPORT FOR HOUSING FOR PERSONS WITH DEVELOPMENTAL DISABILITIES

Work with the Alta California Regional center to implement an outreach program that informs families and housing developers within the City on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services on the City's website. The City will also revise the Zoning Ordinance to require an Administrative Permit for large Community Care homes (7 to 12 persons) instead of a Use Permit. Standards for approval of an Administrative Permit for large Community Care homes will be developed, to facilitate objectivity and certainty in review.

*(Policies H4.1, H4.8, H4.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure residents are informed of housing options for persons with developmental disabilities

**Implementing Agency:** Housing Division

**Funding Source:** General Fund



## 29. ALLOW SHARED HOUSING UNDER HOUSING CHOICE VOUCHER FOR PERSONS WITH DISABILITIES

Continue Roseville Housing Authority's policy to allow Shared Housing to enable persons with disabilities to use their voucher in housing that is shared with non-related persons. The rent and rental subsidy for these households is based on the use of one bedroom (or two if a live-in aide is required). The HCV rental assistance Shared Housing option does not factor in the income of the other household members who may be providing an increased level of independence for the disabled HCV participant.

RHA has operated this policy for more than 20 years and a number of developmentally disabled individuals have made use of the Shared Housing option. The program has received positive feedback from the participants, their families and landlords on the benefit of this provision.

*(Policies H4.1, H4.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To provide rental assistance for residents with disabilities

**Implementing Agency:** Roseville Housing Authority

**Funding Source:** Housing Choice Voucher Rental Assistance

## GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

### GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

#### Goal H5 Promote affordable housing development through the local government permit process.

- |                    |  |
|--------------------|--|
| <b>Policy H5.1</b> | <i>The City shall continue to explore options to restructure how fees are assessed.</i>  |
| <b>Policy H5.2</b> | <i>The City shall review and modify its Subdivision Improvement Standards, where reasonable, to provide cost savings in the development of residential units while continuing to ensure the public health, safety and welfare.</i> |
| <b>Policy H5.3</b> | <i>The City recognizes the importance of providing affordable housing to support job growth, and shall prioritize communicating this message to the community.</i>   |
| <b>Policy H5.4</b> | <i>The City shall ensure that its Zoning Ordinance is regularly updated to be in compliance with new legislation.</i>  |

## Implementation Measures/Programs

### 30. PROCESS AND FEE STRUCTURE REVIEW

Permit Process – To expedite project facilitation and provide internal support to project applicants, the City established the Economic Development Advisory Committee to advise and assist the City Council in creating a community environment conducive to existing businesses, attracting new businesses, and promoting tourism. In order to expedite project facilitation and provide internal support to project applicants, the Economic Development Advisory Committee

also functions as a liaison, building relationships between the City, the development community, and business owners. The Committee provides input into delivery of development services, cost of services, construction standards, development impact fees, and other development service policy areas. The Committee regularly reviews the City's fee system to work toward reducing the cost of development impact fees, as well as provide direction on the Economic Development Strategy.

**Fee Structure** – The City will continue to review its fee system and work toward graduated fees as a means of reducing the cost of housing development.

The Development Services Department will work with the Economic Development Advisory Committee.

*(Policy H5.1)*

**Time Frame:** Annually review process and fee structure.

**Objectives:** Review process and fee structure once per year.

**Implementing Agency:** Development Services Department

**Funding Source:** General Fund

### 31. REVIEW OF SUBDIVISION IMPROVEMENT STANDARDS AND ZONING ORDINANCES

The City will regularly review the Subdivision Improvement Standards and Zoning Ordinance to ensure residential development standards are appropriate, aligned with the City's housing-related policies, reflective of modern planning practices, and are not unduly burdensome or restrictive. The City will annually review housing legislation and update the Zoning Ordinance as needed to comply with new state laws. Current amendments needed pursuant to this program include reducing the parking requirements for emergency shelters consistent with AB 139, adding employee housing (for six or fewer people) as a permitted residential use, and adjusting the description of transitional and supportive housing to state that these uses are permitted by right where multifamily and mixed use are permitted (to ensure consistency with AB 2162).

*(Policy H5.2)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Complete review of the Subdivision Improvement Standards and Zoning Ordinance once per year.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 32. PUBLIC EDUCATION PROGRAM

The City will continue to educate the greater Roseville community about the necessity of providing the affordable housing needed to support the job growth occurring in Roseville and the region. Specifically, this information will focus on the need to provide affordable housing in close proximity to jobs for multiple reasons, including to reduce the traffic and air quality impacts that result from long commutes and reduce inequities by ensuring all sectors of the City's employment base can afford to live in the community where they work. In addition, the City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions. Education will occur through public hearings, presentations to various service organizations and other community groups, and articles published in the local newspaper and the City's newsletter.

*(Policy H5.3)*



**Time Frame:** Bi-annually.

**Objectives:** 100% of staff reports or other City materials for affordable housing projects will include information about the necessity of affordable housing and City newsletters will contain such materials a minimum of twice annually. A FlashVote survey or other survey will be distributed annually to evaluate the community's perceptions of affordable housing.

**Implementing Agency:** Housing Division, Planning Division

**Funding Source:** General Fund

### 33. PUBLIC PARTICIPATION

The Planning Division will continue to provide multiple ways for residents to be informed of development projects and multiple opportunities and means for community input on proposed projects within the City, including:

- Uploading initial notices that an application was received to the Roseville Coalition of Neighborhood Associations' (RCONA) website.
- Maintenance of the City's Development Activity website, which includes a list of all new applications received during the previous week, a description of all active development proposals in the City, and interactive maps displaying the location of current and upcoming construction in the City.
- Maintenance of the City's Planning Projects of Interest website, where project details and documents are uploaded for projects generating significant community interest.
- Maintenance of the City's Online Permitting Services portal, which allows the public to look up documents and details for all active applications in the City.
- For General Plan Amendments, physically posting a notice of the project application on the project site.
- Encouraging applicants to hold neighborhood meetings before the public decision-making process begins, to ensure the community understands the proposal and to receive any concerns and questions early in the process.
- Uploading public hearing notices and notices of intent to approve a project to the RCONA website, in addition to the direct mailing of such notices to properties within 300 feet of the project.

Neighborhood forums and other outreach allows people affected by a project to have their questions and concerns addressed early in the planning process, which can reduce costs by avoiding late-stage design changes due to unexpected comments. Outreach also has the potential to improve community investment in a project and ensure the achievement of equity goals. The intent of the City's public participation process is to provide clear processes and means for community notice and input as part of a timely and transparent decision-making process. This program is also consistent with the City's General Plan, which directs the City to continue and improve our public participation programs.

*(Policy H5.3)*

**Time Frame:** Ongoing, as projects are processed through the Planning Division.

**Objectives:** Provide multiple means and opportunities for public participation as part of Planning entitlement projects.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 34. SPECIAL NEEDS HOUSING LAWS

The City will review the Zoning Ordinance and its other planning documents and, if necessary, make changes to ensure compliance with the Supportive Housing Streamlining Act (AB 2162), AB 101 (Low-Barrier Navigation Centers), and other existing and future legislation.

AB 2162 requires supportive housing to be considered a use by right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multi-family uses, if the proposed housing development meets specified criteria. AB 101 requires that Low-Barrier Navigation Centers (LBNC) be a by-right use in areas zoned for mixed-use and nonresidential zones permitting multi-family uses. LBNC provide temporary room and board with limited barriers to entry while case managers work to connect homeless individuals and families to income, public benefits, health services, permanent housing, or other shelter.

*(Policy H5.4)*

**Time Frame:** Within two years of adoption of the Housing Element

**Objectives:** City ensures compliance with AB 2162 and AB 101 and other legislation



**Implementing Agency:** Planning Division


**Funding Source:** General Fund

## RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION

### RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION

**Goal H6**      **Continue efforts to encourage energy efficiency in housing construction and maintenance.**

- Policy H6.1**  *Roseville Electric shall pursue reasonable and cost-effective energy efficiency, conservation, and load management programs that provide benefits to the community.*
- Policy H6.2**  *Roseville Electric shall continue to apply energy-efficiency requirements to all residential construction.*
- Policy H6.3** *Roseville Electric shall continue the Electric Rate Assistance Programs for residential customers whose medical status or income qualify.*

Roseville’s conservation efforts contribute to needed reductions of greenhouse gas emissions. Such sustainable goals and policies throughout the General Plan are designated with an icon: .

### Implementation Measures/Programs

#### 35. ROSEVILLE ELECTRIC PROGRAM

Peak Load Management Program

Roseville Electric will continue to explore and implement peak load management programs deigned to most efficiently manage energy use during critical peak demand.

Energy Audits



Roseville Electric will continue to offer online energy audits and custom energy information to aid customers in reducing home energy costs. These tools will include suggestions for low- and no-cost conservation practices and an analysis of recommended energy efficiency measures.

#### Energy Efficiency Rebates and Renewable Energy Rebates

Roseville Electric will continue to offer rebates to electric customers who install or upgrade their homes with qualified energy-efficiency measures. Renewable energy options are available through Roseville Electric's community solar program. Electric Rate Assistance Programs

Roseville Electric offers a discount to residential customers whose income is no greater than specified by the US Department of Housing and Urban Development as "very low" for Placer County. Roseville Electric also offers Medical Support Rate Reductions for customers who have medical devices in their homes.

Roseville Electric may offer energy efficiency rebates to low-income customers through a partnership with the City's Housing Division.

#### Roseville Utility Exploration Center

The Utility Exploration Center is an interdepartmental project sponsored by Roseville Electric and the Environmental Utilities Department with support from the Parks, Recreation and Libraries Department and the City Manager's Office. The center is a key component of Mahany Park and is a one-of-a-kind center offering an exciting new take on preserving our natural resources and protecting our environment through new technologies and measures in energy efficiency, water efficiency, recycling, and water quality, with environmentally sustainable building materials making the center an exhibit in itself. The center offers children and adults fun and interactive tools for learning.

#### Community Solar Program

Roseville Electric Utility offers a solar option for residents interested in solar without long-term commitments or the need to install costly equipment. This program offers various participation levels as well as options for income qualified residents. The program began in 2019 as a pilot and is expected to continue through 2029.

*(Policies H6.1, H6.2, H6.3)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Meet the City's Renewable Portfolio Standards requirements.

**Implementing Agency:** Roseville Electric Department, Housing Division

**Funding Source:** Roseville Electric

### 36. NEW CONSTRUCTION EFFICIENCY MEASURES

The Roseville Building Department will continue to enforce Title 24 of the Building Code. Title 24 is the State residential energy conservation standard, which defines construction standards for energy requirements to promote energy efficiency and conservation.

*(Policies H6.1, H6.2)*

**Time Frame:** Ongoing, as applications are received.

**Objectives:** Review 100% of building permits for consistency with Title 24 requirements.

**Implementing Agency:** Building Department

**Funding Source:** General Fund

## QUANTIFIED OBJECTIVES

Table X-1 provides the City’s quantified housing availability objectives for the 8-year planning period by income group and strategy type (e.g. new construction, rental assistance, etc). These quantified objectives are based on the City’s RHNA, which allocates the City 6,178 units lower income units and 12,066 total units.

**Table X-1 | Quantified Objectives By Income Group**

	<b>Extremely Low</b>	<b>Very Low</b>	<b>Low</b>	<b>Moderate</b>	<b>Above Moderate</b>	<b>Total</b>
New Construction	1,320	1,660	2,260	1,636	4,150	11,026
Rental Assistance	610	205				815
First Time Homebuyer/Affordable Purchase			10	130		140
Housing Rehabilitation		60	60			120
Unit Conservation						
Housing Agreements <sup>1</sup>	28	831	1,913			2,772
Purchase Agreements <sup>2</sup>				45		45
Homebuyer Assistance <sup>3</sup>		10				10
Housing Voucher <sup>4</sup>	551	184				735
Other programs <sup>5</sup>	20	50	50	35		155
<b>Total Quantified Objectives</b>	<b>2,529</b>	<b>3,000</b>	<b>4,293</b>	<b>1,846</b>	<b>4,150</b>	<b>15,818</b>
<b>AFFH Units<sup>6</sup></b>	<b>1,724</b>	<b>2,551</b>	<b>4,038</b>	<b>1,651</b>	<b>4,102</b>	<b>14,066</b>

1. The City’s affordable housing agreements will maintain the affordability of 2,000 units during the 8-year housing cycle; details are provided in Table X-20.
2. The City’s affordable purchase housing agreements create and secure the affordability of purchase housing for moderate income households. The program will assist a minimum of 45 households during the 8-year housing cycle.
3. The First Time Homebuyer Down Payment Assistance Program targeted to low-income households will assist at least 10 households to secure and maintain affordable housing during the eight-year housing cycle.
4. The City’s Housing Choice Voucher Program (HCV) provides rental assistance to extremely and very low income households, to ensure their housing remains affordable. At least 75% of the 735 vouchers are required to target extremely low income households.
5. The City offers multiple other conservation programs, including programs aimed at ensuring housing remains affordable and habitable; utility rate discounts which target extremely low and low income households, as well as households with medical devices in their homes; and allowing shared housing to enable persons with disabilities to use their voucher in housing shared with non-related persons.
6. This is the subset of the Total Quantified Objectives which are part of an Affirmatively Furthering Fair Housing program which directly results in housing production or conservation. This includes new construction units within High or Highest Opportunity areas (93% or 10,204 units); rental assistance and vouchers which are used in areas of High or Highest opportunity, in areas at risk of displacement, or are offered only to certain special needs groups pursuant to Program 1 (minimum 30%, minimum 30%, and minimum 40%, respectively, for a total of at least 775 units so directed); first-time homebuyer units which target disadvantaged populations and are units located in High or Highest Opportunity areas (minimum of 40/40% split respectively with a minimum of 150 units), Rehabilitation units which target disadvantaged communities (100% with a minimum of 120 units), and Housing Agreements and Purchase Agreements for units within High or Highest Opportunity areas (100% with a minimum of 2,817 units). These totals include units created by funding assistance from Programs 9 and 12, the City’s In-Lieu funds and Housing Successor Agency funds (100% of the existing funds will be used for projects in areas at risk of displacement).



## COMMUNITY PROFILE

### Population Characteristics

#### POPULATION GROWTH

According to the California Department of Finance, the population total for the City of Roseville is 145,163. When looking at the US Census, the City's population has risen steadily over the last ten years, increasing 18.2% from 118,788 in 2010. Roseville's population growth began in the late 1980s, due mainly to a strong economy and development in the City's specific plan areas.

**Table X-2 | Population**

Jurisdiction	Total Population		Growth	
	2010	2020	Total Increase	Percentage
Roseville	118,788	145,163	26,375	18.2%
Placer County	348,432	403,711	55,279	13.7%

Source: 2010 Census and California Department of Finance

### Age Characteristics

Although population growth strongly affects total demand for new housing, housing needs are also influenced by age characteristics. Typically, different age groups have distinct lifestyles, family characteristics, incomes, and housing preferences. As people move through each stage of life, their housing needs and preferences also change. Age characteristics are therefore important in planning for the changing housing needs of residents.

According to the 2014–2018 ACS, a little more than half (51.8%) of the population is working age, between 20 and 59 years of age, and a little more than one-quarter (26.2%) of the population is school age or below, between 0 and 19 years of age. The population 60 years and over represents the remaining percentage of 22%. The age distribution for Roseville is presented in Table X-3.

**Table X-3 | Age Characteristics, 2014 to 2018**

Years of Age	Number	Percentage
0–5	7,715	5.8%
5–9	9,081	6.8%
10–14	8,940	6.7%
15–19	9,183	6.9%
20–24	7,811	5.9%
25–34	15,711	11.8%
35–44	18,795	14.1%
45–54	18,426	13.8%
55–64	15,225	11.4%
65–74	11,968	9.0%
75–84	6,695	5.0%
85 and over	3,499	2.6%
<b>Median Age</b>	<b>39.1 years</b>	

Source: 2014–2018 ACS

## Race and Ethnicity

As shown in Table X-4, the largest racial group in Roseville according to 2014–2018 ACS identified themselves as white (68.5%), followed by Asian (10%). Hispanics represented 15.2% of the population in Roseville.

**Table X-4 | Race and Ethnicity, 2014–2018**

Race/Ethnicity	Number	Percentage
White	91,180	68.5%
African American	2,303	1.7%
American Indian/Alaska Native	284	0.2%
Asian	13,363	10%
Hawaiian/Pacific Islander	280	0.2%
Some Other Race	5,464	4.1%
Hispanic	20,175	15.2%

Source: 2014–2018 American Community Survey (5-year estimates)

## HOUSEHOLD CHARACTERISTICS

Household type and size, income levels, and other household characteristics determine the type of housing needed by residents. This section details the various household characteristics affecting housing needs.

### Households Type and Size

A household refers to the people occupying a home, such as a family, a single person, or unrelated persons living together. Family households often prefer single-family homes or condominiums to accommodate children, while non-family households generally occupy smaller apartments or condominiums.

Table X-5 displays household composition as reported by the 2014–2018 American Community Survey (5-year estimates). In the City of Roseville, families comprised 68.9% of all households, of which 34.6% have children under 18 years of age. The average household size was 2.68 persons.

**Table X-5 | Household Characteristics, 2014–2018**

	Number	Percentage
Total Households	49,204	100.0%
Family Households	33,872	68.8%
Families with Children Under 18	17,040	34.6%
Non-Family	15,332	31.2%
<b>Average Household Size</b>	<b>2.68 persons</b>	

Source: 2014–2018 American Community Survey (5-year estimates)

### Overcrowded Housing

The US Census defines overcrowding as more than one person per room in a housing unit. The Census includes living rooms, dining rooms, bedrooms, kitchens, finished attics and basements, recreation and family rooms, permanently enclosed porches, and rooms used for offices in the definition of a “room.”



According to the 2012–2016 Comprehensive Housing Affordability Strategy (CHAS) data, 0.9% of Roseville’s owner-occupied households (approximately 270 units) and 3.0% of renter-occupied households (approximately 500 units) were overcrowded (more than 1 person per room). Generally, overcrowding reflects a household’s inability to afford a larger housing unit.

Overcrowding does not appear to be a significant problem in Roseville. However, it can be assumed that those households living in an overcrowded situation are most likely lower-income households that cannot afford to rent market-rate, adequately-sized units that meet their space needs.

## Household Income

Along with housing prices and rents, household income is the most important factor affecting housing opportunities in Roseville. Housing choices such as tenure (owning versus renting), housing type, and location are dependent on household income. On the other hand, household size and type often affect the proportion of income that can be spent on housing.

For the purpose of evaluating housing affordability, housing need, and eligibility for housing assistance, income levels are defined by guidelines adopted each year by the California Department of Housing and Community Development (HCD). For Placer County, the area median income (AMI) for a family of four in 2020 was \$80,100.

- Extremely Low Income           Up to 30% of AMI (\$0–\$25,100)
- Very Low Income                30–50% of AMI (\$25,101–\$40,050)
- Low Income                        50–80% of AMI (\$40,051–\$64,100)
- Moderate Income                80–120% of AMI (\$64,101–\$96,100)
- Above Moderate Income       Above 120% of AMI (more than \$96,100)

**Table X-6 | Placer County Income Limits, 2020**

Income Category	Household Size							
	1 Person	2 Persons	3 Persons	4 Persons	5 Persons	6 Persons	7 Persons	8 Persons
Extremely Low	\$16,850	\$19,250	\$21,650	\$25,100	\$29,420	\$33,740	\$38,060	\$42,380
Very Low	\$28,050	\$32,050	\$36,050	\$40,050	\$43,300	\$46,500	\$49,700	\$52,900
Low	\$44,900	\$51,300	\$57,700	\$64,100	\$69,250	\$74,400	\$79,500	\$84,650
Moderate	\$67,250	\$76,900	\$86,500	\$96,100	\$103,800	\$111,500	\$119,150	\$126,850

Source: HCD 2020

## Extremely Low-Income Households

In 2020, the median income for a household of four in Placer County was \$80,100. Households that earn 30% or less than the county’s median income are considered “extremely low-income.” The 2012–2016 Comprehensive Housing Affordability Strategy (CHAS) data indicate that 4.9% of owner-occupied households (1,485) and 17.6% of renter-occupied households (2,935) are extremely low income.

The Roseville Housing Authority (RHA) is authorized to provide 785 households with Housing Choice Voucher (HCV) rental assistance. This total includes special vouchers for the following special needs groups:

- 75 vouchers for households with a head-of-household or spouse that are non-elderly and disabled (NED)
- 65 vouchers for veteran households that come by referral from the Veterans Affairs Department (VASH)
- 33 vouchers that assist households who have a non-elderly adult with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless (Mainstream – new program in 2018)
- 30 vouchers that are attached to specific units at the Main Street Plaza affordable project (Project Based Vouchers new program in 2020). Of the 30 PBV vouchers:
  - 1 is a regular HCV voucher
  - 10 are regular vouchers layered with Placer County Mental Health Services Act funding,
    - 3 of these households must come from homeless
  - 19 are VASH vouchers
- 50 new Emergency Housing Vouchers for those who are homeless or at risk of homelessness, fleeing or attempting to flee domestic violence, dating violence, sexual assault, stalking, or human trafficking, recently homeless, or having high risk of housing instability (new program in 2021)

All of the HCV programs listed above support Roseville households that are extremely low-income. The Housing Choice Voucher Rental Assistance Program requires that 75% of households admitted to the program each year earn 30% of the area median income or less. Between 2013 and 2020, RHA issued 282 vouchers to new households. Over the last 8 years, RHA has assisted 26 extremely low-income households per year, at the minimum.

In addition to the City's Housing Choice Voucher program, the City has multiple programs serving the homeless population or populations at risk of homelessness; these are extremely low income populations. Supportive programs include Programs 20 through 24, which create opportunities for permanent supportive housing, create and fund rehousing plans to move people from temporary to permanent shelter, provide rental assistance, prevent displacement, and undertake preservation programs; link homeless individuals to services throughout the County; respond to family crisis situations and calls from minors to connect individuals to support and services which will avoid homelessness; connect individuals experiencing homelessness with family and friends who can support the person; and use Homeless Emergency Assistance and Rapid Transition to Housing Act funding, respectively.

## Cost Burden

State and federal housing law defines cost-burdened households as those paying more than 30% of gross income for housing expenses. Housing cost burdens are especially problematic for lower-income households that have limited resources for other living expenses. For renters, housing costs include rent and utilities paid by the tenant. For owners, housing costs include mortgage payment, taxes, insurance and utilities. According to HUD's definition, housing is not affordable, and a cost burden occurs when households pay more than 30% of their income for housing costs and a severe cost burden occurs when households pay more than 50% for housing costs.

Table X-7 shows to what extent occupied housing units (households) are cost burdened for housing cost by their income category in the City of Roseville. Of the lower-income households in the city, 11,505 (24.0%) were cost burdened. For homeowners, data on cost burden takes into account whether the home is owned free and clear or whether it is mortgaged.



Table X-7 | Total Households Overpaying by Income

Income Range	Renter-Occupied		Owner-Occupied		All Occupied Housing	
	Number	Percentage	Number	Percentage	Number	Percentage
Extremely Low (0–30%AMI)	2,715	38.6%	1,505	33.7%	4,220	36.7%
Very Low (30–50% AMI)	1,930	27.4%	1,210	27.1%	3,140	27.3%
Low (50–80% AMI)	2,390	34.0%	1,755	39.3%	4,145	36.0%
Total Burdened Households	7,035	41.6%	4,470	14.4%	11,505	24.0%
<b>Total Households</b>	<b>16,910</b>	<b>–</b>	<b>30,940</b>	<b>–</b>	<b>47,850</b>	<b>–</b>

Source: 2013–2017 CHAS data

## EMPLOYMENT CHARACTERISTICS

### Roseville's Labor Force

According to data from the 2013–2017 U S Census American Community Survey (5-year estimates), the City of Roseville has 65,414 persons in the civilian labor force, of which 61,692 are employed. At the time of data collection, the City had an unemployment rate of 5.7%. Of the employed persons, the top occupations were management, business, and financial occupations; and sales and office occupations (see Tables X-8 and X-9). Table X-10 provides the number of persons within each business sector to the percent each industry represents.

Table X-8 | Summary of Labor Force

Summary Information	
Total In civilian labor force	65,414
Civilian employed population 16 years and over	61,692
Unemployment rate	5.7%
Average travel time to work	25.8 minutes

Source: 2013–2017 U S Census American Community Survey (5-year estimates)

Table X-9 | Employment by Occupation

Occupation	Number	Percentage	Median Income
Management, business, and financial occupations	27,938	45.3%	\$71,804
Service occupations	9,766	15.8%	\$20,422
Sales and office occupations	16,873	27.4%	\$39,276
Natural resources, construction and maintenance occupations	3,715	6.0%	\$50,216
Production, transportation, and material moving occupations	3,400	5.5%	\$32,606
<b>Total</b>	<b>61,692</b>	<b>100%</b>	

Source: 2013–2017 American Community Survey (5-year estimates)

**Table X-10 | Business by Sector**

Business by Sector	Number of Workers	Percent	Number of Jobs
Agriculture, Mining, Oil, and Gas Extraction	145	0.2%	50
Arts, Entertainment, Accommodations and Food Services	5,590	9.1%	8,963
Construction	3,254	5.3%	3,825
Education, Health Care and Social Assistance	14,795	24.0%	14,699
Finance, Insurance, and Real Estate	5,819	9.4%	7,696
Information	1,346	2.2%	943
Manufacturing	3,779	6.1%	3,442
Other Services [except Public Administration]	2,732	4.4%	2,611
Professional, Scientific, Management Services	7,592	12.3%	5,260
Public Administration	4,526	7.3%	1,721
Retail Trade	7,785	12.6%	12,525
Transportation and Warehousing	2,457	4.0%	887
Wholesale Trade	1,872	3.0%	1,732
<b>Total</b>	<b>61,692</b>	<b>100%</b>	<b>64,354</b>

Source: 2013–2017 American Community Survey (5-year estimates). SACOG 2019. (Workers). 2015 and 2017 Longitudinal Employer-Household Dynamics (LEHD) (Jobs).

NOTE: Labor Market is residence based, not work location based. These data represent the industry sector in which the resident population works.

## HOUSING STOCK CHARACTERISTICS

This section describes the housing characteristics and conditions that affect housing needs in Roseville. Important housing stock characteristics include housing type, tenure, vacancy rates, age, condition, cost, and affordability.

### Housing Type

According to the 2014–2018 American Community Survey, 76.4% of the city’s housing stock was made up of single-family homes, 22.9% was multi-family units, and the remaining 0.7% was mobile homes.

**Table X-11 | Housing Units by Housing Type**

Housing Type	Number	Percentage
Single-Family Detached	40,337	73.8%
Single-Family Attached	1,414	2.6%
Multi-Family 2–4 Units	2,827	5.2%
Multi-Family 5+ Units	9,653	17.7%
Mobile Homes	390	0.7%
<b>Total Housing Units</b>	<b>54,621</b>	<b>100.0%</b>

Source: 2014–2018 American Community Survey



## Housing Tenure

Housing tenure (owner versus renter) can be affected by many factors, such as housing cost (interest rates, economics, land supply, and development constraints), housing type, housing availability, job availability, and consumer preference.

Table X-12 details housing tenure in Roseville according to the 2014–2018 American Community Survey. Almost two thirds of Roseville households were owner-occupied (65.2%), leaving a little more than one third renter-occupied (34.8%).

**Table X-12 | Housing Tenure**

Housing Tenure	Number	Percentage
Owner-Occupied Households	32,080	65.2%
Renter-Occupied Households	17,124	34.8%

Source: 2014–2018 American Communities Survey

## Vacancy Rate

Vacancy rates of 5% to 6% for rental housing and 1.5% to 2.0% for ownership housing are generally considered to be optimum. A higher vacancy rate may indicate an excess supply of units and a softer market, and result in lower housing prices. A lower vacancy rate may indicate a shortage of housing and high competition for available housing, which generally leads to higher housing prices and diminished affordability.

Table X-13 shows the occupancy status of the housing stock according to the 2014–2018 ACS. The City of Roseville had a rental vacancy rate of 6.6% and an ownership vacancy rate of 0.9%. The vacancy rate among rental households is slightly higher than optimum while the vacancy rate among for sale households is lower than optimum.

**Table X-13 | Occupancy Status of Housing Stock, 2014–2018**

Type	Number	Percentage
Occupied	46,986	95.5%
Vacant	2,218	4.5%
For rent	1,129	2.3%
For sale	319	0.6%
Rented or Sold, not occupied	322	0.7%
For seasonal/recreational or occasional use	146	0.3%
All other vacant	302	0.6%
<b>Total Owner Households</b>	<b>32,080</b>	----
For Sale Vacancy Rate		0.9%
<b>Total Renter Households</b>	<b>17,124</b>	----
For Rent Vacancy Rate		6.6%
<b>Total Households</b>	<b>49,204</b>	<b>100.0%</b>

Source: 2014–2018 American Community Survey

## Condition of Housing Stock

There are several ways to assess the condition of housing stock and estimate the need for housing rehabilitation, including the age of housing stock, estimates obtained from experts within the city, or surveys. As a general rule in the housing industry, structures older than 30 years begin to show signs of deterioration and require reinvestment to maintain their quality. Unless properly maintained, homes older than 50 years require major renovations to remain in good condition. If not properly and regularly maintained, housing can deteriorate and discourage reinvestment, thereby depressing neighboring property values and impacting the quality of life in a neighborhood. Maintaining and improving housing quality is an important goal for the City.

In July and August 2020, the City undertook a housing conditions windshield survey of units built prior to 1980 and looked at a few select neighborhoods (reference Figure X-1 for each neighborhood surveyed), which included homes built within any time frame, to assist with determining the condition of housing stock. The City's survey methods were consistent with both US Department of Housing and Urban Development (HUD) and California Department of Housing and Community Development (HCD) guidelines. The windshield survey included only an exterior assessment of the condition of the roof, siding, windows, and foundation. Interior conditions were not inspected.

The condition of housing was assessed by an exterior survey of quality, condition, and improvement needed. Each residential structure was scored according to structural criteria established by the HCD. There are five structural categories (foundation, roofing, siding, windows, and electrical). Based on scores assigned to the five categories, each housing structure was rated as being in sound or dilapidated condition, or in need of minor, moderate, or substantial repairs (defined below).

The majority of units, 504 units (72.01%), were found to be in sound condition, with 148 units (21.14%) in need of minor and 45 units (6.42) requiring moderate repairs. Only 3 units (0.43%) were in need of substantial rehabilitation or in dilapidated condition (see Figure X-1).

According to the 2014–2018 American Community Survey (ACS), approximately 22.2% of the city's housing stock was built prior to 1980 and 8.7% prior to 1960. Looking at the ACS and the 2020 housing condition survey results, it is safe to assume that approximately 25% of the housing stock is in need of some type of rehabilitation.

### DEFINITION OF HOUSING CONDITIONS

**Sound** – A unit that appears new or well maintained and structurally intact. The foundation should appear structurally undamaged and there should be straight roof lines. Siding, windows, and doors should be in good repair with good exterior paint condition. Minor problems such as small areas of peeling paint and/or other maintenance items are allowable under this category.

**Minor** – A unit that show signs of deferred maintenance, or which needs only one major component, such as a roof.

**Moderate** – A unit in need of replacement of one or more major components and other repairs, such as roof replacement, painting, and window repairs.

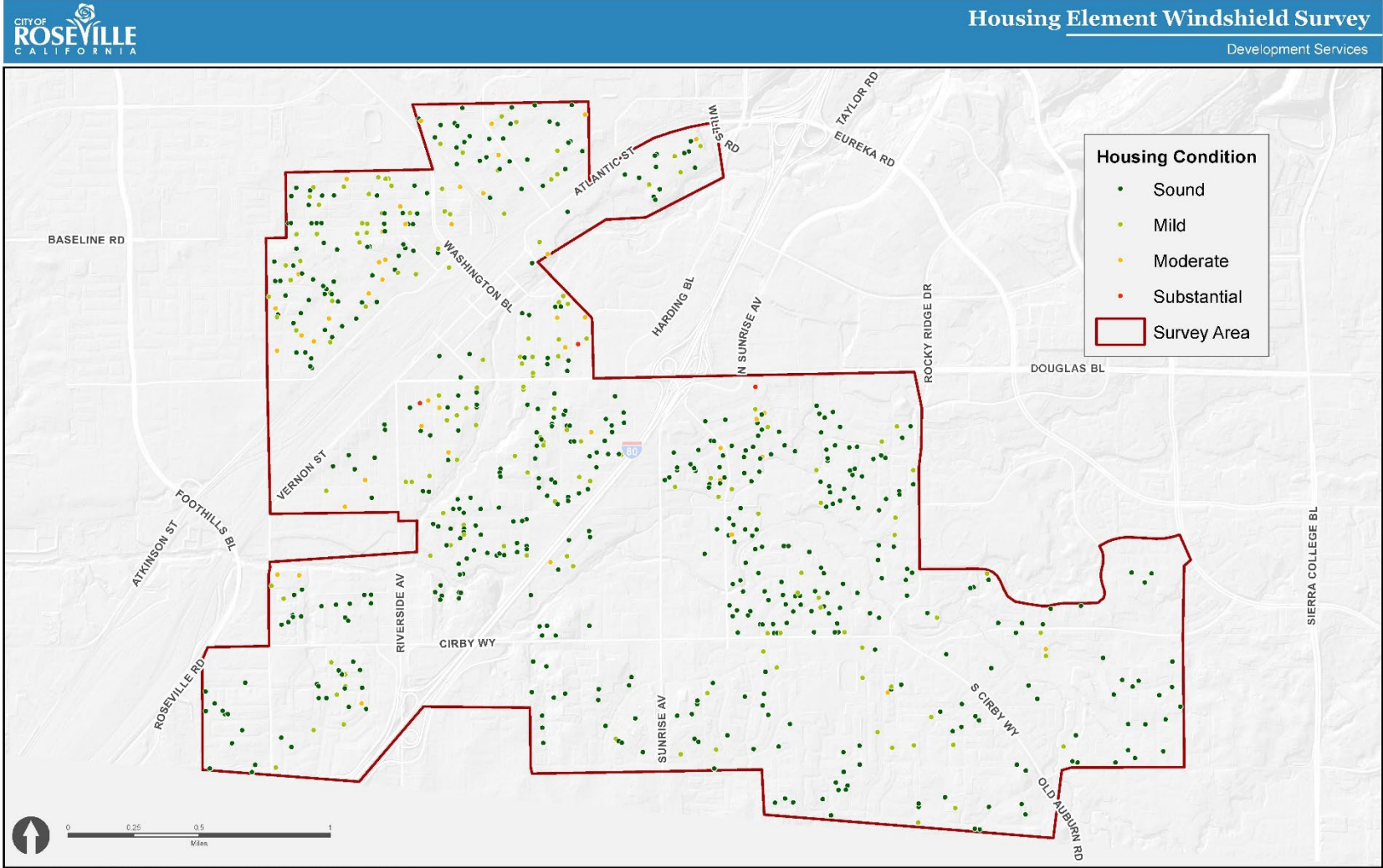
**Substantial** – A unit that requires replacement of several major systems and possibly other repairs (e.g., complete foundation work, roof structure replacement and re-roofing, as well as painting and window replacement).

**Dilapidated** – A unit suffering from excessive neglect, where the building appears structurally unsound and maintenance is nonexistent, is not fit for human habitation in its current condition, may be considered for demolition, or at minimum, major rehabilitation will be required.

Through this survey, the City was able to identify specific rehabilitation needs and formulate efforts to meet such needs. Based on the windshield survey, 196 units (28.0%) of those surveyed (700 units) were in need of rehabilitation. A large majority of units that require rehabilitation; 148 units (75.5%) require only minor rehabilitation.



Figure X-1 | 2020 Housing Condition Survey Results



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## Housing Rehabilitation

The Roseville Housing Rehabilitation Program provides a means to preserve Roseville's housing stock affordable to lower-income households. The Housing Rehabilitation Program assists low-income, owner-occupied households with deferred loans up to \$100,000 for health and safety repairs and general property improvements, and provides \$5,000 grants to elderly and disabled owner-occupied households to address health and safety repairs. Over the eight-year planning period, an estimated 50 households (6 per year) will be assisted with the Housing Rehabilitation Program during 2021–2029.

The City's Housing Rehabilitation Program maintains an ongoing waiting list of low-income, owner-occupied households in need of housing rehabilitation and completes an average of 6 rehabilitation projects each year.

## Housing Cost and Affordability

One of the major barriers to housing availability is the cost of housing. In order to provide housing to all economic levels in the community, a wide variety of housing opportunities at various prices should be made available. Housing affordability is based on the relationship between household income and housing expenses. According to the US Department of Housing and Urban Development (HUD) and the California Department of Housing and Community Development, housing is considered “affordable” if the monthly housing cost is no more than 30% of a household's gross income.

## SALES PRICES

The median sales price for homes in Roseville for the period from May 2020 to July 2020 was \$492,000. This figure represents an increase 1.4%, or \$6,500, compared to the prior quarter and an increase of 5.8% compared to the prior year. Sales prices have appreciated 29.5% over the last five years in Roseville. The average sale price for Roseville homes for sale on Redfin.com was \$495,000 for the week ending August 28, 2020. The market was in the most competitive range with most homes getting multiple offers and sell for around the list price. Average price per square foot for Roseville was \$277 in 2020, an increase of 4.1 % compared to the same period in the previous year (see Table X-14).

**Table X-14 | Median Sales Prices**

No. Bedrooms	May – July 2020	Year of Year Change	3 Months Prior	1 Year Prior	5 Years Prior
1 bedroom	\$245,000	+2.08%	\$240,000	\$247,000	\$138,500
2 bedrooms	\$370,000	+2.77%	\$320,000	\$360,000	\$200,660
3 bedrooms	\$449,900	+5.64%	\$385,000	\$425,000	\$342,000
4 bedrooms	\$594,000	+6.26%	\$550,000	\$559,000	\$482,000
<b>All properties</b>	<b>\$492,000</b>	<b>+5.80%</b>	<b>\$485,500</b>	<b>\$465,000</b>	<b>\$380,000</b>
Square Foot (average)	\$277	+4.1%	\$269	\$266	\$199

Source: MetroList Services (MLS) Comparative Market Analysis (CMA) Report, August 2020. Realtor.com. [https://www.realtor.com/realestateandhomes-search/Roseville\\_CA/housing-market](https://www.realtor.com/realestateandhomes-search/Roseville_CA/housing-market), Redfin.com <https://www.redfin.com/city/16146/CA/Roseville/housing-market>. Accessed September 24, 2020

(1) Realtor.com website data

## RENTAL PRICES

In August 2020, a rental survey was conducted to determine rent rates for housing units in Roseville (see Table X-15).



Table X-15 | Rental Cost

Number of Bedrooms	Monthly Rental Range	Median Monthly Rental
1 bedroom	\$744–\$3,400	\$1,450
2 bedrooms	\$888–\$5,000	\$1,865
3 bedrooms	\$1,023–\$4,180	\$2,197
4 bedrooms	\$2,195–\$6,000	\$2,595

Source: Forrent.com, realton.com, Zumper.com, August 2020

## HOUSING AFFORDABILITY

Table X-16 provides the affordable rents and maximum purchase price, based on the 2020 HCD income limits for Placer County. As shown in Table X-16, the maximum affordable rent for a very low-income four-person household is \$916 monthly. As shown in Table X-15, two-bedroom apartments were renting for \$888 to \$5,000, meaning that very low-income households would be able to afford a two-bedroom apartment at the lowest end of the rent spectrum. But the number of units affordable at this level are limited.

The median sales price for single-family homes in Roseville has almost fully recovered from the 2008 recession low and had a 29.5% increase in the last five years. From May 2020 to July 2020, the median sales prices in the city were \$449,900 for a three-bedroom home, and \$370,000 for a two-bedroom home and \$245,000 for a one-bedroom home. (Table X-14). The maximum affordable sales price for a four-person household is \$152,244 for a very low-income household, \$251,279 for a low-income household, and \$398,883 for a moderate-income household. This indicates that low-income households would be able to afford a one-bedroom home and moderate income households would be able to afford a one or two-bedroom home in Roseville..

Table X-16 | Housing Affordability by Income Level

	Income Level		
	Very Low	Low	Moderate
Annual Income	\$43,150	\$69,050	\$103,550
Monthly Income	\$3,596	\$5,754	\$8,629
Maximum Monthly Gross Rent <sup>1</sup>	\$916	\$1,561	\$2,426
Maximum Purchase Price <sup>2</sup>	\$152,244	\$251,279	\$398,883

Source: 2020 income limits: HCD; Monthly mortgage calculation: primelending.com

<sup>1</sup> Affordable housing cost for renter-occupied households assumes 30% of gross household income, not including utility cost.

<sup>2</sup> Affordable housing sales prices are based on the following assumed variables: approximately 10% down payment, 30-year fixed rate mortgage at 3.75% annual interest rate.

## OVERPAYMENT

Housing cost burden is the most prevalent housing issue facing Roseville residents, even among homeowners and upper income households. HUD defines affordable housing costs to be no more than 30% of a household's gross income, including utilities. Very low-income (VLI) and extremely low-income (ELI) households (those between 31-50% AMI and those below 30% AMI respectively) experience a cost burden greater than 50% of income to a significantly greater degree than households in the low- or moderate-income categories (51% AMI or greater). VLI and ELI households have little, if any, disposable income available to handle unexpected expenses or income disruption and have a higher rate of becoming homeless. The City's programs are responsive to VLI and ELI households needs.

According to CHAS data, using 2013-2017 ACS data, approximately 33.2% of Roseville households paid more than 30% of their income towards housing costs. HUD considers households paying more than 50% of their income

towards housing costs to be “cost burdened” and at risk of losing their housing. In Roseville, 14.1% of households paid more than 50% of income.

Of the VLI renters, 89.4% are cost burdened and 53.9% are extremely cost burdened. In the ELI renters, the data is significantly different finding that 78.7% are cost burdened and 74.3% are extremely cost burdened. However, even at the highest income-levels (>100% AMI) 9.3% of renters are cost burdened, and 40.9% of moderate-income renters (>80% to 100% AMI) are cost burdened.

Statewide, 72.6% of ELI households are renters. However, in Roseville the number are more evenly divided between renters and homeowners with 63.9% of ELI households are renters, and 36.1% are homeowners. This finding supports the City’s efforts to manage programs that address both ELI renters and owners, such as rental assistance and owner occupied rehabilitation programs.

Overall, in Roseville, 47.8% of renters are cost burdened and 23.6% are severely cost burdened. Of the City’s homeowners, 25.2% are cost burdened and 9.0% are severely cost burdened. Statewide, 51.1% of renters are cost burdened and 26.6% are severely cost burdened. For homeowners, the City’s percentages are lower than California homeowners where statewide 30.8% are cost burdened and 13.3% are severely cost burdened.

## SPECIAL NEEDS GROUPS

In accordance with Section 65583(a)(6) of the Government Code, this section of the Housing Element evaluates the special housing needs and needs for supportive housing services within the City of Roseville. Special housing needs categories include persons with disabilities, seniors, large families, female-headed households, farmworkers, and homeless individuals and families.

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process. Public Service programs that serve all special needs groups over the last 8 years include:

- Lighthouse Counseling Services
- Handyperson Program
- Supportive Housing Case Management
- BAGS Program for Elderly and Disabled Adults
- Transportation Services
- Child and Family Therapy
- Transitional Housing for Homeless Persons with Mental Illness
- Emergency Homeless Shelter
- Mental Health Clinician
- Family Mental Wellness Counseling
- Housing Supportive Services
- Fair Housing Services

### Persons with Disabilities

The 2014–2018 ACS identified 9.8% (13,164 persons) of Roseville’s population 5 years and older as having one or more disabilities. There are a variety of disabilities, including sensory, physical, mental, and developmental. Disabilities can result in mobility, self-care, and employment limitations. Of the 13,164 persons identified to have a disability, 5,294 are within the labor force age group of 18-64 years old. Within this labor force group, 2,119 are employed (40%), 330 are unemployed (6.2%), and 2,845 (53.7%) are not considered eligible to be included the labor force. The majority of disabled persons have income significantly lower than that of the non-disabled population and require housing



assistance. While it is difficult to determine how many of the disabled require supportive housing services, it can be assumed that those with mobility and/or self-care limitations have special needs and require in-home supportive services and special housing accommodations. Table X-17 provides information on disabled Placer County residents, by type of disability.

Placer Independent Resource Services (PIRS) is a primary resource for disabled persons in Placer County, including in the City of Roseville. PIRS advocates for the rights of people with disabilities, educates the community about disability issues, and provides services to persons with disabilities to live independent, productive lives. PIRS identified a need for programs that provide assistance with accessibility improvements that create more accessible and safer home living environments for the disabled and senior populations.

Persons with mental health disabilities range from those that can live and work within the community to those with severe mental illness that require special housing accommodations, constant medical attention, and supportive services. Placer County Adult System of Care (ASOC) provides a variety of services to the mentally ill. ASOC identifies housing as a constant struggle for the severely mentally ill. Mental health clients are typically low income; in addition, their illnesses have resulted in rental histories or credit histories that do not meet typical rent requirements and limit their housing options.

The Roseville Housing Authority will continue to apply for the following Housing Choice Vouchers when applications are made available:

- Non-Elderly Disabled (NED) - used to provide rental assistance to households with a member who is under the age of 62 and disabled
- Veterans Administration Supportive Housing (VASH) – used to house veteran households who are homeless or at risk of becoming homeless
- Mainstream (MV) – used to house households with a disabled non-elderly adult who is transitioning out of institutional and other segregated settings, or is currently homeless or at risk of becoming homeless

Residential care facilities and single-room occupancy (SRO) units provide additional housing options for the disabled. These housing types can house persons with similar disabilities, assist with case management efforts, and provide an environment where residents support one another.

In summary, disabled persons generally do not have the financial capacity to pay for needed accommodations or modifications to their homes. In addition, disabled persons need housing in close proximity to public services and public infrastructure and facilities that are accessible with special design features that alleviate the disability. The City offers multiple programs to help close this gap, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable. The City also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years.

The City adopted a Reasonable Accommodation Ordinance to provide a process for individuals with disabilities to make requests for reasonable accommodation in regard to relief from the various land use, zoning, rules, policies, practices and/or procedures of the City. Reasonable accommodation is necessary in instances where an accommodation is needed in order to make housing available or livable for a person with a disability. The process allows approval of ministerial accommodations (ramps, walls, handrails, or other minor physical improvements) by the Planning Manager. Other requests are forwarded to the Planning Commission as a request for an Administrative Permit.

Although the City has established this process, it is rarely used, primarily because the City's existing land use, zoning, and other procedures are not unduly burdensome and do not generally restrict individuals from making the necessary improvements to a property. For example, a typical improvement would be a ramp with hand rails to replace a step up

to a porch or front door. The City's Zoning Ordinance does not apply setbacks or other regulations to decks (and similar structures) of up to 30 inches tall, which is equivalent to between four and seven steps, depending on the riser height. When they are included at all, homes typically only have a few steps up to the front door, and therefore the City's existing development regulations already accommodate the addition of a ramp. The City's existing development regulations do not unduly restrict improvements to property needed to support individuals with disabilities, and has established a Reasonable Accommodation Ordinance for those rare instances where an improvement may not meet development regulations.

**Table X-17 | Disabled Residents, by Disability Type (Placer County)**

Age Group and Disability Type	# of People	% of Disabled Residents	% of Total Population
<b>Hearing Difficulty</b>	<b>13,782</b>	<b>19%</b>	<b>4%</b>
Under 18 years	460	1%	--
18 to 64 years	3,641	5%	--
65 years and over	9,681	13%	--
<b>Vision Difficulty</b>	<b>5,795</b>	<b>8%</b>	<b>2%</b>
Under 18 years	223	0%	--
18 to 64 years	2,424	3%	--
65 years and over	3,148	4%	--
<b>Cognitive Difficulty</b>	<b>14,198</b>	<b>19%</b>	<b>4%</b>
Under 18 years	2,070	3%	--
18 to 64 years	6,839	9%	--
65 years and over	5,289	7%	--
<b>Ambulatory Difficulty</b>	<b>18,990</b>	<b>26%</b>	<b>5%</b>
Under 18 years	234	0%	--
18 to 64 years	6,389	9%	--
65 years and over	12,367	17%	--
<b>Self-care difficulty</b>	<b>7,566</b>	<b>10%</b>	<b>2%</b>
Under 18 years	649	1%	--
18 to 64 years	2,272	3%	--
65 years and over	4,645	6%	--
<b>Independent living difficulty</b>	<b>13,915</b>	<b>19%</b>	<b>4%</b>
18 to 64 years	5,719	8%	--
65 years and over	8,196	11%	--
<b>TOTAL DISABLED RESIDENTS</b>	<b>74,246</b>	<b>--</b>	<b>19%</b>

Source: 2015–2019 American Community Survey, based on a population of 382,926 people

## PERSONS WITH DEVELOPMENTAL DISABILITIES

Senate Bill (SB) 812 requires the City to include in the “Special Housing Needs Analysis”, the needs of individuals with a developmental disability within the community. According to Section 4512 of the Welfare and Institutions Code, “developmental disability” means a disability that originates before an individual attains age 18 years, continues, or can be expected to continue, indefinitely, and constitutes a substantial disability for that individual which includes mental retardation, cerebral palsy, epilepsy, and autism. This term also includes disabling conditions found to be closely related to mental retardation or to require treatment similar to that required for individuals with mental retardation but does not include other handicapping conditions that are solely physical in nature.

Many developmentally disabled persons can live and work independently within a conventional housing environment. More severely disabled individuals require a group living environment where supervision is provided. The most severely affected individuals may require an institutional environment where medical attention and physical therapy are



provided. Because developmental disabilities exist before adulthood, the first issue in supportive housing for the developmentally disabled is the transition from the person's living situation as a child to an appropriate level of independence as an adult.

The Alta California Regional Center provides the City point of entry to services for people with developmental disabilities. The center is a private, non-profit community agency that contracts with local businesses to offer a wide range of services to individuals with developmental disabilities and their families.

The information in the tables below from the Alta California Regional Center provides a closer look at the disabled population.

**Table X-18 | Developmentally Disabled Residents, by Age, for Roseville**

Roseville Zip Codes	0–14 Years	15–22 Years	23–54 Years	55–65 Years	65+ Years	Total
95661	231	22	17	0	5	275
95678	343	50	23	0	0	420
95747	678	48	22	2	2	752
<b>Total</b>	<b>1252</b>	<b>120</b>	<b>62</b>	<b>2</b>	<b>2</b>	<b>1447</b>

Source: Alta California Regional Center Client Master File, March 2021

There are a number of housing types appropriate for people living with a development disability: rent-subsidized homes, licensed and unlicensed single-family homes, inclusionary housing, Housing Choice Vouchers (aka Section 8), special programs for home purchase, HUD housing, and SB 962 homes. The design of housing-accessibility modifications, the proximity to services and transit, and the availability of group living opportunities represent some of the types of considerations that are important in serving this special needs group. Incorporating “barrier-free” design in all new multi-family housing is especially important to provide the widest range of choices for disabled residents.

**Table X-19 | Developmentally Disabled Residents, by Residence Type**

Zip Code Area	Home of Parent/ Family/ Guardian	Independent/ Supported Living	Community Care Facility	Intermediate Care Facility	Foster Family /Home	Other	Total
95661	231	22	17	0	0	5	275
95678	343	50	23	0	0	4	420
95747	678	48	22	2	2	0	752
<b>Total</b>	<b>1252</b>	<b>120</b>	<b>62</b>	<b>2</b>	<b>2</b>	<b>9</b>	<b>1447</b>

Source: Alta California Regional Center Client Master File, March 2021

In order to assist in the housing needs for persons with developmental disabilities, the City will continue to implement programs to coordinate housing activities and outreach with the Alta California Regional Center and encourage housing providers to designate a portion of new affordable housing developments for persons with disabilities, especially persons with developmental disabilities, and pursue funding sources designated for persons with special needs and disabilities. The City offers multiple programs to help close this gap, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable. The City also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a “High Performing Housing Authority” for the past fifteen years.

More than twenty (20) years ago, the Roseville Housing Authority (RHA) adopted a policy allowing Shared Housing under their Housing Choice Voucher (HCV) Program. Shared Housing enables persons who may have developmental disabilities to be able to use their voucher in housing that is shared with other non-related persons. The rent and rental subsidy for these households is then based on the use of only one bedroom (or two if a live-in aide is required). The HCV rental assistance Shared Housing option does not take into account the income of the other household members who may actually be assisting in providing some independence for the developmentally disabled HCV participant. RHA has had a number of developmentally disabled individuals make use of this option of Shared Housing and has received positive feedback from the participants, their families and landlords regarding the benefit of this provision.

## Female Heads of Household

Female-headed households are considered a special needs group because of the higher incidence of poverty in this type of household as compared with all families. Most female-headed households are either single women over the age of 65 or single women (mothers or other female relatives) with minor children.

Of the 33,872 families in the City, according to the 2014–2018 ACS, 4,893 were female-headed families, or 14.4%. Approximately 53.2% (2,604) of female-headed families have minor children. Approximately 19.3% of female-headed families are classified as living below the poverty level and 23.5% have children under the age of 18. Comparatively, only 6.6% of all families in Roseville had household incomes below the poverty level.

It may be assumed that the majority of lower-income, female-headed households are cost burdened for housing (i.e., more than 30% of their income) or are experiencing other unmet housing needs. As a result of poverty, female heads of families often spend more on immediate needs such as food, clothing, transportation, and medical care than on home maintenance, which results in living units falling into disrepair. Female-headed families have a greater need for affordable housing, located in areas near child care, schools, parks, transportation, shopping, and other services. Access to affordable childcare can be particularly key for female-headed households with minor children. The City's regulations provide for childcare in all but the Industrial zones of the City; in-home daycare is a by-right residential use. Childcare facilities are also permitted in commercial zones and are permitted as an accessory use to a school or church.

In addition to the City's overall programs to provide affordable housing, including the Housing Choice Voucher program (in combination with the Shared Housing program), the City's affordable housing goal to provide 10% of all new units as affordable, and the Electric Rate Assistance Program, the City also offers programs which can specifically assist with issues more particular to female-headed households. The City's Owner Occupied Rehabilitation Program assists residents such as these whose homes may fall into disrepair because funds are needed for food and transportation.

The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years. The City's Housing Rehabilitation program has assisted 49 households with general repairs, 47 with exterior paint, and 417 households with handyperson repairs. The City continues to offer this program and targets the assistance of a minimum of 15 households annually, for a total of 120 over the housing cycle.

## Seniors

According to the 2014–2018 ACS, there are 22,162 seniors (persons age 65 or older) residing in Roseville. Seniors age 65 and older account for 16.7% of the city's population. Examining the last decade of data on seniors and tenure indicates that rates of homeownership and rental have remained fairly steady. Approximately 28% of homeowners are seniors while approximately 16% of renters are seniors. Seniors are more likely to have lower incomes than the general population, and according to the 2014–2018 ACS, 9.0% of the senior population is at or below the poverty level. Many seniors face financial challenges due to limited incomes and need affordable housing. Seniors also face housing challenges related to physical disabilities. Many of the disabilities are age related, including declining mobility and self-care issues that interfere with their ability to remain independent.

Seniors have a variety of housing options, including:



- Independent living – seniors reside in their home or apartment with little support or care
- Assisted living facilities – senior maintains a level of independence, residing in an apartment and receives varied levels of support and assistance such as light housekeeping, meals, transportation, and/or medication
- Residential care facilities – typically a smaller licensed facility, often with 6 or fewer residents, that provides services similar to those provided by assisted living facilities
- Intermediate care or skilled nursing facilities – a licensed facility that provides a higher, continuous level of professional care

Although there are a variety of housing options for seniors, and all housing options are available in Roseville, facilities providing supportive services and a higher level of care are expensive. Most affordable senior housing is classified as independent living and does not provide supportive services. Lower-income seniors cannot afford to take advantage of many of the housing options and consequently, remain in independent living situations struggling with self-care issues.

Seniors First/Senior Link, located in Placer County, provides a link to variety of senior programs, referral services, and housing options and serves as an advocate for seniors within the community. The Area 4 Agency on Aging serves a seven-county area including the City of Roseville.

In addition to the City's overall programs to provide affordable housing, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, the City's affordable housing goal to provide 10% of all new units as affordable, and the Electric Rate Assistance Program, the City also offers programs which can specifically assist with senior low income households. This includes the Medical Support Rate Reduction for customers with medical devices in their homes. Seniors often struggle with medical difficulties related to age which require equipment, such as oxygen, that can require more energy than average. Offering reduced electric rates for these residents can significantly reduce expenses related to necessary medical devices. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years and Roseville Electric currently assists over 1,700 households with rate assistance.

## Large Families

Large families are defined by HUD as family households with five or more persons. The 2014–18 ACS reports that 9.2% of the total households (4,528 households) in Roseville are large families, and of those 33% are renters and 67% are homeowners. Data from the City's 2020 Consolidated Plan found that of the large families, 70.1% have an AMI greater than 100% and 5.4% are moderate income. Low-income large families make up 7.5% of the total of large families in the City; and fewer than 300 or 6.5% of the large families are extremely low-income.

For renters, the Consolidated Plan data showed that 625 large families were cost burdened and 310 large family renters were extremely-cost burdened. There were 335 large family homeowners that were cost burdened, and 215 that were extremely cost-burdened.

There are approximately 23,395 units (47.5%) in the city with three or more bedrooms, indicating that the City of Roseville has a sufficient supply of large housing units for the 4,528 large households residing in the city. Of the total number of all sizes of units, for homeowners, 85% of the housing stock have 3 or more bedrooms and 37% of the rental units have 3 or more bedrooms. Since the proportion of for-sale and rental housing closely aligns with the number of large households which are owners versus renters, the City's housing stock provides sufficient supply by tenure type.

The City's housing supply includes sufficient units in total and by tenure type to support large families, and other than living space the needs of lower income large families are similar to those of other lower income households. Therefore, the City's programs to help close affordability gaps, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable provides the needed support for this special needs group. The City

also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years.

## Farmworkers

Farmworkers tend to have low incomes due to the lower-paying nature of their work. The Employment and Earnings of California Farmworkers in 2015 by U.C. Davis and the California Employment Development Department reveals that the average annual earnings of persons with at least one farm job in California was \$20,500, which is below the extremely low income limit for a family of four. Farmworkers who are permanent residents, particularly those who are part of large family households, face many of the same difficulties in obtaining suitable affordable housing as other extremely low-income families. Farmworkers who migrate on a seasonal basis face the issue of finding suitable, short-term housing.

The City of Roseville does not contain any farmlands, nor does the City have agricultural or farmland zoning or land use designations. The 2013–2017 ACS indicates that 0.2% of the working population (persons 16 years and older) are employed in the broader agriculture, mining, oil, and gas extraction industries (50 jobs total). In the greater County, the U.S. Census of Agriculture (2017) indicates there are 277 hired farm labor positions (farms) and a further 1,386 farm labor positions (workers). Of the farm labor workers, 67% work fewer than 150 days, which generally means these are seasonal jobs.

In some cases farmworker housing is provided on or adjacent to farms and agricultural facilities in rural County areas, but there are benefits to farmworker households living in cities, because there is greater access to services. Farmworker households share many factors in common with other extremely low income housing, as they need very low cost housing combined with larger units, so that multiple households can share accommodations—and therefore costs. As evaluated in the Large Families section of the Housing Element, above, nearly half of the City's housing units have three or more bedrooms, making them suitable for shared households. The City also has many programs which support extremely low income households. For example, the City's Housing Choice Voucher Rental Assistance program requires that 75% of vouchers serve extremely low income families. Because the number of farmworkers in the City and within Placer County is very low and the needs of this group are shared by other extremely low income households, the City's programs serving extremely low income households and the City's capacity of large units will provide support for this special needs group.

## Homelessness

People struggling with homelessness have complex, multiple needs and require integrated and coordinated services. A lack of affordable housing can make it difficult for families to move from shelters and temporary supportive housing into permanent housing and puts many low-income families at risk of becoming homeless as well. It is difficult to estimate the number of individual households and households with children who are at risk of becoming homeless. It can be assumed that those most at risk are lower-income households with severe cost burden (households pay more than 50% of their income for housing costs).

Each January Placer County and its partners participate in the annual Point in Time Count and interview homeless individuals. A point-in-time count is simply a snapshot reflecting those persons identified as homeless for one night and is not an absolute number. Many people move in and out of homelessness throughout a year. According to the 2020 count, the City of Roseville had 197 homeless persons. Most, 73 percent, said they lived in Placer County at least one year before becoming homeless. The infographic below provides information regarding homeless persons within Placer County. As shown, the number of homeless individuals counted in Roseville has been consistently dropping over the past several years. The 2021 count was not conducted due to safety concerns related to COVID-19, but it is expected there has been an increase in the number of homeless individuals resulting from COVID-19 impacts.

The City's homeless population tends to be most concentrated in the central area of the City. The central area of the City is a hub for transit and trails, and has robust access to services, employment, and open spaces and parks. There



are multiple non-profits which operate in this area, providing overnight shelter, meals, and access to restrooms and other facilities. The City also operates both warming and cooling centers in this area.

The analysis in the table below is based on the 2020 count, since that is the most recent complete data set. When applying an equity lens to homelessness there are two key questions to ask: whether certain racial or ethnic populations are disproportionately affected by homelessness and whether racial or ethnic populations are receiving shelter services equitably. The evaluation below compares the percentage of a racial or ethnic population as it relates to: the total population, the homeless population, and the homeless population receiving shelter services. If populations were not disproportionately affected and services are evenly distributed, then the percentage of the total population, homeless population, and sheltered population for each racial or ethnic group should closely align<sup>3</sup>.

**Table X-20 | Homeless Population Demographics**

Race or Ethnicity	% of Total Population	% of Homeless Population	% of Sheltered <sup>1</sup> Population
<b>Placer County</b>			
<b>American Indian or Alaska Native</b>	0.3%	4.7%	4.4%
<b>Asian</b>	6.8%	1.2%	1.2%
<b>Black or African American</b>	1.4%	8.5%	12.1%
<b>Hispanic/Latino</b>	13.6%	13.8%	15.9%
<b>Multiple Races</b>	3.7%	2.4%	5.6%
<b>Native Hawaiian or Other Pacific Islander</b>	0.1%	0.4%	0.6%
<b>White</b>	73.8%	80.2%	76.1%
<b>City of Roseville</b>			
<b>American Indian or Alaska Native</b>	0.2%	2.5%	8.1%
<b>Asian</b>	10.0%	1.0%	2.5%
<b>Black or African American</b>	1.7%	8.6%	18.1%
<b>Hispanic/Latino</b>	15.2%	13.7%	13.8%
<b>Multiple Races</b>	4.1%	9.1%	4.4%
<b>Native Hawaiian or Other Pacific Islander</b>	0.2%	1.0%	0%
<b>White</b>	68.5%	65.0%	28.8%

Source: 2020 Point in Time Count and 2013 to 2017 ACS 5-Year Estimates. Total homeless population is 744 people and total sheltered population is 405 people.

1. "Sheltered" means people who are homeless and receiving housing from an emergency, transitional, or safe haven shelter.

At both the county and local level there are variances between population-level demographics and homeless population demographics. Some of these figures seem like small variances—for example the Native Hawaiian or other Pacific Islander community is 0.1 percent of the Placer County population and 0.4 percent of the homeless population, which is only an increase of 0.3 percent. However, this means that this group is overrepresented in the homeless population by a factor of four times. At the County level the most disproportionately impacted communities are the American Indian or Alaskan Native community, which is overrepresented by a factor of sixteen times; the Black or African American community, by a factor of six times; and the Native Hawaiian or other Pacific Islander community, by a factor of four times.

When examining those receiving services at a shelter, there are two populations receiving shelter at disproportionately lower rates, though the disproportionality is relatively low. The American Indian or Alaskan Native community and the white population accessing shelter services are both underrepresented by a factor of one time.

<sup>3</sup> That is if a particular group is 50% of the total population, then that group should make up close to 50% of the homeless population and 50% of the sheltered population.

At the local (Roseville) level homelessness disproportionately impacts the American Indian or Alaskan Native community, by a factor of thirteen times; the Black or African American community, by five times; and the Native Hawaiian or other Pacific Islander community, by five times. The most disproportionately impacted communities at the County level remain the most impacted in Roseville, but the degree of the impact is slightly reduced.

In response to the patterns and trends observed above, the City's Homeless Prevention and Rapid Rehousing program (Program 12 and Program 20) has been amended to include annual monitoring to determine whether the funding is being equitably distributed, and commit to making funding adjustments if not. The Fair Housing Program (Program 27) also includes monitoring of the demographics of the beneficiaries of housing and service programs, and includes meeting monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.

While the Hispanic or Latino community is, based on the analysis above, not disproportionately affected by homelessness or underrepresented in accessing shelter services, it is important to consider that this homeless population may be undercounted. The Latino Leadership Council conducts grassroots outreach to the Latino community, which includes outreach and assistance activities for people struggling with homelessness. During Housing Element outreach, the Latino Leadership Council indicated that fear of being questioned about immigration status inhibits people from seeking services, and that many members of the Latino community hide or avoid contact during homelessness surveys. This fear impacts both documented and undocumented individuals, because people struggling with homelessness or other housing insecurity may simply not have access to their documentation.

In response to this feedback, the City invited the Latino Leadership Council to join the monthly coordination meetings for homeless outreach organizations, added the Latino Leadership Council to the City's list of homeless support service organizations, contacted service agencies and provided a confirmed list of support organizations that affirmed they do not ask about immigration status, and provided the Latino Leadership Council with contact information for the City's Social Services Unit to improve coordination in the field. The City's Homeless Outreach program also emphasizes building trust within communities where distrust is widespread and acts as a barrier to accessing services.

The City of Roseville, Placer County, other cities in Placer County, service agencies, and faith-based organizations collaborate to support and work as part of a cooperative effort through the Placer Collaborative Network (PCN) and the Placer Consortium on Homelessness (PCOH) (a subgroup of the PCN) to address homelessness and provide comprehensive services on a regional basis. In addition to regional collaboration, the City has an internal Homeless Response Team made up of representatives from Housing, Parks and Open Space, Police Department's Social Services Unit (SSU), City Attorney's Office, and Public Affairs and Communication. Roseville Police Department's SSU uses a balanced approach of services and enforcement, with a team including Problem Oriented Policing (POP) officers, a sergeant for the unit, outreach workers, Placer County Probation, a family mobile unit, and a mental health crisis team. Through a partnership with the City, Placer County and the Downtown Roseville Partnership (DRP), the City has secured homeless outreach workers who work with Police Department's Social Services Unit and the County.

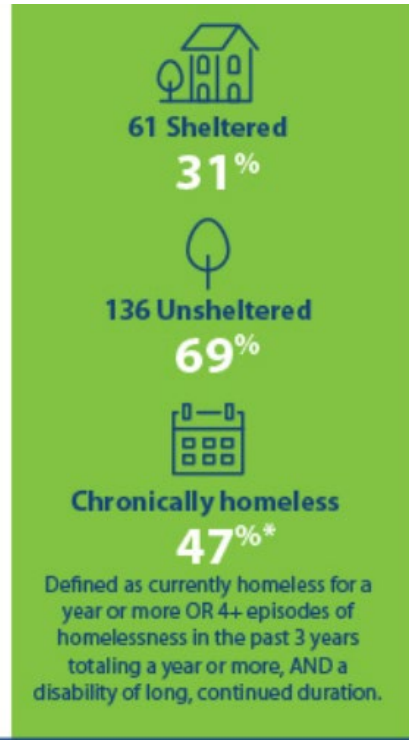
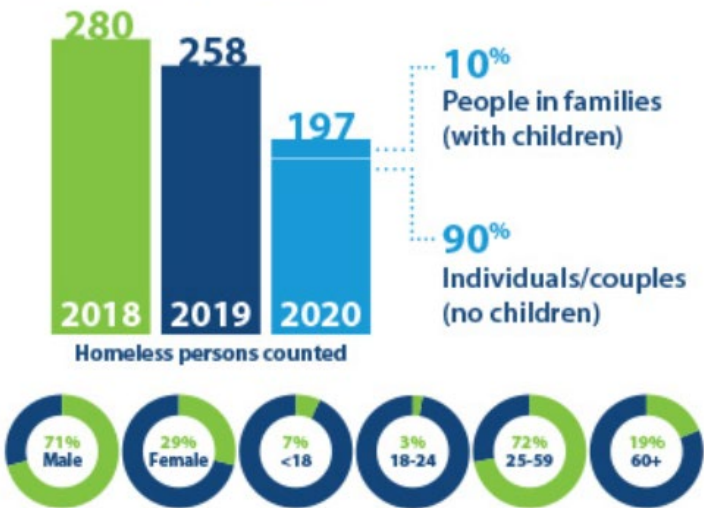
Through the support of Kaiser Permanente, the City is a member of the Built for Zero team along with Placer County's Adult System of Care and The Gathering Inn. Built for Zero is a data driven and system wide approach to encourage a place where homelessness is rare overall and brief when it occurs. As part of the Built for Zero initiative, the City participates in regional collaboration to house the most vulnerable homeless residents of Placer County.

The spectrum of City and regional housing and services includes outreach and SSU services, accessing ready to rent programs, mental health, food and healthcare services, accessing emergency shelter, accessing transitional housing programs, obtaining rental assistance, obtaining an affordable housing unit, living with family or friends, and utilizing ongoing supportive services to maintain housing.



### 2020 Point-in-time count results

City of Roseville homeless count continues to drop. Each January, Placer County and its partners survey homeless individuals. A point-in-time count is only a snapshot reflecting those persons identified as homeless for one night and is not an absolute number. Many people move in and out of homelessness throughout a year.



### Most said they lived in Placer County at least 1 year before becoming homeless:



Initiated in 2017 by a three-year partnership with Sutter, the City continues to administer and fund the Homeless Prevention and Rapid Rehousing program to help homeless service providers keep people housed and address barriers to housing. Non-profits apply for funds annually to provide grants to residents for utility bills, credit and background check fees, deposits, rent, and more.

Roseville Housing Authority provides rental assistance, which allows participants of the program to remain housed, preventing homelessness. More than half of participants are senior or disabled and about 75 percent are extremely low-income (earning 0-30 percent of Area Median Income). Roseville Housing Authority addresses homelessness with several different vouchers specifically for the homeless population:

- VASH vouchers permanently house homeless veterans
- Mainstream vouchers permanently house homeless non-elderly disabled

- Project Based Vouchers with Mental Health Services Act (MHSA) funding establish permanent supportive units for homeless with a disability.

Placer County's homeless service providers strive to meet the multiple needs of the homeless and provide integrated, coordinated services. Placer County and Roseville services can be accessed by calling 211 Connecting Point, which is a resource and information hub that connects people with community programs and services through a searchable web page and 24/7 local call center serving Nevada County, Placer County, and the Tahoe-Truckee region. For a complete listing of homeless resources available in Placer County, please refer to Appendix G.

The City's past programs focused heavily on the use of vouchers and emergency housing, and though these programs were successful—serving nearly 1,000 households—the City's homeless population continued to struggle to find resources and long-term housing. Leading up to this Housing Element cycle, the City convened a task force spanning multiple Departments, including Housing, Planning, Economic Development, Parks and Recreation, and Police, to develop new programs and add new staff to provide better assistance. The City's current Housing Element now includes multiple programs to assist unsheltered populations and those in danger of becoming unsheltered. These programs include the Homeless Outreach program to link homeless individuals to services and build trust with unsheltered individuals, the Family Mobile Team which responds to family crisis situations, the Family Reunification Program which seeks to link homeless individuals with supportive friends or family, and the City's existing programs which have been brought forward, which include Regional Housing Programs and the Homeless Prevention and Rapid Rehousing Programs.

## ANALYSIS OF AT-RISK HOUSING

State housing element law requires the analysis of government-assisted housing units that are eligible to convert from low-income housing to market-rate housing during the next 10 years due to expiring subsidies, mortgage prepayments, or expiration of affordability restrictions and the development of programs aimed at their preservation. Consistent with State law, this section identifies publicly assisted housing units in the City and analyzes their potential to convert to market rate housing uses.

### Inventory of Affordable Units

A list of the City's assisted housing developments, including expiration dates, is provided in Table X-21 and the locations are shown in a map in Figure X-2. There are three assisted multi-family rental housing development in the City that have government assistance and/or expirations of restrictions on use that will expire during this Housing Element period and one that is at-risk in the 10-year period. Units include: Somerset Hill, 25 units that expire in 2024; Colonial Village, 56 units that will expire in 2025 and 34 units at Preserve at Creekside that will expire in 2029. In the 10 year period, 62 units at Manzanita Place will expire. The City will continue to monitor these at-risk units and should a notice of intent to convert to market rate be filed, work with potential purchasers to preserve the units, and ensure that tenants were properly notified of their rights under California law.

Table X-22 lists the inventory of at-risk units in the 10-year period. A total of 177 units are at-risk in the City over the 10-year period and 115 units are at-risk in the 9-year period that is the effective term of this housing element. The 25 units at Somerset Hill and 34 units Preserve at Creekside are considered highest priority, due to owner types. Somerset Hill and Preserve at Creekside are owned by profit motivated entities. Somerset Hill is managed by a national firm that manages 12 housing developments in the City, including other affordable housing developments.

Colonial Village was developed and is currently owned and managed by Project Go. Inc., a Roseville housing non-profit that also developed, owns, and operates 236 elderly affordable units at Maidu Village I, II and III. As a mission driven non-profit, the Colonial Village units are low-risk. Manaznita Place with 62 units for the elderly is owned by Volunteers of America, a non-profit organization and will most likely seek to preserve affordability therefore is also considered low-risk.



Table X-21 | Affordable Housing Developments

Apartment Complex	Earliest Date Affordability Period Expires	Type of Government Assistance Received	Very Low-Income Units 0–50% AMI	Low-Income Units 51–80% AMI	Total Units	Units per Acre
<b>Senior Apartments</b>						
Eskaton Roseville Manor 1725 Pleasant Grove Boulevard	2050	HUD 202/811; City HOME funds; Low Mod fund	48 @ 50%		49	19.6
Maidu Village I Apartments (Elderly 62+) 1750 Eureka Road	2041	LIHTC; City covenant		79 @ 60%	80	13.6
Maidu Village II Apartments (Senior 55+) 101 Sterling Court	2040	LIHTC; City covenant		82 @ 60%	84	25.6
Maidu Village III Apartments (Senior 55+) 109 Sterling Court	2059	LIHTC; City Low Mod Fund	23 @ 50%	52 @ 60%	76	22.9
Manzanita Place (Elderly 62+) 1019 Madden Lane	2030	LIHTC; HUD 202/811; City Low Mod Fund	62 @ 50%		63	35
Silver Ridge Apartments (Senior 55+) 1101 Stone Canyon Drive	2033	LIHTC; City covenant	30 @ 50%	125 @ 60%	156	29
Sutter Terrace Apartments (Elderly 62+) 6725 Fiddymont Road	2038	LIHTC; HUD; CalHFA; City Low Mod Fund	19 @ 50%	80 @ 60%	100	25
Vintage Square at Westpark 2351 Wharton Lane	2064	LIHTC; City Affordable Housing Fund	75 @ 50%	75 @ 60%	152	19.3
Woodcreek Terrace Apartments (Senior 55+) 1295 Hemingway Drive	2039	LIHTC; City covenant	4 @ 50%	99 @ 60%	104	19.5
<i>Subtotal of Units per Income Limit</i>			261	592		
<b>Multi-Family Apartments</b>						
Campus Oaks Apartments Phase I 500 Roseville Parkway	2042	LIHTC; CDBG; City Low Mod Fund	42 @ 50%		186	20.4

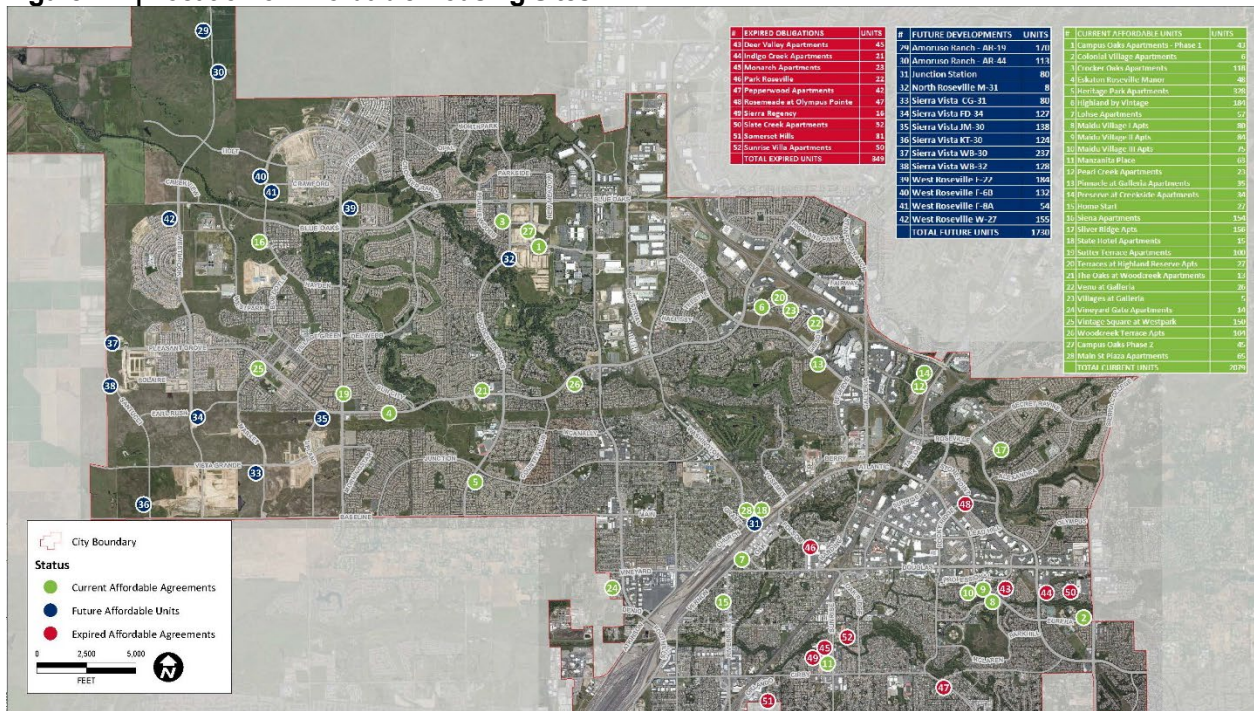
Campus Oaks Apartments Phase II 350 Roseville Parkway	2073	LIHTC	45 @ 50%		210	23.6
Colonial Village Apartments 3881 Eureka Road	2025	LIHTC; City covenant	50 @50%	6 @ 60%	56	12.87
Crocker Oaks Apartments 8000 Painted Desert Way	2042	LIHTC; CDBG; City Low Mod Fund	14 @ 50%	52 @ 60%	131	21
Villages at Galleria (formerly Haverhill) 701 Gibson Drive	2032	City covenant		20 @ 80%	321	15.3
Heritage Park Apartments 1098 Woodcreek Oaks Boulevard	2047	LIHTC; City covenant	65 @ 50%	260 @ 60%	328	19.4
Highland by Vintage 800 Gibson Drive	2043	LIHTC; City Low Mod Fund	54 @ 50%	129 @ 60%	184	21.5
Lohse Apartments 623 Vernon Street	2070	LIHTC; City Housing Taxable Bonds Fund	5 @ 30% 15 @ 40% 20 @ 50%	15 @ 60%	56	50
Main Street Plaza Apartments 140 Main Street	2072	LIHTC; HUD, CDBG; City covenant	8 @35%	12@ 60%	21	56
Main Street Plaza Apartments 134 Main Street	2072	LIHTC; CDBG; City covenant	23@30% 6@50%	14@60%	44	56
The Oaks at Woodcreek Apartments 1550 Pleasant Grove Boulevard	2031	LIHTC; City covenant		34 @ 60%	80	14.81
Pearl Creek 1298 Antelope Creek Drive	2044	City covenant	9 @ 50%	14 @ 80%	224	19.1
Pinnacle at Galleria Apartments 1100 Roseville Parkway	2031	City covenant		12 @ 60% 23 @ 80%	200	16.42
Preserve at Creekside 1299 Antelope Creek Drive	2029	City covenant		34 @ 100%	336	19.1
Siena Apartments 2501 Hayden Pkwy	2064	LIHTC; City Low Mod Fund	78 @ 50%	77 @ 60%	156	22.5
Somerset Hill 3 Somer Ridge Drive	2024	CalHFA		25	124	
State Hotel Apartments 324 Lincoln Street	2058	City Low Mod Fund	15 @ 50%		15	15
Terraces at Highland Reserve Apartments 700 Gibson Drive	2032	City covenant		27 @ 80%	273	18.2



Venu at Galleria Apartments 301 Gibson Drive	2034	City covenant		26 @ 80%	258	20.12
Vineyard Gate Apartments 1601 Vineyard Road	2032	City covenant		5 @ 60% 9 @ 80%	280	19.35
<i>Subtotal of Multi-Family Units per Income Limit</i>			449	794		
<b>Total Number of Units per Income Limit</b>			<b>710</b>	<b>1,386</b>		

Source: City of Roseville, 2021; California Housing Partnership Preservation Database, 2021; State of California, Office of the Treasurer, List of (LIHTC) projects, 2021

Figure X-2 | Location of Affordable Housing Sites



**Table X-22| Inventory of At-Risk Units in the Ten-Year Period**

Year	Name of Project	Non-Elderly Units	Elderly Units	Total
2021	No Projects At risk	0	0	0
2022	No Projects At risk	0	0	0
2023	No Projects At risk	0	0	0
2024	Somersett Hill	25	0	25
2025	Colonial Village Apartments	56	0	56
2026	No Projects At risk	0	0	0
2027	No Projects At risk	0	0	0
2028	No Projects At risk	0	0	0
2029	Preserve at Creekside	34	0	34
2030	Manzanita Place	0	62	62
<b>Total</b>		<b>115</b>	<b>62</b>	<b>177</b>

Source: City of Roseville, 2021; California Housing Partnership Preservation Database, 2021; State of California, Office of the Treasurer, List of (LIHTC) projects, 2021

## Preservation Options

Preservation of the high-risk units can be achieved in several ways: 1) facilitate transfer of ownership, or purchase of similar units, of these projects to nonprofit organizations; 2) purchase of affordability covenants; 3) provide rental subsidies and 4) construction of new units. Preservation of the low-risk units often includes rehabilitation and renewal of rent subsidies.

### Transfer of Ownership

Long-term affordability of lower income units can be secured by transferring ownership of these projects to non-profit housing organizations. By doing so, these units would be eligible for a greater range of government assistance. In most situations, unless some form of mortgage assistance is available to the interested nonprofit organizations, rental income alone from the lower income tenants would not likely be adequate to cover the mortgage payment, and rental subsidy would be required.

### Purchase of Affordability Covenants

Another option to preserve the affordability of the at-risk project is to provide a financial assistance package to the owner to maintain the project as affordable housing. Assistance could include writing down the interest rate on the remaining loan balance (if funding source allows), providing a lump-sum payment, and/or supplementing the rents to market levels.

### Rent Subsidy

Project and tenant-based rent subsidies could be used to preserve the affordability of housing. In addition to Housing Choice Vouchers, the City through a variety of potential funding sources could provide a voucher to low-income households. The level of the subsidy required to preserve the at-risk affordable housing is estimated to equal the Fair Market Rent for a unit minus the housing cost affordable by a low-income household.



### Construction of Replacement Units

The construction of new low-income housing units is a means of replacing the at-risk units if they are converted to market-rate units. The cost of developing housing depends upon a variety of factors, including density, size of the units (i.e., square footage and number of bedrooms), location, land costs, and type of construction.

**Table X-23 | New Construction Replacement Cost Estimates**

Expiration Time Period	Number of Units	Costs
2021 – 2025	81	\$22,586,850
2026 - 2030	96	\$26,769,600

Note: Costs in 2021 dollars. Cost based on actual development cost per affordable unit in the City from four recent affordable developments. The cost of a unit ranges from \$198,525 to \$350,000 with the average cost per unit at \$278,850.

**Table X-24 | Investment Value of At-Risk Housing Units Estimates**

Expiration Time Period	Number of Units	Costs
2021 – 2025	81	\$14,587,290
2026 - 2030	96	\$17,288,640

Note: Cost in 2021 dollars. Investment value is estimated using the Gross Rent Multiplier Method (GRM) with the following assumptions. All units are 1 bedroom and have a median monthly market rent of \$1,450 (Table X-15). The GRM for Sacramento-Roseville-Arden Arcade is 10.35. Apartment Property Valuation data accessed 3/15/2021.

### Cost Comparison

The cost to build new housing to replace the 177 at-risk units has an estimated total cost of more than \$49,355,000. The cost of new construction is substantially higher than the estimated cost associated with purchase/ transfer of ownership which is \$31,875,000.

## PUBLIC AND PRIVATE NONPROFIT ENTITIES

Public and Private nonprofit entities serving Placer County, including Roseville, known to the City and Qualified Entities that have the legal and managerial capacity to acquire and manage these housing developments.

- ACLC, Inc.
- Affordable Housing Foundation
- Auburn Villa Tenant Association
- Christian Church Homes of Northern California
- Eskaton Properties, Inc.
- Pacific Housing, Inc.
- Project Go, Inc.
- ROEM Development Corporation
- Rural California Housing Corp
- Sacramento-Yolo Mutual Housing Association
- Volunteers of America National Services

## RESOURCES FOR PRESERVATION

The City has access to state, federal and local funding that can be used to preserve assisted housing developments. These programs include

### Community Development Block Grant (CDBG)

The CDBG Program is administered by HUD. Through this program, the federal government provides funding to jurisdictions to undertake community development and housing activities. The City's FY 2021-22 allocation is approximately \$730,000. A portion of these funds are frequently used to assist non-profit organizations that support affordable housing opportunities to low-income households.

### Home Investment Partnership Act (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for lower income households (<80 percent of AMI). The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. The City, or a developer, can apply for HOME funds which can be used for activities that promote affordable rental housing and homeownership by low-income households: An example of the City's use of HOME funds includes assisting with 49 affordable elderly units in 2010.

### Permanent Local Housing Allocation (PLHA)

The PLHA program provides a permanent source of funding to all local governments in California to help cities and counties implement plans to increase the affordable housing stock. Funding amounts will vary from year to year based on annual revenues to the Building Homes and Jobs Trust Fund.

### Housing Choice Voucher Assistance (HCV)

The City administers the Roseville Housing Authority and manages the Housing Choice Voucher program, which extends rental subsidies to very-low income (up to 50 percent of AMI) family and seniors who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the actual rent.

### City of Roseville Affordable Housing Fund Program

The City holds in-lieu fees, in addition to loan payoffs from the Affordable Purchase Program. In Lieu fees totaling \$1,036,410 were collected between 2013 and 2021. These fees are part of the \$4.36M reservation of funds for the 80 affordable units project at Junction Crossing.



Junction Crossing is a 100% affordable, 80-unit apartment complex proposed by St. Anton, a non-profit housing entity. Slated for 120 Pacific Street in Old Town Roseville, this complex will house 20 studio apartments and 60 one-bedroom units. The project will have 55-year affordability covenants.



## Unit Conservation

Important components of the City's affordable housing strategy are programs aimed at maintaining and improving existing affordable housing stock. The following programs, in addition to the Housing Rehabilitation Program, will help conserve housing affordability.

- The City will continue the practice of using Affordable Rental Housing Agreements to secure the affordability of rental housing on a long-term basis. These agreements will maintain affordability for approximately 2,700 units during the eight-year planning period.
- The City will continue the practice of using Affordable Purchase Housing Agreements to create and secure the affordability of purchase housing for middle income buyers. These agreements will create and maintain affordability for approximately 45 units during the eight-year planning period
- The First Time Homebuyer Down Payment Assistance Program targeted to low-income households could assist up to 10 households during the eight-year planning period if the average cost of homes in Roseville decreases and the program receives future funding.
- The City's Housing Choice Voucher (HCV) Program administered by the Roseville Housing Authority (RHA) provides rental assistance to extremely and very low-income households through direct payments to the property owner. The Housing Authority currently has the 735 vouchers, which can conserve the availability of affordable housing.
- The City offers several energy-conservation programs which, by lowering the cost of utilities, can help to conserve affordability. These programs include energy audits, which provides suggestions for low- and no-cost practices and adjustments which can reduce energy usage; energy efficiency rebates for individuals who install energy efficient appliances and fixtures; and Roseville Electric offers a discount to residential customers whose income is very low or extremely low or for customers who have medical devices in their homes.
- Roseville Housing Authority's policy to allow Shared Housing to enable persons with disabilities to use their voucher in housing that is shared with non-related persons also helps to conserve affordable housing, by allowing more flexible use of the Housing Choice Voucher.

### Non-profit Entities

Non-profit entities serving Placer County, including Roseville, can be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion. A partial listing of entities with resources in the Placer County area includes:

- ACLC, Inc.
- Affordable Housing Foundation
- Auburn Villa Tenant Association
- Christian Church Homes of Northern California
- Eskaton Properties, Inc.
- Pacific Housing, Inc.
- ROEM Development Corporation
- Rural California Housing Corp
- Sacramento-Yolo Mutual Housing Association

## RESIDENTIAL LAND INVENTORY

### REGIONAL HOUSING NEEDS ALLOCATION

An important component of the Housing Element is the identification of sites for future housing development and an evaluation of the adequacy of these sites in fulfilling the City’s share of the RHNA, as determined by Sacramento Area Council of Governments (SACOG). The intent of the RHNA is to ensure that local jurisdictions address their fair share of the housing needs for the entire region. Additionally, a major goal of the RHNA is to assure that every community provides an opportunity for a mix of affordable housing to all economic segments of its population.

The 2021–2029 Regional Housing Needs Plan, adopted in March 2020 by SACOG, mandates Roseville’s share of the region’s housing needs for all income categories as 12,066 units. Table X-25 shows the Regional Housing Needs Allocation for the planning period from 2021 to 2029 for the City of Roseville.

**Table X-25 | Regional Housing Needs Allocation, 2021–2029**

Income Category	Regional Housing Needs Allocation	
	Number of Units	Percentage of Total Units
Extremely Low	1,927	16.0%
Very Low	1,928	16.0%
Low	2,323	19.2%
<b>Lower Income Total</b>	<b>6,178</b>	<b>51.2%</b>
Moderate	1,746	14.5%
Above Moderate	4,142	34.3%
<b>Total</b>	<b>12,066</b>	<b>100.0%</b>

Source: Sacramento Area Council of Governments, March 2020

Note: The RHNP allocates the City 3,855 units in the Very Low income category, which for the purposes of this table has been equally divided between Extremely Low and Very Low incomes.

**NOTE:** The formerly-named Benefits of the Specific Plan Process and Infill Development sections have been moved to follow the inventory below, and have been renamed Specific Plan Areas Realistic Capacity and Infill Development Realistic Capacity.

### AVAILABILITY OF LAND AND SITES INVENTORY

To demonstrate the City’s capacity to meet its RHNA, an adequate sites inventory was conducted. This section begins with a discussion of the relationship between density and affordability, along with an analysis to determine the minimum density appropriate for lower income units. This is followed by a summary of the City’s inventory and then a detailed inventory, including vacant land, underutilized land (i.e. land with redevelopment potential), and accessory dwelling units. The Housing Element is required to provide discussion and supporting evidence that the units in the inventory are achievable, also known as “realistic capacity.” Each inventory is followed by an analysis of realistic capacity.

#### Zoning and Density to Accommodate the Development of Housing Affordable to Lower-Income Households

An adequate sites inventory must identify the specific parcels of land where units meeting the City’s RHNA allocation can be accommodated, at specified levels of affordability. In general, while the affordability of future residential projects is unknown the density of a residential project tends to correlate with levels of affordability. That is, single family homes on large lots (low density residential) tend to be more expensive than apartments (high density residential). Consequently, density is used in inventories to estimate affordability levels.



In addition, housing element law specifically requires jurisdictions to provide a requisite analysis demonstrating that densities identified as adequate for lower-income households are sufficient to encourage such development. The law provides two options for preparing the analysis: (1) describe market demand and trends, financial feasibility, and recent development experience; (2) use default density standards deemed adequate to meet the appropriate zoning test. According to state law, the default density standard for a jurisdiction of the City of Roseville's size is 30 dwelling units per acre. The City has elected to provide an analysis, rather than rely on default density standards.

For the purposes of determining affordability, the City's inventory assumes that above-moderate income housing needs are fulfilled by Low Density Residential development (fewer than 7 units per acre), moderate income housing needs are fulfilled by Medium Density Residential development (7 to 12 units per acre) plus High Density Residential development of 13 to 22 units per acre, and lower income housing needs are fulfilled by High Density Residential development of 23 units per acre or greater plus Commercial Mixed Use development. Commercial Mixed Use (CMU) is where residential units are intermixed with commercial uses.

Typical mixed use developments in the City include either ground-floor retail with second and third floor apartments, or a small apartment building connected to or adjacent to retail. Typical density calculations do not apply in these instances, since the acreage is mixed between commercial and residential. However, in order to accommodate the allocated units plus commercial building area, the apartment sizes and designs are of necessity compact and correspond to apartments constructed at densities of 30 units to the acre and higher. While the City's CMU zone does not require construction of the allocated residential units, it is uncommon for these units to remain unbuilt, for financial reasons. There is a loss of potential revenue and in some Specific Plans there are implications for the financing plans when allocated units are simply unbuilt. An evaluation of the City's developed/built sites which had been vacant sites zoned to permit both residential and commercial uses (CMU, Village Center, etc) finds that 100% of these sites have been developed with the allocated units. As a current example, a prospective applicant is currently discussing building housing on vacant CMU sites KT-40A and B in the Sierra Vista Specific Plan; the application is expected by the end of summer. The housing is anticipated to be market rate, so these sites have been included in the moderate income category of the City's inventory. In fact, the analysis found that the land use trend during the last housing cycle—a trend which is continuing—is for applicants to apply to rezone commercial property to residential uses.

As a result of Roseville's Affordable Housing Goal, units affordable to low-income households have been produced on parcels with densities lower than 20 units per acre. For example, North Roseville Specific Plan Parcels WN-4 and WN-5 (medium-density residential parcels with densities of less than 9 units per acre) included a combined affordable housing goal of 43 units. The solution resulted in halfplex developments on corner lots. The halfplexes were priced at rates affordable to low-income households using private financing. In another example, tax credits used for Northwest Roseville Specific Plan Parcel 91 allowed affordable units to be developed at 15 units per acre. The project resulted in 80 rental units, 32 of which are affordable to low-income households (60% of median). The remainder is affordable to households of moderate income (80% to 120% of median). These projects demonstrate that an effective affordable housing program can produce affordable units on project sites with densities less than 20 units per acre. The full list of all multi-family affordable housing developments can be found in Table X-21, while Table X-26 lists the multi-family affordable housing developments in the City at less than 25 units per acre.

In addition, the City contacted local affordable housing developers to receive input on appropriate densities for the production of affordable housing. The City received feedback from The Grupe Company, Mutual Housing, and Mercy Housing. Based on those conversations, it was determined that densities of 20–25 units per acre are appropriate for development of affordable housing. Mercy Housing stated that the push toward a minimum density of 30 dwelling units per acre has proven problematic, while The Grupe Company specifically stated that it would be helpful to have more land zoned for the 20–25 dwelling unit range, particularly in infill areas of the community. Most critically, Mutual Housing pointed out that at 20–25 units per acre State Density Bonus Law enables a project to increase density by 80%, up to 36–40 units per acre. Therefore, a land use density of 20–25 units per acre already provides flexibility for a range of 20–40 dwelling units per acre. For this reason, Mutual Housing indicated that—provided a site allows at least 20 units per acre—the more critical rule of thumb is the total number of units which can be realized. They indicated that their projects must be no less than 60 units, and preferably at least 100 units, in order to be financially feasible; the higher the total units, the more development and operating cost efficiencies are realized and the project's viability is increased.

The City also received feedback on what is needed from a jurisdiction in order to make an affordable project work. Mutual Housing expressed that a key issue is the need for localities to provide a local contribution in order to qualify for State and Federal affordable housing financing programs, which are essential for all affordable housing developments. Mutual Housing specifically stated that “without a local contribution, increasing allowed density will not result in new affordable housing development.” Therefore, gap financing is more critical to the success of affordable housing production than increasing minimum densities.

In examining current market conditions, the City has seen the completion of multiple apartment developments within the past several years, including Harvest at Fiddymont Ranch (market-rate), Campus Oaks Apartments Phase I and Campus Oaks Apartments Phase II, Lohse Apartments, and Main Street Apartments. The market-rate complex offers 1–3 bedrooms with high-end finishing and amenities, and advertised rents range from \$1,700 to \$2,400/month; this development is located within the West Roseville Specific Plan. All of the other listed developments provide affordable rents from 30 percent to 60 percent of median income, and are located in the City’s Downtown Specific Plan and Campus Oaks Master Plan (North Industrial Planning Area).

Based on the above information, taking into account conversations with affordable housing developers, and looking at what has been built in the community in the past eight-year cycle, the City of Roseville strongly believes it is appropriate to rely on parcels of 20 units per acre or greater to meet a portion of lower-income RHNA. However, as previously stated the City is relying on sites of 23 units per acre or greater, as discussed in the Sites Inventory section below.

**Table X-26 | Affordable Housing Developments, Less Than 22 Units Per Acre**

Apartment Complex	Affordability Expires	Very Low Income	Low Income	Total Units	Du/Acre
Campus Oaks Apartments Phase I 500 Roseville Parkway	7/2074	42 @ 50%		186	20.4
Campus Oaks Apartments Phase II 350 Roseville Parkway		45 @ 50%		210	23.6
Colonial Village Apartments 3881 Eureka Road	2/2025		6 @ 60%	56	12.87
Crocker Oaks Apartments 8000 Painted Desert Way	11/2042	14 @ 50%	38 @ 60%. 66 @ 80%	131	21
Haverhill at Highland Reserve Apartments 701 Gibson Drive	4/2032		20 @ 80%	321	15.3
Heritage Park Apartments 1098 Woodcreek Oaks Blvd.	9/2047	65 @ 50%	263 @ 60%	328	19.4
Highland Creek Apartments 800 Gibson Drive	1/2043	55 @ 50%	129 @ 60%	184	21.5
The Oaks at Woodcreek Apartments 1550 Pleasant Grove Blvd.	9/2031		13 @ 60%	80	14.81
Pearl Creek 1298 Antelope Creek Drive	12/2043	9 @ 50%	14 @ 80%	224	19.1
Pinnacle at Galleria Apartments 1100 Roseville Parkway	9/2031		12 @ 60% 23 @ 80%	200	16.42
Preserve at Creekside 1299 Antelope Creek Drive	4/2028		34 @ 100%	336	19.1

Source: City of Roseville



## Sites Inventory

Table X-27 compares the City of Roseville's RHNA to the undeveloped land capacity. The City currently has capacity for 1,166 units at 30 dwelling units per acre or more, meeting 19% of the lower-income RHNA on these sites. A further 1,961 units of lower-income capacity will be met on ten sites zoned to allow 25 to 29 dwelling units per acre (32% of the lower-income RHNA), and 705 units of lower-income capacity will be met on five sites zoned to allow 23–24 units per acre (11% of the lower-income RHNA). Table X-28 displays the City's existing land capacity by land use acreage and Table X-29 displays the City's inventory by Plan Area.

The lower-income vacant land total includes all sites with a deed-restricted affordable housing obligation, regardless of the site density. Parcels with a recorded affordable housing obligation include footnotes in Table X-27, below, noting the amount and affordability level of the obligation. Including vacant land, underutilized opportunity sites (in the Downtown and Riverside Gateway Specific Plans), and accessory dwelling units, the City has a slight surplus of above-moderate unit capacity, a significant surplus of moderate income unit capacity, and a 1,791-unit shortfall of lower income unit capacity. The City's plan to address this shortfall is addressed in Housing Element Program 14 (Rezone Program) and within Appendix E.

**Table X-27 | Comparison of Regional Housing Need and Existing Residential Unit Capacity**

Income Category	Regional Housing Needs Allocation	Vacant Land	Underutilized Opportunity Sites	Accessory Dwelling Units	Housing Unit Surplus or Deficit <sup>4</sup>
Very Low <sup>1</sup>	3,855	3,985	357	45	<b>-1,791</b>
Low <sup>1</sup>	2,323				
Moderate <sup>2</sup>	1,746	4,676	42	34	<b>3,006</b>
Above Moderate <sup>3</sup>	4,142	4,644	0	1	<b>503</b>
<b>Total</b>	<b>12,066</b>	<b>13,305</b>	<b>399</b>	<b>80</b>	<b>1,718</b>

Source: Sacramento Area Council of Governments; City of Roseville 2021

<sup>1</sup> Capacity based on sites with a density of 23 du/acre or greater and/or a lower income affordable housing obligation

<sup>2</sup> Capacity based on sites with a density of 7–22.9 du/acre

<sup>3</sup> Capacity based on sites with a density of less than 7 du/acre

<sup>4</sup> This number is derived from the current existing housing unit capacity minus the regional housing need number for the planning period.

**Table X-28 | Summary of Vacant Residential Land by Land Use Density**

Land Use Category	Density (units/acre)	Undeveloped Acres	Undeveloped Units	% of Total Units
Low Density Residential (LDR)	0.5 to 6.9	870	4,617	34%
Medium Density Residential (MDR)	7.0 to 12.9	351	3,017	22%
High Density Residential (HDR)	13.0 and above	214	5,283	39%
Mixed Use (CC)	--	44	598	4%
<b>TOTAL</b>		<b>1,502</b>	<b>13,796</b>	<b>100%</b>

**Table X-29 | Summary of All Residential Land Inventory by Plan Area**

Plan Area	Undeveloped Acres					Undeveloped Units				
	LDR	MDR	HDR	Mixed Use	Total	LDR	MDR	HDR	Mixed Use	Total
ARSP	240	49	38	27	354	1,252	542	873	159	2,826
CSP	155	39	13	0	208	791	520	420	0	1,731
DTSP	0	0	0	5	5	0	0	0	257	257
NCRSP	0	0	20	0	20	0	0	322	0	322
NIPA	25	15	0	0	40	121	113	0	0	234
NRSP	0	0	8	0	8	0	0	98	0	98
RSG	0	0	0	6	6	0	0	0	142	142
SVSP	329	216	92	6	642	1,674	1,465	2,337	40	5,516
WRSP	113	26	38	0	178	731	307	1,136	0	2,174
INFILL	9	6	4	0	19	48	70	97	0	215
<b>Total</b>	<b>870</b>	<b>351</b>	<b>214</b>	<b>44</b>	<b>1479</b>	<b>4,617</b>	<b>3,017</b>	<b>5,283</b>	<b>598</b>	<b>13,515</b>

Note: Several of the City's Specific Plans are not included in this list, because they are fully developed and have no further undeveloped land.

### UNDEVELOPED RESIDENTIAL LAND INVENTORY

The following section includes an inventory of all undeveloped residential land in the City based on the City's Specific Plan parcels. Table X-30 displays the City's Specific Plan parcel number, the land use and zoning designation, the land use density, the number of undeveloped units allocated to the parcel, and the income category the units satisfy. Because the City comprehensively plans for development as part of its Specific Plan process, sufficient public services and facilities exist or are planned and fully funded to serve the parcels listed. The final column indicates whether any of the vacant sites were included within the past two Housing Element inventories (the 2008 and 2013 Housing Elements). Footnotes are included for those sites with a recorded affordable housing obligation, describing the breakdown of units by affordability. Appendix E includes maps of all inventory sites and a map of all undeveloped sites in the City with a land use designation of at least 23 units per acre. A more detailed inventory based on Assessor's Parcel Number is included as Appendix C of this Housing Element.

**Table X-30 | Specific Plan and Infill Sites Inventory, (A through H)**

A. Amoruso Ranch Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
Above Moderate Income							
AR-1	LDR	R1	20.2	68	3.4	68	N
AR-2	LDR	R1	24.7	97	3.9	97	N
AR-3	LDR	R1	27.3	80	2.9	80	N
AR-4	LDR	RS	7.3	41	5.6	41	N
AR-5	LDR	RS	2.8	17	6.1	17	N
AR-6	LDR	RS	5	34	6.8	34	N



AR-7	LDR	RS	3.1	18	5.8	18	N
AR-8	LDR	RS	8.4	52	6.2	52	N
AR-9	LDR	RS	6.3	40	6.3	40	N
AR-11	LDR	RS	8.4	55	6.5	55	N
AR-12	LDR	RS	3.4	21	6.2	21	N
AR-13	LDR	RS	6.1	40	6.6	40	N
AR-14	LDR	RS	7.1	45	6.3	45	N
AR-15	LDR	RS	7.4	45	6.1	45	N
AR-16	LDR	RS	6.6	43	6.5	43	N
AR-17	LDR	RS	3.6	24	6.7	24	N
AR-18	LDR	RS	5.1	31	6.1	31	N
AR-21	LDR	RS	2.4	13	5.4	13	N
AR-22	LDR	RS	4.4	28	6.4	28	N
AR-23	LDR	RS	2.8	19	6.8	19	N
AR-24	LDR	RS	2.5	13	5.2	13	N
AR-25	LDR	RS	4.7	28	6	28	N
AR-26	LDR	RS	9.7	55	5.7	55	N
AR-27	LDR	RS	2.4	15	6.3	15	N
AR-30	LDR	RS	3.2	23	7.2	23	N
AR-31	LDR	RS	4.5	27	6	27	N
AR-32	LDR	RS	7.6	50	6.6	50	N
AR-34	LDR	RS	3.7	19	5.1	19	N
AR-35	LDR	RS	4.8	24	5	24	N
AR-37	LDR	RS	5.1	25	4.9	25	N
AR-40	LDR	RS	14.4	71	4.9	71	N
AR-43	LDR	RS	12.1	78	6.4	78	N
AR-46	LDR	RS	2.4	13	5.4	13	N
<b>Above Moderate Income Subtotal</b>			<b>239.5</b>	<b>1,252</b>		<b>1,252</b>	
<b>Moderate Income</b>							
AR-10	MDR	RS	10.5	138	13.1	138	N
AR-28	MDR	RS	10.2	129	12.6	129	N
AR-33	MDR	RS	5.3	61	11.5	61	N
AR-39	MDR	RS	7.8	54	6.9	54	N
AR-42	MDR	RS	7.5	66	8.8	66	N
AR-45	MDR	RS	8	94	11.8	94	N
AR-36	HDR	R3	7.5	113	15.1	113	N
<b>Moderate Income Subtotal</b>			<b>56.8</b>	<b>655</b>		<b>655</b>	
<b>Lower Income</b>							

AR-19 <sup>a</sup>	HDR	R3	9.3	230	24.7	230	N
AR-38	HDR	R3	15.1	380	25.2	380	N
AR-44 <sup>b</sup>	HDR	R3	5.9	150	25.4	150	N
<b>HDR Subtotal</b>			<b>30.3</b>	<b>760</b>		<b>760</b>	
AR-51	CC-VC	CMU-SA	14.3	91	--	91	N
AR-52	CC-VC	CMU-SA	13	68	--	68	N
<b>Mixed Use Subtotal</b>			<b>27.3</b>	<b>159</b>		<b>159</b>	
<b>Lower Income Subtotal</b>			<b>57.6</b>	<b>919</b>		<b>919</b>	
<b>Total</b>			<b>353.9</b>	<b>2,826</b>		<b>2,826</b>	

- a. AR-19 includes an affordable housing obligation of 68 very low and 102 low income units.  
 b. AR-44 includes an affordable housing obligation of 45 very low and 68 low income units

B. Creekview Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
C-1	LDR	R1/DS	19.6	94	4.8	94	N
C-2	LDR	R1/DS	10.1	52	5.1	52	N
C-3	LDR	R1/DS	14	67	4.8	67	N
C-4	LDR	R1/DS	9.7	51	5.3	51	N
C-5	LDR	R1/DS	13.6	74	5.4	74	N
C-6	LDR	R1/DS	7.9	48	6.1	48	N
C-7	LDR	R1/DS	13.9	74	5.3	74	N
C-8	LDR	R1/DS	5.6	32	5.7	32	N
C-9	LDR	R1/DS	22.1	97	4.4	97	N
C-12	LDR	R1/DS	18.7	95	5.1	95	N
C-16	LDR	R1/DS	12.9	71	5.5	71	N
C-17	LDR	R1/DS	6.9	36	5.2	36	N
<b>Above Moderate Subtotal</b>			<b>155</b>	<b>791</b>		<b>791</b>	
<b>Moderate Income</b>							
C-20	MDR	RS/DS	8.7	106	12.2	106	N
C-21	MDR	RS/DS	7.7	95	12.3	95	N
C-22	MDR	RS/DS	11.3	130	11.5	130	N
C-25	MDR	RS/DS	7.2	62	8.6	62	N
C-41 <sup>c</sup>	HDR	R3	4.3	127	29.5	127	N
<b>Moderate Subtotal</b>			<b>39.2</b>	<b>520</b>		<b>520</b>	
<b>Lower Income</b>							
C-40	HDR	R3	5.2	168	32.3	168	N
C-42 <sup>a</sup>	HDR	R3	4.3	136	31.6	136	N



C-43 <sup>b</sup>	HDR	R3	3.9	116	29.7	116	N
<b>Lower Subtotal</b>			<b>13.4</b>	<b>420</b>		<b>420</b>	
<b>Total</b>			<b>207.6</b>	<b>1,731</b>		<b>1,731</b>	

a. C-42 includes an affordable housing obligation of 60 very low and 60 low income units.

b. C-43 includes an affordable housing obligation of 41 very low and 40 low income units.

c. C-41 has a developer who has expressed interest. An application for market rate apartments is anticipated in summer 2021.

C. North Central Roseville Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Moderate Income</b>							
44	HDR	R3/DS/SA-NC	9.6	201 <sup>a</sup>	19	201	Y
	HDR	R3/DS/SA-NC	10.8	121 <sup>b</sup>	19	121	Y
<b>Moderate Total</b>			<b>20.4</b>	<b>322</b>		<b>322</b>	

a. Entitlements for age-restricted apartments which include 20 deed-restricted affordable units are approved on this site.

b. Entitlements for an assisted-living facility are approved on this site.

D. North Industrial Planning Area							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
CO-2	LDR	RS/DS	8.5	59	6.1	59	N
CO-3	LDR	R1/DS	16.6	62	3.8	62	N
CO-12	MDR	RS/DS	4.1	42	6.8	27	N
<b>Above Moderate Subtotal</b>			<b>29.2</b>	<b>163</b>		<b>148</b>	
<b>Moderate Income</b>							
CO-6	MDR	RS/DS	10.7	86	8.3	86	N
<b>Moderate Subtotal</b>			<b>10.7</b>	<b>86</b>		<b>86</b>	
<b>Total</b>			<b>39.9</b>	<b>249</b>		<b>234</b>	

E. North Roseville Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Moderate Income</b>							
WW-17 <sup>a</sup>	HDR	R3/SA-NR	7.5	147	19.9	98	Y
<b>Lower Total</b>			<b>7.5</b>	<b>147</b>		<b>98</b>	

a. Entitlements for age-restricted apartments with 49 low income and 49 very low income deed-restricted affordable units are approved on this site.

F. Sierra Vista Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
CG-1	LDR	RS/DS	23.9	115	4.8	115	N
CO-1	LDR	RS/DS	17.2	86	5	86	N
CO-2A	LDR	RS/DS	14.3	71	5	71	N
CO-2B	LDR	RS/DS	14.6	73	5	73	N
CO-3	LDR	RS/DS	15.7	78	5	78	N
DF-1	LDR	RS/DS	19.9	100	5	100	N
DF-2	LDR	RS/DS	3.2	15	4.7	15	N
FD-1	LDR	RS/DS	18.6	74	4	74	N
FD-2	LDR	RS/DS	17.1	97	5.7	97	N
FD-5	LDR	RS/DS	17.4	90	5.2	90	N
FD-6	LDR	RS/DS	14.5	95	6.6	95	N
FD-7	LDR	RS/DS	9	57	6.3	57	N
FD-8A	LDR	RS/DS	16.5	75	4.5	75	N
FD-8B	LDR	RS/DS	19	81	4.3	81	N
FD-9	LDR	RS/DS	19.2	107	5.6	107	N
FD-10	LDR	RS/DS	20.5	143	7	143	N
JM-21	LDR	RS/DS	18.5	80	5.1	80	N
KT-1A	LDR	RS/DS	14.4	60	4.2	60	N
KT-1B	LDR	RS/DS	19.6	95	4.8	95	N
KT-4	LDR	RS/DS	15.9	82	5.2	82	N
<b>Above Moderate Subtotal</b>			<b>329</b>	<b>1,674</b>		<b>1,674</b>	
<b>Moderate Income</b>							
CG-20 <sup>a</sup>	MDR	RS/DS	5.3	44	8.3	44	N
CO-20 <sup>b</sup>	MDR	RS/DS	9.4	84	8.9	84	N
CO-21	MDR	RS/DS	7.8	62	7.9	62	N
CO-22	MDR	RS/DS	4.8	38	7.9	38	N
DF-20 <sup>c</sup>	MDR	RS/DS	14.5	97	7.9	97	N
FD-20B	MDR	RS/DS	11.6	88	7.6	88	N
FD-21	MDR	RS/DS	24.4	187	7.7	187	N
FD-23	MDR	RS/DS	17.7	127	7.2	127	N
FD-24	MDR	RS/DS	10.7	84	7.9	84	N
FD-32 <sup>d</sup>	HDR	R3	8.7	178	20.5	178	N
FD-33	HDR	R3	8.6	172	20	172	N



JM-1	MDR	RS/DS	17.2	135	7.8	135	N
JM-20	MDR	RS/DS	39.7	322	8.1	90	N
JM-30 <sup>e</sup>	HDR	R3	7.5	30	23.5	30	N
JM-40	MDR	RS/DS	4.6	35	7.6	35	N
KT-20 <sup>f</sup>	MDR	RS/DS	24.6	167	6.8	167	N
KT-40A <sup>l</sup>	CMU	CMU/SA	5.3	46	--	46	N
KT-40B <sup>l</sup>	CMU	CMU/SA	18.1	163	--	163	N
<b>Moderate Subtotal</b>			<b>240.5</b>	<b>2,067</b>		<b>1,827</b>	
<b>Lower Income</b>							
CG-30	HDR	R3	14.0	420	30	420	N
CG-31 <sup>g</sup>	HDR	R3	14.5	420	29	420	N
FD-34 <sup>h</sup>	HDR	R3	7.0	172	24.6	172	N
KT-30 <sup>i</sup>	HDR	R3	7.4	171	23.1	171	N
WB-30 <sup>j</sup>	HDR	R3	8.1	237	29.3	237	N
DF-20 <sup>c</sup>	MDR	RS/DS	14.5	18	7.9	18	N
JM-30 <sup>d</sup>	HDR	R3	7.5	146	23.5	146	N
WB-31	HDR	R3	11.1	263	23.7	263	N
WB-32 <sup>k</sup>	HDR	R3	5.1	128	25.1	128	N
<b>HDR Subtotal</b>			<b>89.2</b>	<b>1,975</b>		<b>1,975</b>	
FD-41	CMU	CMU/SA	5.7	40	--	40	N
<b>Mixed Use Subtotal</b>			<b>5.7</b>	<b>40</b>		<b>40</b>	
<b>Lower Subtotal</b>			<b>94.9</b>	<b>2,007</b>		<b>2,015</b>	
<b>Total</b>			<b>642.4</b>	<b>5,748</b>		<b>5,516</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

- a. CG-20 includes an affordable housing obligation of 20 moderate income units
- b. CO-20 includes an affordable housing obligation of 34 moderate income units
- c. DF-20 includes an affordable housing obligation of 5 moderate income units
- d. FD-32 includes an affordable housing obligation of 43 moderate income units
- e. JM-30 includes an affordable housing obligation of 73 very low and 73 low income units
- f. KT-20 includes an affordable housing obligation of 31 moderate income units
- g. CG-31 includes an affordable housing obligation of 40 very low and 40 low income units
- h. FD-34 includes an affordable housing obligation of 86 very low and 86 low income units
- i. KT-30 includes an affordable housing obligation of 62 very low and 62 low income units
- j. WB-30 includes an affordable housing obligation of 68 very low and 169 low income units
- k. WB-32 includes an affordable housing obligation of 36 very low and 92 low income units
- l. KT-40a and b have a developer who has expressed interest. Application for market rate apartments anticipated in summer 2021.

<b>G. West Roseville Specific Plan</b>							
<b>Parcel Number</b>	<b>Land Use</b>	<b>Zoning</b>	<b>Acres</b>	<b>Allocated Units</b>	<b>Density</b>	<b>Undeveloped Units</b>	<b>Previous Inventory Y/N</b>
<b>Above Moderate Income</b>							
F-6A	LDR	RS/DS	32.4	179	5.5	179	Y
F-10B	LDR	RS/DS	21.9	115	5.3	67	Y

F-10C	LDR	RS/DS	19.9	80	4	43	Y
F-21 <sup>f</sup>	HDR	R3	14.5	343	23.7	343	Y
F-55A	LDR	RS/DS	24.3	99	4.1	99	Y
<b>Above Moderate Subtotal</b>			<b>113</b>	<b>816</b>		<b>731</b>	
<b>Moderate Income</b>							
F-6B <sup>a</sup>	HDR	R3	8.4	195	23.2	63	Y
F-6C	MDR	RS/DS	26.3	307	11.7	307	Y
F-8A <sup>b</sup>	HDR	R3	11.7	277	23.7	277	Y
F-25 <sup>e</sup>	HDR	R3	5.5	137	24.9	95	Y
F-26 <sup>e</sup>	HDR	R3	5.6	140	25	94	Y
W-16	HDR	R3	12.2	250	20.5	250	Y
W-27 <sup>c</sup>	HDR/VC	R3/DS	7.9	20	21.5	20	Y
<b>Moderate Subtotal</b>			<b>77.6</b>	<b>1,326</b>		<b>1,106</b>	
<b>Lower Income</b>							
F-6B <sup>a</sup>	HDR	R3	8.4	195	23.2	132	Y
F-22 <sup>d</sup>	HDR	R3	9.8	244	24.9	244	Y
W-27 <sup>c</sup>	HDR/VC	R3/DS	7.9	150	21.5	150	Y
<b>Lower Subtotal</b>			<b>26.1</b>	<b>589</b>		<b>526</b>	
<b>Total</b>			<b>188.7</b>	<b>2,731</b>		<b>2,363</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

a. F-6B includes an affordable housing obligation of 66 very low and 66 low, and 63 moderate income units.

b. F-8A includes an affordable housing obligation of 54 moderate income units.

c. W-27 includes an affordable housing obligation of 89 very low and 61 low income units, leaving 20 market-rate units.

d. F-22 includes an affordable housing obligation of 91 very low and 93 low income units.

e. F-25 & F-26 have an application in for apartments (2, 3, and 4 bedroom units) with rents up to \$2,500.

f. F-21 has an application in progress for high-end apartments. Rents expected to exceed \$2,500.

<b>H. Infill Plan Area</b>							
<b>Parcel Number</b>	<b>APN</b>	<b>Land Use</b>	<b>Zoning</b>	<b>Net Acres</b>	<b>Density</b>	<b>Potential Units</b>	<b>Previous Inventory Y/N</b>
<b>Above Moderate Income</b>							
IN-7	015-360-026-000	LDR	R1	0.32	3.1	1	N
IN-9	011-172-007-000	LDR	R2	0.12	6.4	1	N
IN-9	011-181-006-000	LDR	R2	0.17	6.4	2	Y
IN-9	011-182-010-000	LDR	R2	0.17	6.4	2	N
IN-13	015-080-001-000	LDR	R1	0.76	4	3	N
IN-13	015-080-045-000	LDR	R1	0.26	4	1	N
IN-13	015-080-019-000	LDR	R1	0.16	4	1	Y
IN-18	012-134-031-000	LDR	R2	0.15	6.8	1	N
IN-18	012-144-005-000	LDR	R3	0.14	6.8	1	N



IN-18	012-162-009-000	LDR	R3	0.15	6.8	1	N
IN-18	012-172-020-000	LDR	R3	0.14	6.8	1	N
IN-18	012-185-029-000	LDR	R3	0.14	6.8	1	N
IN-18	012-142-018-000	LDR	R3	0.14	6.8	1	N
IN-18	012-132-047-000	LDR	R2	0.15	6.8	1	N
IN-30	014-252-003-000	LDR	R1	0.17	5	1	Y
IN-34	013-053-015-000	LDR	R3	0.54	5.7	3	N
IN-35	013-022-033-000	LDR	R1	0.12	4.4	1	Y
IN-35	013-022-047-000	LDR	R3	0.70	4.4	3	N
IN-35	013-024-023-000	LDR	R1	0.17	4.4	1	Y
IN-37	014-113-060-000	LDR	R1	0.15	4	1	Y
IN-37	014-130-008-000	LDR	R1	0.57	4	2	N
IN-38	014-263-042-000	LDR	R1	0.32	5.3	1	N
IN-38	014-263-045-000	LDR	R1	0.23	5.3	1	Y
IN-39	472-210-033-000	LDR	R1	0.23	4.1	1	N
IN-46	471-190-046-000	LDR	PD326	1.10	3.9	1	N
IN-54	470-050-008-000	LDR	R1	0.17	3.7	1	Y
IN-61	469-110-031-000	LDR	R1	0.51	3.5	2	Y
IN-86B	469-100-013-000	LDR	R3	1.18	10	12	Y
<b>Above Moderate Subtotal</b>				<b>8.86</b>		<b>48</b>	
<b>Moderate Income</b>							
IN-87	469-280-009-000	MDR	NC	0.29	8	2	Y
IN-98	013-012-002-000	MDR	GC	0.19	8.1	1	N
IN-102	011-250-007-000	MDR	R1	0.67	14.3	10	Y
IN-108	014-051-017-000	MDR	R3	0.16	11.1	3	Y
IN-108	014-062-018-000	MDR	R3	1.07	11.1	11	Y
IN-115	472-370-013-000	MDR	PD66	0.05	7.8	1	N
IN-115	472-370-014-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-015-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-016-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-017-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-018-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-019-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-020-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-021-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-022-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-023-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-024-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-025-000	MDR	PD66	0.04	7.8	1	N

IN-115	472-370-026-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-027-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-028-000	MDR	PD66	0.05	7.8	1	N
IN-115	472-370-029-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-030-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-031-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-032-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-033-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-034-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-035-000	MDR	PD66	0.05	7.8	1	N
IN-118 <sup>a</sup>	048-350-015-000	MDR	RS/DS	0.51	8	5	N
	048-350-016-000	MDR	RS/DS	0.48	8	5	N
	048-350-018-000	MDR	RS/DS	1.07	8	5	N
	048-350-021-000	MDR	RS/DS	0.40	8	5	N
IN-148 <sup>b</sup>	048-260-048-000	HDR	R3	3.36	22.4	70	N
IN-149 <sup>c</sup>	013-192-036-000	HDR	R3	0.89	24.4	20	N
<b>Moderate Subtotal</b>				<b>10.20</b>		<b>160</b>	
<b>Lower Income</b>							
IN-148 <sup>b</sup>	048-260-048-000	HDR	R3	3.36	22.4	5	N
IN-149 <sup>c</sup>	013-192-036-000	HDR	R3	0.89	24.4	2	N
<b>Lower Income Subtotal</b>				<b>4.25</b>		<b>7</b>	
<b>Total</b>				<b>19.06</b>		<b>215</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

a. Entitlements for a 20-unit duplex project approved. Two units are reserved for lower income, while remainder will be moderate.

b. Entitlements for senior apartment complex approved. Five units are reserved for lower income, while remainder will be moderate.

c. Entitlements for townhome project approved on the site. Two units are reserved for lower income, while remainder will be moderate.

## Specific Plan Areas Realistic Capacity

The City's specific plan process provides certainty for the City and landowners by vesting all land uses approved with the specific plan through development agreements. The City has used Specific Plans to establish new growth areas since the 1980s, and as a consequence the majority of the City is within a Specific Plan. This approach assists the development of adequate housing by assigning housing unit allocations to appropriately-designated large lot parcels. Pursuant to state law, development agreements are recorded against individual properties, and outline the legal rights and responsibilities of the City and the landowner regarding land use designations and entitlements. This approach ultimately encourages and facilitates the creation of affordable housing, especially higher-density housing, which is necessary to provide for very low- and low-income housing opportunities in the city.

The City continually strives to make the best land use decisions and implement policies that efficiently use remaining developable land. To ensure the adequate provision and efficient use of facilities, services, and infrastructure, all specific plan areas within the City specify residential densities not as a range, but at a specific density (e.g. High Density Residential 25.0) and unit allocation (e.g. 150 units). This allows the Specific Plan process to identify the precise number of affordable housing units required to ensure compliance with the City's 10% affordable housing goal. The affordable housing section of the City's Specific Plans identify the large lots where affordable units (at specific levels of



affordability) must be accommodated within the planning area. This comprehensive approach also allows the City to ensure that the units are located on sites scattered throughout the planning area.

As a result of the detailed land use planning of the Specific Plan, the planning for circulation systems (including provisions for public transit), adequate infrastructure and capacity for water and wastewater facilities, utilities, drainage and flood control, and all other essential public facilities and services thoroughly covers all future facility and service needs. The same is true of the California Environmental Quality Act (CEQA) process, and the end result is the ability of projects consistent with the Specific Plan to develop without the need for additional studies or environmental review; without incurring unexpected infrastructure or service costs; and with the assurance that there is sufficient water, sewer, electrical and other service supplies to support development. This ensures that the projects not only are implemented but are able to build out in a timely manner. The City has capacity for full buildout of the adopted General Plan and the City's RHNA. The City's detailed planning process ensures new housing developments have timely access to water, sewer, power, and other utilities; construction of housing is not delayed or prohibited due to utility capacity constraints.

Community Facilities District ("Mello-Roos") financing provides a stable source of funding for construction and perpetual maintenance of public infrastructure in the specific plan area. Ultimately, the housing units allocated to individual large-lot parcels through the specific plan and development agreement process are used to calculate the financing necessary to adequately fund all required infrastructure. The specific plan and development agreement process ultimately provides certainty for the development community by reducing the long-term entitlement risk associated with residential development.

Residential projects consistent with the Specific Plan only require a Tentative Subdivision Map to establish the small-lot pattern which will supersede the large lot, and/or Design Review for compact residential housing (i.e. Medium Density Residential) and multiple-family development. Each Specific Plan also acknowledges that the plan is long-range, and property owners may need to make minor modifications to land uses based on changing market conditions; these can be approved at a staff level. Minor modifications include the transfer of unit allocations from one large lot to another or shifting large lot boundaries, provided the affected large lot allocations are not changed by more than 20% (cumulatively) and the land use designation does not change. The ability to allow minor modifications provides a needed level of flexibility. Modifications which are not minor require a Specific Plan Amendment.

The exact capacity and allowable density of Specific Plan sites in the City's existing sites inventory has already been determined through the specific plan process. Although the City's inventory includes High Density Residential sites greater than 10 acres, these sites have been deliberately sized larger as a direct consequence of the City's more detailed planning, for site-specific reasons. For example, large lot Parcel F-8A in the West Roseville Specific Plan is 11.7 acres and includes a lengthy frontage on an arterial roadway (the under-construction North Hayden Parkway) as well as adjacency to designated Open Space. Frontage improvements for the arterial roadway will include a deep landscape buffer and the interface with Open Space will also require a deep buffer. Therefore, this site's size is based on a need to ensure the site has room for these improvements while still providing capacity for the allocated units. The City also has a track record of developing sites of greater than 10 acres. Examples include large lot Parcel F-24, also in the West Roseville Specific Plan, which is 11.98 acres. Development of the site with its allocated 300 units at a density of 25 units per acre is nearly complete. A list of sites in excess of 10 acres and a reasoning for their size is included below.

- AR-38 is 15.1 acres because it has frontage on the future Placer Parkway and because it shares a significant portion of boundary with a 23-acre commercial site. Placer Parkway is a major regional transportation facility and will require deep landscape buffering and other site accommodations. The shared boundary with the commercial site brings many opportunities to orient and integrate the High Density Residential site with the future commercial center, but this will also require consideration of landscaping, pathways, and public or common amenities between the two areas, which will require land to accommodate.
- CG-30 and CG-31 are 14 acres and 14.5 acres, respectively, and are sized larger because they are part of the Village Node within the Sierra Vista Specific Plan. The Village Node is a planned higher-density residential district anchored by a commercial mixed-use core that creates a central gathering place for residents. These sites have

been deliberately sized and located to activate this central area and provide space on the sites for common amenities, paseos, and activated streetscapes.

- WB-31 is 11.1 acres and is part of a higher density node across from a commercial site with a planned transit hub for Bus Rapid Transit. A signalized intersection is planned at the intersection of Daylight Drive, Pleasant Grove Boulevard, and the High Density site entrance, so extra land area is needed to accommodate the signal improvements.

The City conferred with affordable housing developers on the feasibility of affordable housing construction on sites greater than 10 acres. It has typically been difficult to develop these sites because of funding limitations. The rents that lower income households pay are often too low to cover the costs of owning and maintaining a rental property. This difference between the funding needed to develop and operate a property and the revenue available is called a funding gap. The so-called “gap funding” available to address this generally comes from tax credits and other subsidies, but these funding amounts are limited. Therefore, while a market rate developer can maximize the number of units on the expectation that rent will enable the loans to be paid back, an affordable housing developer can only build as many units as the gap funding will cover.

One way to address this issue on large sites is to adopt a phasing program that makes it easier for a housing developer to split a large site into smaller parcels or otherwise phase development of the property. A developer can then secure funding for smaller projects and build out a site over time. The City has added a new program (Program 16, Prioritize Affordable Housing) to the Housing Element to assist with the development of large sites and other affordable housing sites.

In addition to phasing, recent financing changes have made the development of larger sites much more feasible. One of the primary subsidies leveraged by affordable housing developers is the Low Income Housing Tax Credit, which for many years required units to be affordable to households earning 60% of AMI or lower in order to qualify. However, this eligibility requirement was recently changed to include households earning up to 80% of AMI, which is still Low Income as defined by HUD. Affordable housing developers indicated that the change has a significant impact on the size of the gap, because it increases the amount of rent that can be expected from each unit. This means that larger sites with more units are much more feasible to develop than they have been in the past.

The City’s Specific Plans do not include any phasing requirements or other barriers which would preclude or delay development in any portion of the Specific Plan; on the contrary, they facilitate development consistent with the Specific Plan. In each of the City’s Specific Plans, higher density development is located along major roadways and is near commercial nodes, to facilitate access to transit and reduced reliance on vehicle trips. Because all of the High Density Residential development and most of the Medium Density Residential development is located along backbone transportation infrastructure for each Specific Plan, which is also the pathway of backbone utility infrastructure, those properties become available for development earlier in the Specific Plan buildout process. A brief discussion of the development status and potential growth is described below for each Specific Plan included in the existing sites inventory.

**Amoruso Ranch Specific Plan:** Approved in 2016, this Specific Plan is currently not connected to completed infrastructure within the City and has not begun development. However, plans to extend Westbrook Boulevard—the major backbone roadway connecting the Amoruso Ranch Specific Plan to the rest of the City—over the creek south of the planning area have been approved and bridge construction is anticipated to be completed in 2021. Once the bridge is complete, extension of Westbrook Boulevard into the planning area is anticipated in 2022. All of the High Density Residential property within the planning area is located along Westbrook Boulevard, so will be connected to infrastructure and available to build within the 8-year Housing Element period.

**Creekview Specific Plan:** Approved in 2012, this Specific Plan has just begun to develop within the last year. Westbrook Boulevard, the main backbone roadway connection, has been extended into the planning area and the adjacent properties have been rough graded. Tentative Subdivision Maps for these areas have been approved and recorded; none of these recorded maps are included within the City’s inventory, because they are actively under construction. The roadway infrastructure needed to access all but one of the High Density Residential sites has been installed. The remaining site is along Westbrook Boulevard across the creek bisecting the planning area. As indicated



previously, bridge construction is anticipated to be completed in 2021, and therefore all of the High Density Residential sites will be connected to infrastructure and available to build early in the first year of the 8-year Housing Element period.

**North Industrial Planning Area:** This planning area includes the Campus Oaks Master Plan area, approved in 2015. The large commercial center in this planning area is under construction and all of the High Density Residential sites have already been completed (and are therefore not included within the existing sites inventory). All of the undeveloped residential land within this planning area has been rough graded and significant sections of infrastructure have been installed or are under construction. Most of the planning area includes recorded tentative subdivision maps, so these sites are not included in the City's inventory. All of the remaining sites in this planning area will be connected to infrastructure and available to build within the 8-year Housing Element period.

**Sierra Vista Specific Plan:** Approved in 2010 at the end of the recession, development activity within this Planning Area increased as the economy recovered. The extension of Pleasant Grove Boulevard to its terminus near the City boundary has been completed, as have other sections of major backbone roadway systems, including Westbrook Boulevard, Market Street, Santucci Boulevard, and Vista Grande Boulevard. This planning area is actively developing and the backbone roadway systems needed to access the High Density Residential sites have all been completed or are under construction. Sites throughout this planning area will be available to construct from the outset of the 8-year Housing Element period.

**West Roseville Specific Plan:** Approved in 2004, nearly three-quarters of this planning area has been developed and the remainder is expected to be completed within the 8-year Housing Element period.

For all of the other specific plans, infrastructure and roadway connections are all completed, and there are only a few remaining undeveloped parcels, all of which are available from the outset of the 8-year Housing Element period.

## Infill Development Realistic Capacity

The City's Infill area is the older portion of the City which was established prior to the 1980s, where there is no Specific Plan. Infill areas, as well as planning areas which contemplated only non-residential uses, offer new opportunities to develop a diverse mix of housing. Many developers are looking to the city's infill areas to develop mixed-use developments, which offer commercial and residential units, in an effort to provide more diverse housing opportunities in centralized locations.

Though not within Specific Plans the stated additional capacity for the Infill area of the City was included as part of the City's 2035 General Plan and accompanying EIR, approved in 2020. Therefore, the units were assumed as part of the City's buildout analysis of water supply, sewer capacity, roadway capacity, and other infrastructure and service needs. The only potential realistic capacity constraints would be site-specific, such as the presence of restrictive easements. Of the 58 Infill sites listed in Table X-30, a total of 39 sites are vacant lots which can accommodate one unit. Only a building permit is required to build a home on a vacant lot. A handful of sites are vacant or have only one home but are designated for two units (duplex, or two-family zoning). These can also be developed with just a building permit. Sites with more units allocated may need a Tentative Map (either parcel or subdivision) or for multi-family housing would require a Design Review Permit. A handful of sites may also require a Tree Permit due to the presence of native oak trees, but this would depend on the specific site design; a Tree Permit would not be required if the native oak trees are not removed.

Staff specifically evaluated each of the Infill sites to determine their capacity. None of the sites on the list have significant site-specific constraints. One site is developed with a parking lot for a church, but the parking is not required and the property owner has inquired about residential development of the site in the past. The land use and zoning designation would allow multi-family, but for the inventory includes only one unit because it would not require elimination of the parking lot to construct one home adjacent to the neighboring homes. All of the other non-vacant lots have minor improvements, such as a fence, a shed, or junk storage. There are no easements or other restrictions that limit the use of the site, floodplain, or evidence of wetlands or other waters. All of the Infill sites have access to existing roadways and utility connections.

The stated capacity for the Infill sites is extremely conservative because many of these sites could be developed with more than the specified number of units based on their land use and zoning designation—all sites zoned R2 are permitted two units and all sites zoned R3 are permitted a minimum of three units—but the number allocated reflects what the City is certain can be easily and realistically built. Most of the properties on the table are either vacant or currently have only one unit, and so based on zoning could accommodate two or three new units, even though only one additional unit is listed on the table.

## UNDERUTILIZED LAND INVENTORY

Over the last two decades the City of Roseville renewed its focus on revitalization of our older neighborhoods and commercial corridors, as well as encouraging the development of mixed use and High Density Residential (HDR) units in both the Riverside Gateway Specific Plan and the Downtown Specific Plan. Table X-31 displays all of the opportunity sites within the City's Downtown and Riverside Gateway Specific Plan with the highest potential capacity for residential development. Refer to the Underutilized Land Realistic Capacity discussion following the table for further details.

### Underutilized Land Realistic Capacity

The two plan areas have unique characteristics which offer more housing opportunities, especially with the opportunity to consolidate small lots into larger development opportunities. Each specific plan land use map can be viewed online: <https://www.roseville.ca.us/cms/One.aspx?portalId=7964922&pageId=8774576>

Below are descriptions of the respective plan areas, which encourage and facilitate the development of high density and mixed use housing. See Appendix D for maps of the Riverside Gateway Specific Plan and the Downtown Specific Plan sites.

#### **Riverside Gateway Specific Plan**

Fundamental to the adopted Specific Plan are six development strategies that were developed by the Steering Committee of the Riverside Gateway Project. The Steering Committee was comprised of property owners, business representatives, residential property owners and appointed officials. The Specific Plan was adopted with the following recommendations:

**Parking Strategy:** The adopted parking strategy is based on; offsetting parking needs by providing additional on-street parking, consolidating and creating alley loaded parking fields, providing a central parking lot on Riverside Avenue, amending the parking requirement to reflect a mixed use standard and creating a future in-lieu fee to develop future parking.

**Pedestrian Friendly Improvements:** The plan promotes development of pedestrian friendly improvements, including the use of bulb-outs, sidewalk replacement, one-way alleyways with pedestrian shoulders, enhanced crosswalks and an enhancement of the intersection at Douglas Boulevard and Riverside Avenue.

**Enhancement of the Streetscape:** Streetscape features that include such items as furniture, signage, banners and other amenities that are similar in nature to the Vernon Streetscape design are also anticipated. Included in the streetscape is the upgrade and under grounding of utilities adding new capacity and making new development more attractive for the area.



Table X-31 | Downtown &amp; Riverside Gateway Specific Plan Residential Opportunity Sites

Map #	Address	Total Units	Residential Density (units/acre)	Floor Area Ratio	Acres	Zoning*	Existing Use	Permitted Use	Previous Inventory Y/N
<b>Historic Old Town</b>									
1	725–845 Lincoln	63	30	0.9	2.0	CMU/SA-DT	Vacant lot	Commercial/Residential	Y
This is a vacant triangular lot with roadway frontage on Lincoln Street and Washington Boulevard. It is also identified in the Downtown Specific Plan as a catalyst site, with pre-design plans for residential development. There are no easements or other such constraints to development, and the City has received inquiries about residential development on this site within the past year.									
2	400–412 Washington, 209–211 Pleasant, 210 Grove	34	37.8	--	0.7	CMU/SA-DT	Auto Sales / Office / Residential	Commercial/Residential	Y
This site consists of five parcels (the parcels are 0.19, 0.16, 0.10, 0.13, and 0.13 acres) with frontage on Washington Boulevard, Grove Street, and Pleasant Street, as well as an alley access. One parcel contains an older home, a second is a parking lot used by the small auto dealership on the adjacent parcel, another is a small office with a parking lot, and the last parcel is also a small office with parking. Approximately 19% (5,826 square feet) of building area occupies these properties. Existing improvements are minimal and aging, with chain link fencing, minimal or absent landscaping, and small 50-year-old buildings which have not been updated or improved by reinvestment. The City has had recent, positive experiences with affordable housing projects and other housing projects redeveloping sites such as this, within the nearby area (see evaluation preceding this table). There are no easements or other such constraints to development.									
3	400–426 Lincoln	80	58.1	0.37	1.4	HD/SA-DT	Parking lot	Commercial/Residential	Y
This site is multiple parcels under a single private ownership. The site is a parking lot which was constructed by and at the expense of the City to alleviate parking concerns expressed by surrounding businesses. The City has since completed two parking garages. There are no land use restrictions or other restrictions which would preclude or impede redevelopment of this site. Per the evaluation preceding this table, there has been significant market investment in housing in the general area, including multiple affordable housing projects. Site 4, below, is also a parking lot and an application to develop it as affordable apartments was received and approved by the City, at the same density provided for this site. Site 4 included more access and site design constraints, due to its location and the presence of a neighboring building siting directly on the property line.									
4	120 Pacific	80	60	1.57	1.4	HD/SA-DT	City Parking lot	Approved 4-story apartments, lower income	Y
This site is an existing parking lot, and a permit for a 4-story affordable housing apartment project has been approved on this site. Construction is anticipated to begin within the next year.									
<b>Subtotal</b>		<b>257</b>			<b>5.3</b>				

Riverside Gateway									
5	108–110 Douglas, 119– 125 Riverside	39	40.45	1.29	1.0	CMU/SA-RG	Used Auto Sales	Commercial/Residential	Y
<p>This site contains a used car dealership with a 9,500-square-foot older building, with the remaining 0.7 acres of the site paved with unmarked asphalt where vehicles are displayed. All of the parcels are under single ownership, and the site has roadway frontage on Riverside Avenue and Douglas Avenue. An alley separates the site from a single-family residential area. The Riverside Avenue, Vernon Street, and Douglas Boulevard intersection is a prime gateway intersection, where the City has invested streetscape improvements and monuments. There is a high potential for this corner to be redeveloped with a mixed use project similar to projects approved nearby on Vernon Street, due to its visibility and location, and due to the fact that the majority of the site is undeveloped paved area. This site is near the Lohse Apartments site, where two existing auto business and buildings were purchased and demolished to make way for housing. There are no easements or other such constraints to development.</p>									
6	201–227 Riverside	12	18.3	1	0.7	CMU/SA	Auto/Retail/Residential	Commercial/Residential	Y
<p>This site includes three parcels, two of which are under the same ownership (the parcels are 0.34, 0.17, and 0.12 acres). The site has frontage on Riverside Avenue and Bonita Street. An alley separates the site from a single-family residential area. The 201 Riverside parcel includes a 1,800-square-foot building housing multiple small spaces for offices, which include a psychic, a maid service, a pool service, a loan service, and car sales office. The remainder of that parcel, about 13,000 square feet, is paved with unmarked asphalt and is used for vehicle display. The building is over 100 years old but has had some cosmetic exterior updates. The adjacent parcel at 225 Riverside contains a single-family home, and the parcel at 227 Riverside contains a 1,700 square foot building which is currently a spa. The uses in these commercial buildings have changed multiple times in the past several years. Only 12 units have been assumed, as that would enable units to be built on the site in addition to the existing uses, rather than requiring replacement. Units could be constructed above the existing building, within the current asphalt area, and/or on the parcel with the single-family home. There are no easements or other such constraints to development.</p>									
7	401–415 Riverside, 110 Cherry	20	19.4	0.9	0.8	CMU/SA	Used Auto Sales	Commercial/Residential	Y
<p>This site includes four parcels, all under the same ownership. The site has frontage on Riverside Avenue and Cherry Street. An alley separates the site from a single-family residential area. There are three commercial buildings on the site, totaling approximately 7,000 square feet. One of the structures is a portable building, another is an old building that has not been updated, and the third is also old but has been updated with glass storefront windows. The site is a used car dealership. Most of the site is unmarked asphalt used for displaying vehicles. Only 20 units have been assumed on this site, as that would enable units to be constructed while leaving the more updated commercial building in place. However, as has been seen elsewhere where existing auto businesses have been sold and demolished for mixed use housing, development pressures are sufficient that the entire site could be redeveloped. There are no easements or other such constraints to development.</p>									
8	440 Riverside	10	14.5	0.8	1.0	CMU/SA	Used Auto Sales	Commercial/Residential	Y
<p>This site is two parcels under the same ownership. The site has frontage on Riverside Avenue and Fifth Street. An alley separates the site from a single-family residential area. One parcel contains an approximately 9,000-square-foot building and the second parcel is unmarked pavement and dirt used for vehicle display. The building is old but has updated glass display windows. Only 10 units have been assumed on this site, as that would enable units to be constructed in addition to the existing commercial use, rather than requiring elimination of all commercial use of the site. Utilities in the adjacent roadways have capacity to serve development of this site and there are no easements or other such constraints to development.</p>									



9	527 Riverside, 424 Clinton, 109-115 Darling	61	29	1.31	2.1	CMU/SA	Auto Sales, Auto Repair, Small Retail Strip Mall	Commercial/Residential	Y
<p>This site includes three parcels under the same ownership. The site has frontage on Riverside Avenue, Darling Way, and Clinton Avenue. The largest parcel includes three commercial buildings, totaling 3,960 square feet, one of which is auto repair, the other auto rental (Hertz), and the other is a small brick accessory building to Hertz. The second parcel includes unmarked asphalt where vehicles are displayed for sale (also Hertz), and the third parcel includes a small in-line strip mall occupied by a liquor store (4,000 square feet). All of the buildings on the site are old and have not been updated. The potential of this site is similar to Site 5. This is a key gateway with good visibility, and the City has made public improvements in this area, such as installing gateway monuments and features. Given the market pressures in the area, there is a high likelihood that this site could be redeveloped with a more intensive mixed use project like Lohse or Main Street Apartments, with ground-floor commercial space and upper floor housing. Utilities in the adjacent roadways have capacity to serve development of this site and there are no easements or other such constraints to development.</p>									
<b>Subtotal</b>		<b>142</b>			<b>5.6</b>				
<b>Total</b>		<b>399</b>							

\*Zoning Designations: CMU = Commercial Mixed Use, HD = Historical District, CBD = Central Business District, SA = Special Area, DT = Downtown Specific Plan area, RG = Riverside Gateway Specific Plan Area

\*\* Refers to the Roseville Specific Plan area; DT = Downtown Specific Plan, RG = Riverside Gateway Specific Plan

**Land Use Strategy:** The Specific Plan promotes an increase in the Floor Area Ratio (FAR) standard, adding a mix of residential uses and establishing more flexible design and development standards for the Riverside Gateway project area. (Note: FAR is the ratio of developed area, as compared to total area of a parcel.) The FAR standard in the planning area is a plan-wide average, rather than a site-specific limitation. This allows individual sites to have a much higher FAR. The previous average FAR was 0.27 and has been increased to 0.60, allowing for 4 story buildings to be created in the plan area. The existing average FAR in the Riverside Gateway area is 0.20 and therefore the planning area has an unbuilt capacity of 350,000 square feet.

In addition, the previous zoning was GC (General Commercial), which did not allow residential development. With the adoption of the Riverside Gateway Specific Plan, a Special Area overlay (SA) for zoning was applied to the plan area, thereby creating a Commercial Mixed Use Zone District with a Special Area overlay, which is known as CMU/SA-RG (Commercial Mixed Use with a Special Area Overlay for the Riverside Gateway Plan Area). The current zoning now allows residential development by right, creating more opportunities to develop higher density housing. Additionally the zoning now prohibits Auto Service and Auto Sales uses. Currently Riverside Avenue is heavily occupied by auto uses. By precluding these uses, the sites will become available for redevelopment with projects including residential units, further introducing additional HDR units into the plan area.

**Catalyst Sites** In order to promote redevelopment in the area the Council felt that it was important for the City to support and pursue funding for a catalyst project within the Riverside Gateway project area. There are two catalyst sites. The sites will combine smaller lots, which are owned by the same landowner, therefore increasing the probability of mixed use and high intensity development at each of these sites. Conceptual plans were prepared for the sites that, as proposed, would provide a cumulative of 100 additional HDR units within the plan area.

The conceptual plans and housing unit yield take into consideration the following: setbacks, floor area ratio, lot coverage, parking, height limitations, site constraints, and design guidelines.

**Site Development Prototypes.** The Riverside Gateway Specific Plan identifies various prototype development plans for interested developers, eliminating the project from going through the design review process. The developer would then save time and money, as well as ensure the project will have addressed concerns relative to parking, site access, landscaping, utility connections, and trash enclosures.

Four prototype plans were prepared for the various lot sizes on Riverside Avenue; single lots (50' x 150'), double lots (100' x 150'), triple lots (150' x 150') or triple corner lots. The prototypes demonstrate the redevelopment potential of the parcels with mixed-use, ground floor retail and upper floor residential use. The developments include between 2–12 residential units each and were designed to be consistent with the Riverside Gateway goals and City regulations. The prototype plans and housing unit yield take into consideration the following: setbacks, floor area ratio, lot coverage, parking, height limitations, and design guidelines. Refer to Chapter 9 of the Riverside Gateway Specific Plan for prototype plans.

Using the prototype plans, staff estimated the amount of new units that could be introduced to the area by redeveloping the parcels occupied by non-conforming uses.

**Analysis of Existing Uses.** The Riverside Gateway Specific Plan provides a variety of changes to the previous land use designations, as well as other regulatory incentives that encourage and facilitate the development of higher density residential housing units.

As mentioned under the Land Use Strategy and Site Development Prototype discussions, staff identified the parcels with potential development of HDR units. The sites identified are or were occupied by the now non-complying automotive uses. Although development has also slowed, the viability that these sites will be developed is probably more realistic once funding can be obtained due to the fact that there are fewer constraints that could potentially impede development. In summary, the analysis of existing uses reveals that there are no uses that could impede development of the potential development sites.



## **Downtown Specific Plan**

### **Introduction**

New housing in Downtown Roseville is a key strategy of the Downtown Specific Plan. The City of Roseville, as well as the Sacramento region, has been focused on reducing the footprint of future development on the outer edges of existing communities within the region. The Downtown Specific Plan provides new high density residential development within an urbanized area. New residents will enhance the customer base for Downtown retail businesses and will be in walking distance to the multi-modal facility and bus transfer facilities that exist in the plan area.

A variety of residential types are proposed to create a downtown that is accessible to different economic and life-style sectors of the community. Housing types that are appropriate in Downtown include multi-family flats and apartments, efficiency units, single room occupancy units, condominiums, town homes, flexible live-work options and mixed income housing (market rate and affordable units). The land use plan anticipates that the majority of units will be incorporated as part of future mixed use development or high density housing projects.

### **Incentives**

The Downtown Specific Plan regulates the development of property through use and bulk restrictions. The tool selected for regulating density and intensity in Downtown Roseville is the allowable Floor Area Ratio (FAR). In order to encourage a mix of housing within the Downtown area, there are a number of incentives that are directed towards assisting housing related projects. Through incentive zoning, the City seeks to realize certain amenities or design provisions related to a particular development project in exchange for granting an increase in the FAR, a reduction in the required parking or additional height for development, for the property being developed.

The City worked in conjunction with a consultant to prepare development plans for several sites within the Downtown. The sites were chosen based on size, location, existing conditions, and the property owners' interest in developing the site. All of the projects include mix-use development and are consistent with the Downtown policies and City regulations.

Six of the sites were identified as catalyst sites because they were vacant or City owned parcels. As an incentive to developers, Pre-Design plans were prepared for the sites and the review process streamlined. The developers then save time and money, as well as ensure the project addressed concerns relative to parking, site access, landscaping, utility connections and other City guidelines and regulations. In summary, the primary regulatory incentives are focused on land use, parking reductions, in-lieu fees and process streamlining. These incentives are intended to encourage additional housing in the Downtown. These overall incentives are listed below:

#### **Land Use**

- Increased FAR = Additional 900,000 square feet (s.f.) ground floor commercial and 1,020 residential units;
- Adds height to the existing zone districts;
- Adds new housing related uses as being principally permitted that the market supports, such as: Mixed Use, High Density Residential and Live Work housing;
- Principally permits existing single room occupancy residential units; and,
- Principally permits high efficiency residential units.

#### **Parking Requirements**

- On-site requirements for residential development have been reduced;
- Public Parking is used to satisfy private parking requirements. An increase in the public parking supply on the side streets will be added where plausible;
- An on-street parking credit of 2.5 spaces for every 7,500 s.f. of lot area is provided;
- Parcel aggregation credit is provided when consolidating properties; and,

- Permitted uses that are rehabilitating an existing building do not require additional on-site parking when a discretionary action is not required.

#### **Fees**

- Park land dedication fees and in-lieu fees are not required for residential uses; and,
- Parking in-lieu fee payment at a reduced rate based on number of spaces helps the financial proforma of projects.

#### **Process**

- Administrative Design Review Permits are encouraged to streamline future housing developments;
- Pre-approved development scenarios have been developed for catalyst sites containing residential development; and,
- Completion of an Environmental Impact Report will address increased traffic and utility use on an area wide basis.
- Completes an architectural and historical survey necessary for future CEQA actions.
- Provides the ability to use CEQA exemptions for future projects streamlining the development process.

#### **Application of Standards**

Due to the relatively small parcel sizes it is difficult to assign a density or unit allocation that is parcel specific. The Specific Plan allocates units on a district basis. It establishes minimum and maximum density requirements in order to allow the market to dictate what type of projects are economically feasible. For projects that are strictly residential, the density combined with the maximum FAR will be the regulating factors. Mixed use projects (residential over retail/office) will be regulated through the overall floor area ratio requirement. This approach will allow commercial mixed use projects to have smaller units, which can maximize density.

#### **Realistic Capacity**

The approach described above has resulted in significant success, with three 100% affordable apartment projects approved in the planning area in the last five years, plus two market rate townhomes projects. Two of the affordable projects have been constructed (on Table X-21, Lohse Apartments and Main Street Apartments). The three affordable apartment projects are all at densities in excess of 50 units per acre. The third affordable apartment project and the market rate townhomes are expected to begin construction in 2021 or 2022. The sites and their previous site constraints are described in the following:

- Lohse Apartments (623 Vernon Street): This site was under one acre and included multiple parcels, one of which contained a building housing an auto repair and paint shop, and another of which contained a U-Haul rental and building, along with associated parking areas. All of the existing uses (totaling 6,500 square feet of space) were demolished and the parcels were consolidated through a Voluntary Merger. The Lohse Apartments project is four stories and includes, one-, two-, and three-bedroom units as well as ground-floor non-residential space. Construction was completed in 2019.
- Main Street Apartments (300 Washington Boulevard): This site is approximately 1.5 acres and was minimally improved, with gravel and a few other small site improvements. The project included a Parcel Map and the abandonment of right-of-way on Pleasant Street. The Main Street Apartments project is a mix of three and four stories with one-, two-, and three-bedroom units, and includes ground-floor retail. Construction was completed this year.
- Junction Crossing Apartments (120 Pacific Street): This site is approximately 1.5 acres and included multiple parcels with a parking lot and mature landscaping. The project included a Parcel Map to merge and resubdivide the parcels. This is an 80-unit 100% affordable project, with construction anticipated to begin this year.
- Belvedere Townhomes (510 Lincoln): This site included multiple parcels containing a single-family home on



one parcel and the 4,000 square-foot Belvedere Hotel on another. The project included a Tentative Subdivision Map and the demolition of both existing buildings. The approved project includes 18 townhomes and construction is anticipated to begin this year (demolition has been completed).

- Nevada Street Lofts (1007 Douglas Boulevard): This site includes multiple parcels and existing development includes a large chain link fence and one single-family home. The approved project included a General Plan Amendment from Business Professional to a High Density Residential land use designation, a Tentative Subdivision Map, a Design Review Permit, and a Tree Permit to build 22 townhomes. Construction is anticipated to begin next year.

All of the sites listed above are within the same market area as the sites listed in Table X-31, above. All but one of the sites were non-vacant, and required the demolition of parking lots, commercial buildings, and/or residential buildings in order to enable their construction. All of these sites also required parcel consolidation, and all of these projects have occurred within the past five years, showing significant market forces at work in these areas. The success of these sites, three of which were identified in the City's 2013 Housing Element underutilized sites inventory, demonstrates the feasibility of development for the similar, nearby sites which are listed in Table X-31. In the past eight years, a total of six new private development projects have been approved in the City's downtown, and of those, five were housing projects. Therefore, 80% of the time when redevelopment has occurred in these areas it has been with housing.

The sites in the Riverside Gateway Specific Plan are all in the Commercial Mixed Use zone, which means density cannot be calculated by a simple division of units per acre; a portion of the site is expected to be non-residential. Density also cannot be expressed as a "maximum" or "minimum," because the plan has instead simply allocated a certain number of units to each property. For the purposes of planning, density has been conservatively expressed as the number of units realistically assumed divided by the total site acreage, but it is expected actual density would be higher, because some portion of the site may remain commercial. Based on this estimated land use density, the City's underutilized land supply provides capacity for 357 lower-income units and 42 moderate-income units.

In identifying the list of sites in Table X-31, the City has already gone through a process of evaluating sites in both plan areas and has included only those with the highest likelihood of developing with residential uses. The list is a conservative estimate of development potential in these planning areas, and it is expected that sites excluded from the list could also redevelop with housing. As an example, the Lohse Apartments site was not included in the 2013 Housing Element inventory but nonetheless it redeveloped with housing. The Downtown Specific Plan includes approximately 77 acres of land with a zoning designation that allows high density residential uses, but the table only assumes 5 acres (6%) of this area will be developed with housing. The Riverside Gateway Specific Plan includes approximately 29 acres of land with a Commercial Mixed Use zoning designation and approximately 8 acres of land with a multi-family residential zoning designation, while the table list below assumes only 6 acres (16%) of this area will be developed with housing. A higher proportion is assumed in Riverside Gateway than in the Downtown Specific Plan, because the Riverside Gateway planning area contains a much lower FAR—that is, there is far more undeveloped space in the planning area. As explained in the description of the Riverside Gateway Specific Plan, the existing average FAR is 0.20, which means that only 20% of the land area (or 0.2 acres to every acre) is developed with buildings.

## ACCESSORY DWELLING UNIT INVENTORY AND REALISTIC CAPACITY

SACOG completed a regional ADU affordability analysis (dated March 2020 and included as Appendix F) indicating that in Placer County a total of 56% of ADUs are affordable to lower income households (15% extremely low, 6% very low, and 35% low) and 43% are affordable to moderate income households. Only 1% are priced to meet the above moderate income level. State legislation has enacted relaxed development standards and fees for ADUs and JADUs, making them more easily accommodated on a lot and less expensive to construct. Due to these relaxed standards and fees, the City is projecting that ADUs and JADUs will be constructed at five times the average annual rate observed in the City between 2013 and 2017. The City only began reliably tracking this type of unit in 2018, so it is difficult to provide an accurate measure of the number of ADUs constructed in the 2013 to 2017 time period. An electronic search of building permit records using key words was used to develop an estimate, which was found to be two ADUs annually. Five times this annual average rate results in ten ADUs or JADUs annually for a total of 80 units over the 8-year planning period. Based on the affordability analysis, it is assumed that 45 of these will be affordable to lower income households.

## ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS

Environmental and infrastructure issues affect the amount, location, and timing of new residential development. New housing opportunities create challenges regarding public infrastructure extensions and expansions, and encroachment into agricultural land. In addition, the availability of adequate water, public infrastructure such as wells and wastewater treatment facilities, and other public services and facilities can impact the feasibility of new residential development.

### Environmental

All sites listed in the sites inventory are generally free of constraints or the site constraints are so minor they can be mitigated with development. The City does not give land use entitlements for land within a floodplain (it would contain a floodplain overlay designation, for instance, that limits development). If the affordable sites are part of a specific plan and subject to a development agreement, it is a condition of the development agreement that the affordable sites be free of any encumbrances.

### Infrastructure

The concept of linking growth management and the ability to provide adequate services is articulated throughout the goals and policies of the Growth Management Component, Policy LU8.3, which states: “Growth shall be managed to ensure that adequate public facilities and services, as defined in the Public Facilities Element, are planned and provided and public health, safety and welfare is protected.” Therefore, new development must contribute its fair share toward the provision of water, wastewater, electric, parks and recreation, and police and fire services, as well as school funding. The fees associated with the provision of adequate facilities and services will affect the cost of housing since the costs will be passed on to homebuyers, who will pay for the expansion and provision of services over time.

The City of Roseville is the utility provider for water, wastewater, sewer, and solid waste. The City has sufficient infrastructure capacity to address its RHNA during the 2021–2029 planning period of the Housing Element. The City’s Specific Plan process ensures there is sufficient water, sewer, electrical, and other service supplies to support full buildout of the planning area.


## OPPORTUNITIES FOR ENERGY EFFICIENCY AND CONSERVATION

An important consideration in the development of a comprehensive housing plan is the attention given to the issue of energy efficiency and conservation. Roseville Electric is a locally owned and operated non-profit municipal utility of the City of Roseville. Roseville Electric has served the Roseville community for over 90 years with the primary concerns of energy efficiency and conservation and maintaining low rates and high service reliability. Customers are encouraged to participate in the local utility commission meetings. Residential electric rates in the city are generally lower than rates charged by the Pacific Gas and Electric Company. The City’s Residential Energy Efficiency and Conservation goals and policies found in the Housing Plan section, reflect the City’s continued commitment to implement programs which incorporate efficiency and conservation measures into the construction and maintenance of the city’s housing, and reinforce the Water and Energy Conservation Component of the Public Facilities Element of the General Plan.

Continued promotion of efficiency and conservation efforts and program standards, rebates, and financial assistance will help reduce the percentage of income devoted to housing-related costs through utility bill savings. Further, many new homebuilders are embracing green technology and installing instant hot water features in their housing developments.

State law is addressing the issue of climate change, in terms of both the cause and the potential effects. Energy conservation has been identified as one of the most effective ways to counteract the effects of global warming.



Roseville's efficiency and conservation efforts contribute to needed reductions in greenhouse gas emissions. Such sustainable goals and policies throughout the General Plan are designated with an icon: .

Also, a more focused discussion of climate change can be referenced in the Air Quality Element of the General Plan.

## FINANCIAL RESOURCES

### Federal Programs

The *Housing Choice Voucher Program* provides direct rental assistance to very low-income families. Managed by the Roseville Housing Authority, this federally sponsored program distributes rental payments directly to the property owner. The Roseville Housing Authority currently has 562 Housing Choice Vouchers and 75 special purpose vouchers for non-elderly disabled households.

*Section 202* provides long-term direct loans to private, non-profit sponsors to finance new rental housing construction for very low-income seniors.

The *Community Development Block Grant (CDBG)* is a major federal program available to assist local government in the development and maintenance of affordable housing. Funds are used to encourage the construction and rehabilitation of low-income housing in cooperation with non-profit corporations to acquire or write down the cost of land for residential units and/or infrastructure improvements. Funds for the maintenance of affordable housing are available for rehabilitation projects.

The *Housing Rehabilitation Program* is partially funded by CDBG to provide financial assistance to low-income owner-occupied units for the purpose of repairing health and safety defects and for general property improvements. The Housing Rehabilitation Program currently provides \$5,000 grants to elderly or disabled, very low- and low-income owner occupants, and low-interest loans of up to \$100,000 to low-income owner-occupied units.

*Low Income Tax Credits* represent the federal government's largest effort to assist in the development of housing affordable to low-income households. The tax credits enable the owner of a rental complex which is affordable to low-income households to take an annual tax credit equal to 9% of the depreciable basis of the complex against the owner's federal tax obligation for up to ten years.

*Continuum of Care/Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH)*. Since 1987, programs authorized under the Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act of 2009 have been the major source of federal funding to states, local governments, and non-profits for meeting the needs of homeless individuals and families. The Supportive Housing Program (SHP) is designed to develop supportive housing and services that will allow homeless persons to live as independently as possible. The City will continue to participate in the preparation of the regional Continuum of Care application process in hopes of continuing to receive HEARTH Act Funds for homeless activities. It is reasonable to assume the City and Placer County can anticipate ongoing funding from this program over the eight-year program period of the Housing Element.

### State Programs

The *California Housing Finance Agency Programs (CalHFA)* Home Ownership Program provides low-interest financing for home purchase in every county of the state. Private for-profit and non-profit sponsors of new construction are eligible to receive loan commitments through this program.

The *Home Investment Partnership Program (HOME)* is funded by the federal government, which then annually awards funding to the State of California, who then administers the HOME Program to eligible local jurisdictions through the Department of Housing and Community Development (HCD). HOME funds are used to assist recipients in the areas of new construction, acquisition, rehabilitation, tenant-based rental assistance, and below-market-rate interest loans and deferred loans to low-income first-time homebuyers.

- The *Housing Rehabilitation Program* is partially funded by HOME funds to provide financial assistance to low-income owner-occupied units for the purpose of repairing health and safety defects and for general property improvements for very low- and low-income owner occupants. Low-interest loans are available to assist low-income owner-occupied units.
- The First Time Home Buyers Down Payment Assistance Program offers down payment assistance for low-income households. The program estimates it will assist approximately 20 households during the eight-year program period.

*Single Family Housing Bond Programs (Mortgage Revenue Bonds)* are issued through a third-party issuer and used by local lenders/developers to access below market interest rate loans for first-time homebuyers.

- *California Rural Gold* provides assistance to low- and middle-income homebuyers to purchase homes utilizing reduced interest rates. Cal Rural Gold is funded through issuance of taxable mortgage backed securities with continued funding based on the state allocation process.
- *Mortgage Credit Certificate Program* assists low- and moderate-income first-time homebuyers utilizing tax credits.

*Building Equity and Growth in Neighborhoods (BEGIN)* is funded by the State of California and administered by HCD. The funds are used to assist in the creation of affordable housing opportunities to low- and moderate-income households in new subdivisions which have been given special regulatory relief measures by the local jurisdiction. The assistance is in the form of \$30,000 maximum down payment assistance for each eligible household. The City has received funding for one subdivision in 2006 but is uncertain as to the ability to secure funds for this program in the upcoming eight-year Housing Element planning period.

*Cal Home* is administered by HCD with funds awarded to jurisdictions which have submitted successful applications for eligible activities. Activities which can be funded include owner-occupied housing rehabilitation and first-time homebuyer down payment assistance. Cal Home is designed to augment current programs offered by jurisdictions. The City is optimistic of the availability of this funding source in the upcoming eight-year planning period of the Housing Element.

*Low Income Housing Tax Credits* represent the state government's effort to assist in the development of housing affordable to low-income households. Tax credits enable the owner of a rental complex which is affordable to low-income households to take an annual tax credit equal to 4% of the depreciable basis of the complex against the owner's state tax obligation.

*Federal Emergency Shelter Grants* assists local government agencies and non-profit organizations to finance emergency shelters, supportive services, and transitional housing for homeless individuals and families. The City has assisted and supported Federal Emergency Shelter Grant applications in the past for non-profit organizations and is willing to assist with future applications. However, the City cannot anticipate ongoing funding from this program over the eight-year program period of the Housing Element.

## Local Government Programs

The City's Housing Division manages the *Homeless Prevention and Rapid Rehousing Program* funded by *Permanent Local Housing Allocation* and up to \$250,000 in *Low and Moderate Income Fund* dollars to provide grants to Roseville homeless persons or those at risk of becoming homeless by providing payment of past due rent, security deposits and first month's rent, past due utility bills, and emergency motel vouchers. Non-profits apply for funding on an annual basis.

## Private Programs

### *Citizens' Benefit Trust.*

The Citizens' Benefit Trust was established in 1993 following the sale of the city-owned Roseville Hospital. The proceeds were placed in a trust and a portion of the interest earned each year is made available for grants with the



purpose of improving the quality of life for the citizens of Roseville. Public agencies, schools and non-profit 501(c)3 or 501(c)4 are eligible to apply. The Grants Advisory Commission was created in 1994 to review grant applications for expenditures of the Citizens' Benefit Trust and to make recommendations to the City Council on an annual basis.

*REACH Fund - The Roseville Employees Annual Charitable Hearts Fund (REACH) is a community giving fund created through the generosity of Roseville employees and retirees. These employee-donated funds are dispersed to local charitable organizations that serve youth, seniors and families in the South Placer County region.*

*Developer contributions* are a result of the City's 10% Affordable Housing Goal. The types of contributions vary depending on the type of affordable housing developed. The typical developer contribution funds silent second mortgages on purchase units, to bridge the gap between the affordable purchase price and market value, and facilitate land write-downs for affordable rental unit projects.

*Non-profit corporations* advocate for affordable housing and educate the community on current and projected needs for affordable housing through presentations, articles, and workshops. They may also develop and manage an unmet need for affordable housing for very low- and low-income households. Non-profit firms may apply directly for state and federal housing funds and solicit funding from private sources and foundations. The Roseville Charter allows the City to sell surplus property to non-profit firms headquartered in the city without holding a competitive bid.

*Project Go* is a locally based non-profit housing development corporation working with the City in implementing affordable housing through the development of multi-family affordable housing. Project Go offers free weatherization services for low-income households to help reduce energy bills, thereby providing a means of keeping housing affordable.

Other non-profit corporations, such as the Nehemiah Progressive Housing Corporation, Pacific Housing Inc., Community Revitalization and Development Corporation, and Greek Orthodox Housing Corporation, have worked in conjunction with the City to build affordable housing utilizing the Low Income Tax Credits program.

*Reverse Annuity Mortgage* is a home equity conversion program, where elderly homeowners may work in conjunction with local financial institutions to allow the extraction of equity out of their homes for repairs and as supplemental income. The City has not been involved in referring residents to financial institutions to pursue reverse annuity mortgage programs. Instead, residents are referred to the Community Services Department's Housing Division's Residential Rehabilitation Program.

*Private funding* sources are noted as potential resources; however, the City does not control private funding and cannot anticipate ongoing funding from these sources over the eight-year program period of the Housing Element.

## FAIR HOUSING ASSESSMENT

### Introduction and Overview of AB 686

Assembly Bill 686, signed in 2018, requires each city or county to take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities. Housing elements must now include an assessment of fair housing practices, examine the relationship of available sites to areas of high opportunity, identify and prioritize contributing factors to fair housing issues, and include actions to affirmatively further fair housing (AFFH).

### Assessment of Fair Housing Issues

This section examines existing conditions and demographic patterns in the City of Roseville, including patterns of integration and segregation, concentrated areas of poverty, areas of low and high opportunity, and disproportionate housing needs. The analysis is presented from a local and regional perspective to describe settlement patterns across the region. This analysis is then used to identify and prioritize contributing factors that inhibit fair housing in Roseville. Goals, policies, and programs to address the contributing factors and affirmatively further fair housing are detailed in the Programs section of this Housing Element.

The information in this section is partially from the Analysis of Impediments to Fair Housing Choice (AI) report, prepared for the Sacramento Valley Fair Housing Collaborative in February 2020. The AI assessed fair housing in cities and unincorporated jurisdictions of Placer, Sacramento, and Yolo counties, including the City of Roseville. The complete report is included as Appendix B; below is a summary of the findings. Additional data specific to Roseville has also been included where available from the American Community Survey and the HCD AFFH Data and Mapping Resources Tool.

## HISTORIC AND CURRENT BARRIERS TO HOUSING ACCESS

A key consideration to providing housing for all segments of the community is evaluating inequities which may present barriers to access, known as fair housing. Throughout the nation there are historically underserved and/or disenfranchised communities which have experienced housing and infrastructure disinvestment and exclusion from housing opportunities. The makeup and profile of existing communities throughout the nation is often heavily influenced by historic patterns of racism and other forms of exclusion, the effects of which persist to this day. The history of Roseville and the greater Sacramento region is consistent with this national history, and includes periods where people were excluded or expelled from the area or otherwise prevented from purchasing land or homes on the basis of race or background.

Both Rocklin and Roseville were railroad towns, and because Chinese immigrants made up nearly 90% of the labor force laying the track<sup>4</sup>, the area was home to approximately 400 Chinese immigrants by the 1870s. However, as documented in “Driven Out: The Forgotten War against Chinese Americans” (Jean Pfaelzer, 2008), in 1877 a group of Chinese men were accused of murder, and a white mob formed. After all of the Chinese residents were driven out, the homes in the Chinese quarter were demolished and a fire started, which burned the shops and homes to the ground. As news of the incident spread, neighboring towns followed suit: Loomis, Penryn and Roseville ordered all Chinese people to leave their towns and armed men rode into Chinese-owned mining camps and forced them to leave. At the time “many Chinese either owned or leased considerable land or mining claims within a ten-mile radius of Rocklin, and most of their loans had been fully paid off.” Thus, the events of this period disenfranchised a sizable existing community of Chinese immigrants in this region. Events such as this ensured that as the City incorporated and expanded, the majority of property owners and residents were white.

“Redlining Revisited: Mortgage Lending Patterns in Sacramento 1930–2004”<sup>5</sup> describes patterns of disenfranchisement in the greater Sacramento region. In this area racially-restrictive covenants—terms within deeds and other documents prohibiting sale or rental of property to people of color—began use in the 1920s. In the 1930s, approval of federal loans increasingly became contingent on including racially restrictive covenants on the property. By the late 1930s the process known as “redlining” was established. This was a process of developing lending risk maps which were based on the assumption that the presence of Black, immigrant, or poor white communities compromised the value of homes and made mortgages in these areas higher risk. Areas designated in red (hence “redlining”) on these maps were considered highest risk and were placed over majority Black neighborhoods, neighborhoods with high immigrant populations, and less affluent neighborhoods. Redlining made financing for properties in these areas extremely difficult to obtain, severely hampering the ability of people to finance home maintenance and repairs or buy property in these areas. This in turn drove down property values in these areas, even while property values climbed elsewhere. Although racial exclusion, redlining, and racially-restrictive covenants are now illegal, the effects of this discrimination linger to the present day. CalEnviroScreen is an interactive map-based tool that identifies relative risk based on the community pollution burdens, health risk indicators, and economic vulnerability. An overlay of the 1930s era redlining map of Sacramento and the CalEnviroScreen map of Sacramento shows substantial overlap between redlined areas and areas today which have higher pollution burdens and vulnerable populations. Moreover, demographic maps of the region show that the patterns of racial segregation established by this history have improved, but remain evident.

<sup>4</sup> From the Chinese Railroad Workers in North America Project at Stanford University: <https://web.stanford.edu/group/chineserailroad/cgi-bin/website/virtual/>

<sup>5</sup> Hernandez, Jesus. (2009). Redlining Revisited: Mortgage Lending Patterns in Sacramento 1930-2004. International Journal of Urban and Regional Research. 33. 291-313. 10.1111/j.1468-2427.2009.00873.x.



## FAIR HOUSING ENFORCEMENT AND OUTREACH

Fair housing complaints can be used as an indicator to identify characteristics of households experiencing discrimination in housing. Pursuant to the California Fair Employment and Housing Act [Government Code Section 12921 (a)], the opportunity to seek, obtain, and hold housing cannot be determined by an individual's "race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, or any other basis prohibited by Section 51 of the Civil Code."

Fair housing issues that may arise in any jurisdiction include but are not limited to:

- housing design that makes a dwelling unit inaccessible to an individual with a disability;
- discrimination against an individual based on race, national origin, familial status, disability, religion, sex, or other characteristic when renting or selling a housing unit; and
- disproportionate housing needs including cost burden, overcrowding, substandard housing, and risk of displacement.

The Roseville Housing Division ensures that front desk staff is trained to provide fair housing outreach materials for those who visit, call or email with questions and issues. The City refers discrimination complaints to the California Department of Fair Employment and Housing. The California Department of Fair Employment and Housing dual-files fair housing cases with HUD's Region IX Office of Fair Housing and Equal Opportunity (FHEO), as part of the Fair Housing Assistance Program. HUD's FHEO reported that 8 housing discrimination cases were filed by residents of Placer County in 2019. City level data is not available.

The City of Roseville provides fair housing outreach materials for each of the programs managed by the Housing Division:

The Housing Choice Voucher Program provides several items in the briefing packet for each household that is issued a voucher for the program. The fair housing items include HUD's "Are You a Victim of Discrimination?" booklet, a fair housing resource contact sheet that includes the contact information for HUD, DFEH, Legal Services of Northern California, Project Sentinel and several other resources, as well as the Violence Against Women Act information forms and the Informal Review information for applicants and tenants.

The City, as an entitlement jurisdiction for CDBG funds through the Department of Housing and Urban Development, completes an "Analysis of Impediments to Fair Housing Choice" along with a certification that states it will affirmatively further fair housing in its community. The certification further requires that the grantee undertake fair housing planning through: 1) the completion of an Analysis of Impediments (AI) to Fair Housing Choice in the community; 2) the undertaking of actions to eliminate identified impediments; and 3) the maintenance of records regarding the analysis and actions.

The City also has a Fair Housing Resource page on the Housing website which lists several agencies that offer fair housing information. The website encourages persons who believe they have experienced discrimination in housing rental, sales, or financing because of race, color, religion, sexual orientation, national origin, marital status, disability, or familial status to contact any of the agencies listed.

## INTEGRATION AND SEGREGATION PATTERNS AND TRENDS

### Race and Ethnicity

The Sacramento Valley region is home to more racial, ethnic, and cultural diversity than the national average, and has been growing more diverse. In 2017, non-Hispanic White residents made up 55.7 percent of the population within the region, compared to 73 percent in 1990. However, as described previously, the patterns of segregation established by racial exclusion, redlining, and racially-exclusive covenants remain visible today within the region. The location of Black and Hispanic residents in the Sacramento Region today tends to fall outside of the areas of historic covenant restrictions. Figure X-3 shows the racial and ethnic distribution in the Sacramento Region as of 2010. Generally,

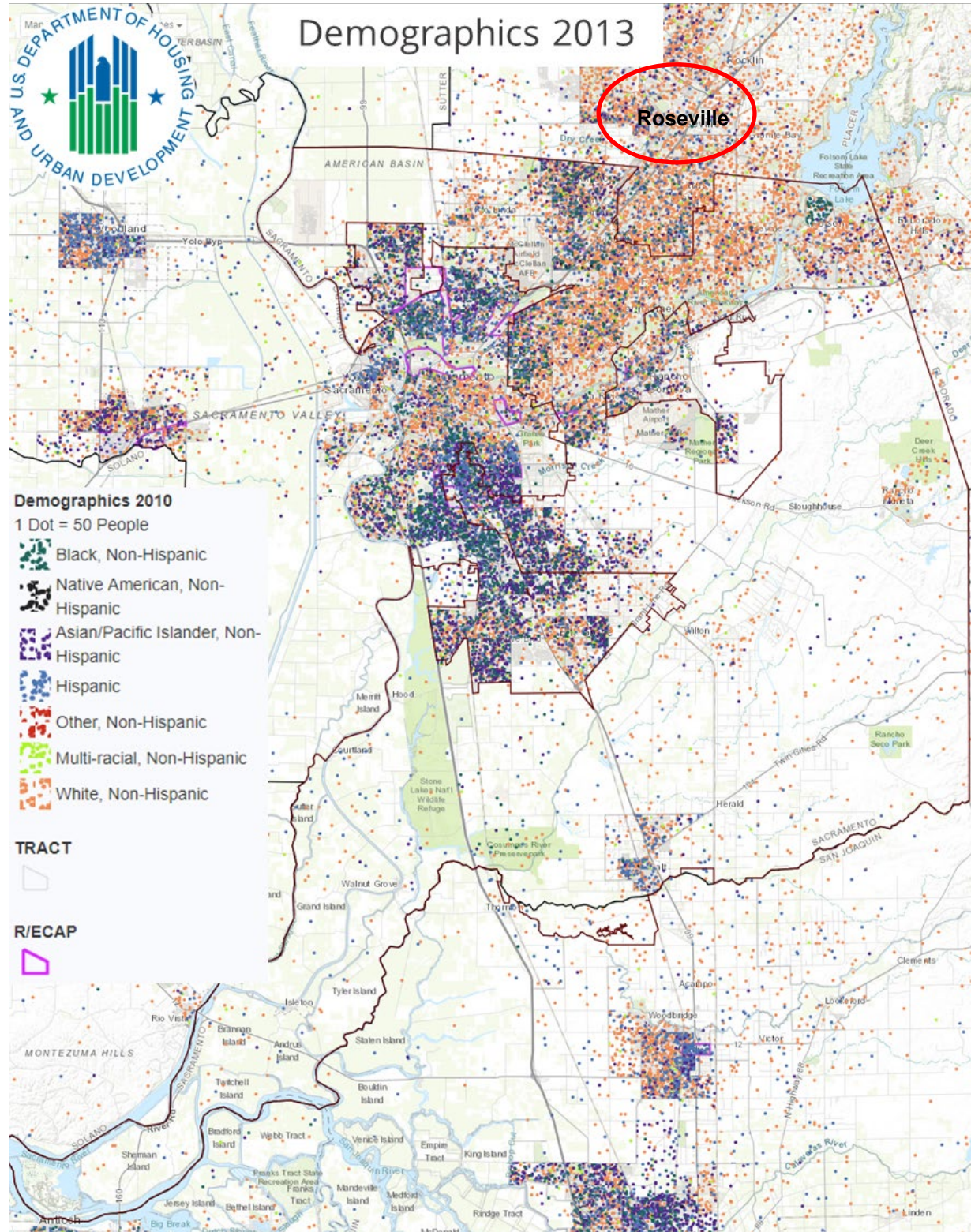
patterns of settlement indicate that the majority of non-White and Hispanic/Latino residents reside in and around the Cities of Sacramento and Elk Grove.

Roseville is less diverse than the region, as Roseville had a higher proportion of non-Hispanic White residents (68.5 percent) than the regional average (56 percent) in 2018. However, communities of color in the City and region have increased over the past three decades. Comparatively, the City's population of non-Hispanic Whites was 85 percent in 1990, 72.6 percent in 2010, and 68.5 percent as of 2018. Demographic maps of the region show that the patterns of segregation remain evident (see Figure X-3). This section describes those patterns of segregation for communities with protected characteristics—including race and ethnicity, familial status, income, and disability status—relative to the City of Roseville and the region.

As shown in Figure X-4, people of color now comprise a significant portion of the population within many block groups in the city, particularly along Douglas Blvd and in the Downtown and Stanford neighborhoods. However, 68.5 percent of the population identifies as non-Hispanic White and all census tracts in the city are predominantly made up of White households (see Figure X-5).

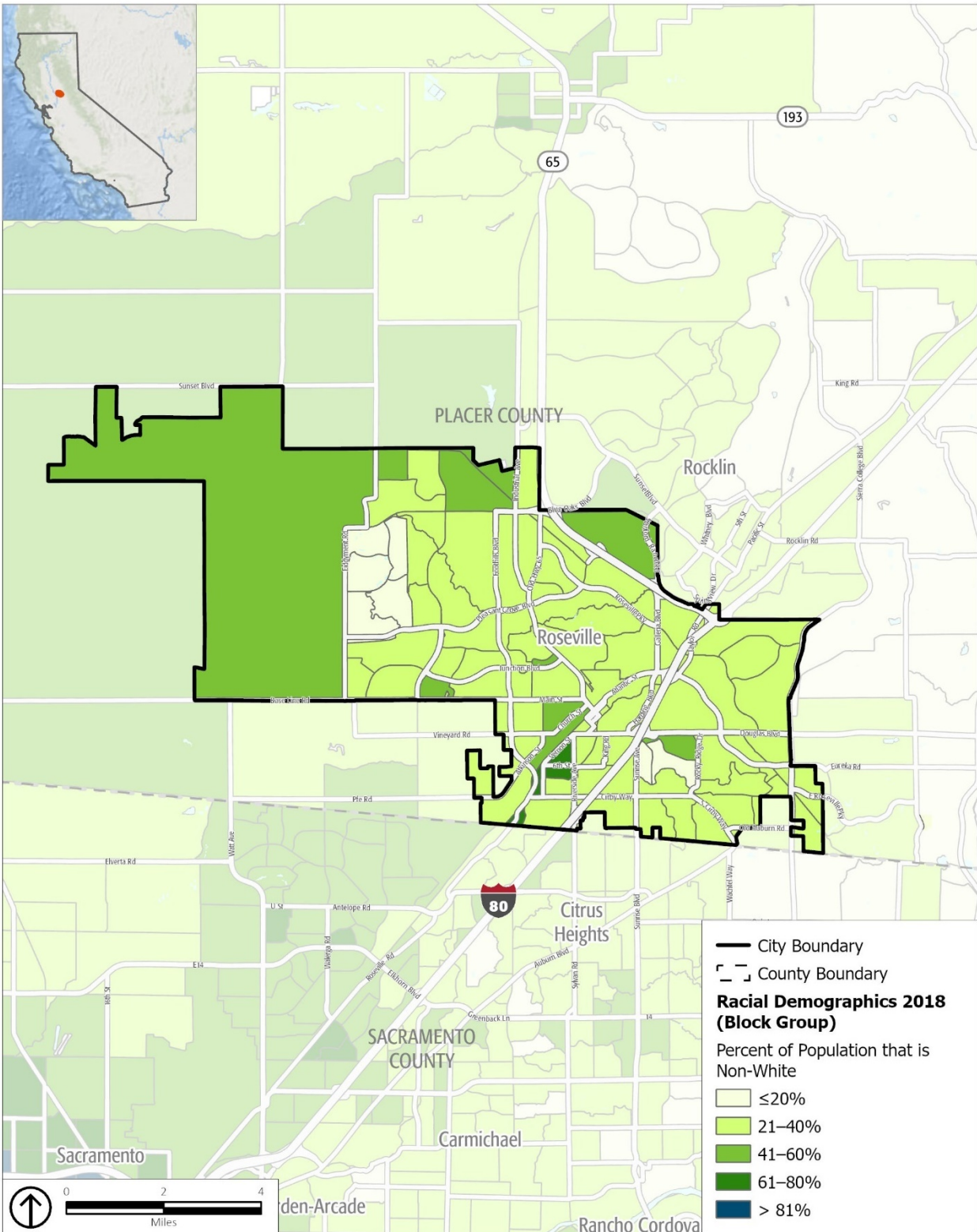


Figure X-3 | Racial and Ethnic Segregation Patterns



Source: HUD AFFH Mapping Tool; Root Policy Research

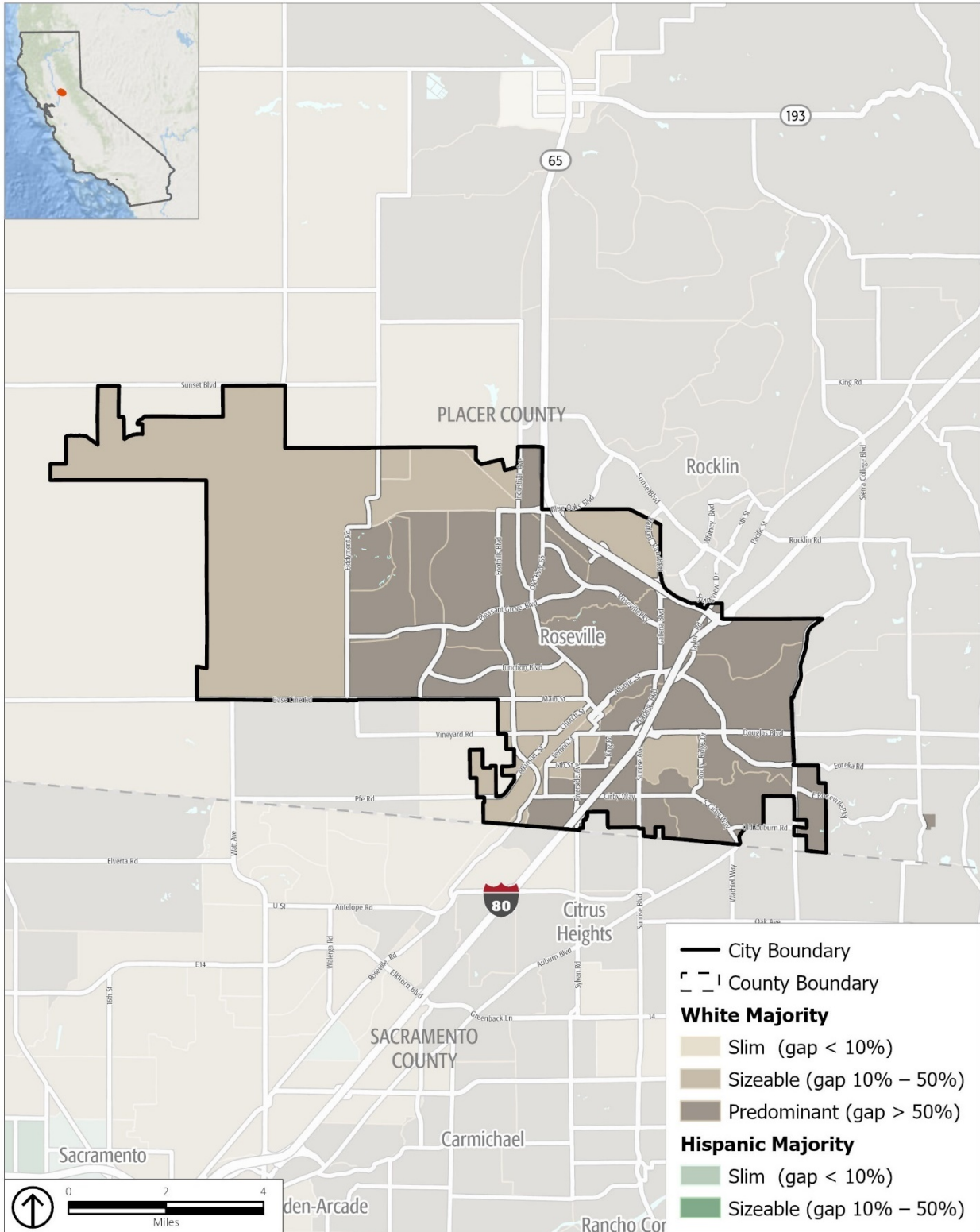
Figure X-4 | Racial Demographics, City of Roseville, 2018



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2018.



Figure X-5 | Racial Predominance by Census Tract, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2018.

### Dissimilarity Index

A common measure of the magnitude of segregation within a city or county is the dissimilarity index (DI). The DI measures the degree to which two specific groups are distributed across a geographic area. The DI varies between 0 and 100 and measures the percentage of one group that would have to move across neighborhoods to be distributed the same way as the second group. A dissimilarity index of 0 indicates conditions of total integration under which both groups are distributed in the same proportions across all neighborhoods. A dissimilarity index of 100 indicates conditions of total segregation such that the members of one group are located in completely different neighborhoods than the second group.

It is important to note that the DI provided by HUD uses non-Hispanic White residents as the primary comparison group. That is, all DI values compare racial and ethnic groups against the distribution of non-Hispanic White residents and do not directly measure segregation between two minority groups (e.g., Black and Hispanic segregation).

Figure X-6 shows the DI prepared for the Sacramento Valley Housing Collaborative as part of the AI. Overall, the DI shows that 15.92 percent of all “minority” households in the city would need to relocate neighborhoods in order to be evenly dispersed with non-Hispanic White households. Patterns of segregation are relatively low within Roseville. The AI notes that a low dissimilarity index (a measure of segregation) can sometimes occur because overall diversity is low, not because segregation is low. Since more than half of all residents in Roseville were non-Hispanic White in 2018 (68.5 percent; see Figure X-4) and most census tracts in the city are predominately white (see Figure X-5), low diversity levels in Roseville have resulted in a more evenly distributed population.

**Figure X-6 | Dissimilarity Index, Sacramento County**

Jurisdiction	Minority/NHW		Hispanic/NHW		Black/NHW		Asian/NHW	
	Dissimilarity Index	Rating	Dissimilarity Index	Rating	Dissimilarity Index	Rating	Dissimilarity Index	Rating
Citrus Heights	18.54	Low	20.64	Low	25.50	Low	18.52	Low
Elk Grove	27.10	Low	19.63	Low	28.80	Low	34.68	Low
Davis	17.96	Low	16.62	Low	21.90	Low	23.63	Low
Rancho Cordova	17.87	Low	18.52	Low	25.16	Low	36.80	Low
Roseville	15.92	Low	20.19	Low	19.41	Low	29.67	Low
Rocklin	12.74	Low	13.44	Low	21.48	Low	24.21	Low
Balance of Sacramento	36.41	Low	36.76	Low	48.52	Moderate	45.19	Moderate
City of Sacramento	37.80	Low	39.56	Low	44.92	Moderate	43.73	Moderate
W. Sacramento	19.26	Low	27.57	Low	29.52	Low	24.27	Low
Woodland	21.58	Low	22.69	Low	30.89	Low	39.69	Low

Note: NHW is Non-Hispanic White.

Source: Decennial Census 2010 pulled from the HUD Exchange and Root Policy Research.

### Familial Status

During the 2014–2018 ACS survey period, the City of Roseville had a higher proportion of family households with children (34.6 percent) compared to Placer County as a whole (29.5 percent). Figure X-7 displays the percentage of children in married couple households in Roseville compared to the rest of the region. Roseville census tracts have a generally high percentage of children in married couple households (more than 60 percent) in comparison to many



surrounding tracts in the region, but a lower percentage of children in married couple households than neighboring cities of Granite Bay and Loomis. The area with the lowest population of children in married couple households is the tract that contains the Timber Creek and Sierra Pine Golf Courses and the tracts along the Church Street and Vernon Street corridors.

Additionally, Roseville had a higher proportion of female headed households with children and no spouse present (5.3 percent) from 2014–2018 than Placer County (4.2 percent). Figure X-8 shows the regional distribution of the percentage of children in female-headed households with no spouse present. The map indicates that less than 20 percent of children in most census tracts throughout the city live in single-female headed households with a few census tracts that have up to 40 percent of children in single-female headed households.

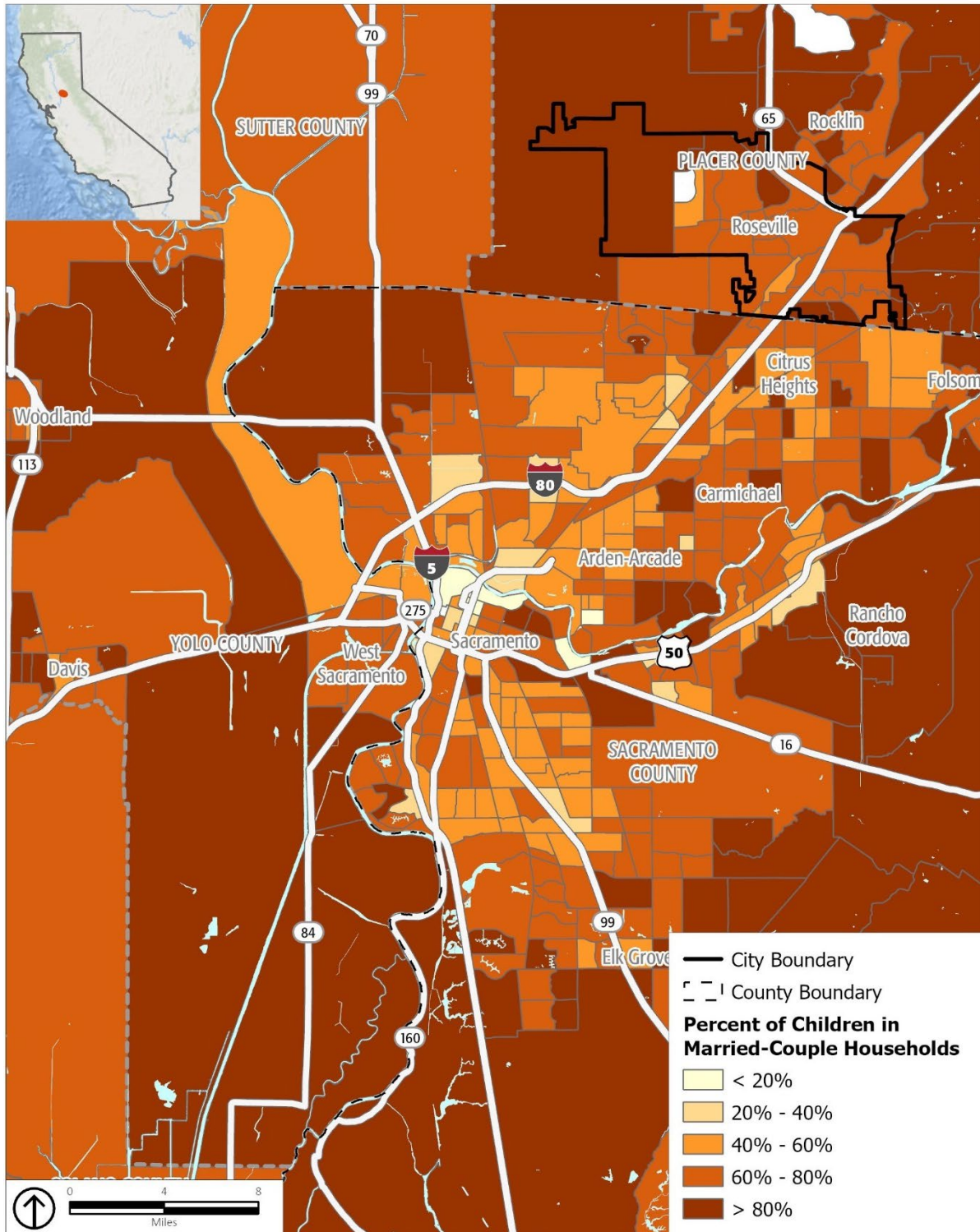
### **Disability**

The U.S. Census Bureau defines disability as one of the following: hearing difficulty, vision difficulty, cognitive difficulty, ambulatory difficulty, self-care difficulty, and independent living difficulty. Roseville has approximately 14,000 residents with disabilities, approximately 6,000 of whom have ambulatory disabilities.

Figure X-9 shows the population with a disability by census tract in the city using American Community Survey data from 2015–2019. Most census tracts have 20 percent or less of their population living with a disability. Many tracts in the northern part of the city have less than 10 percent of people living with a disability and tracts in the southern portion of the city have 20 percent or less with a disability. However, there is one census tract in western Roseville between Pleasant Grove Blvd and Blue Oaks Blvd where between 20 to 30 percent of the population is living with a disability. This is the location of Sun City Roseville, an age-restricted, managed community of more than 3,000 homes.

Residents with disabilities are twice as likely to live in poverty and in a regional survey conducted by for the AI, results showed that one in four households that include a member with a disability are precariously housed and one in three households with a mobility need are living in housing that does not meet those mobility needs. When asked what improvements or modifications were needed to meet accessibility needs, nearly half of respondents reported a lack of grab bars, and approximately a quarter indicated that service or support animals were prohibited, showers were not walk or roll-in, and reserved accessible parking was not near the entrance.

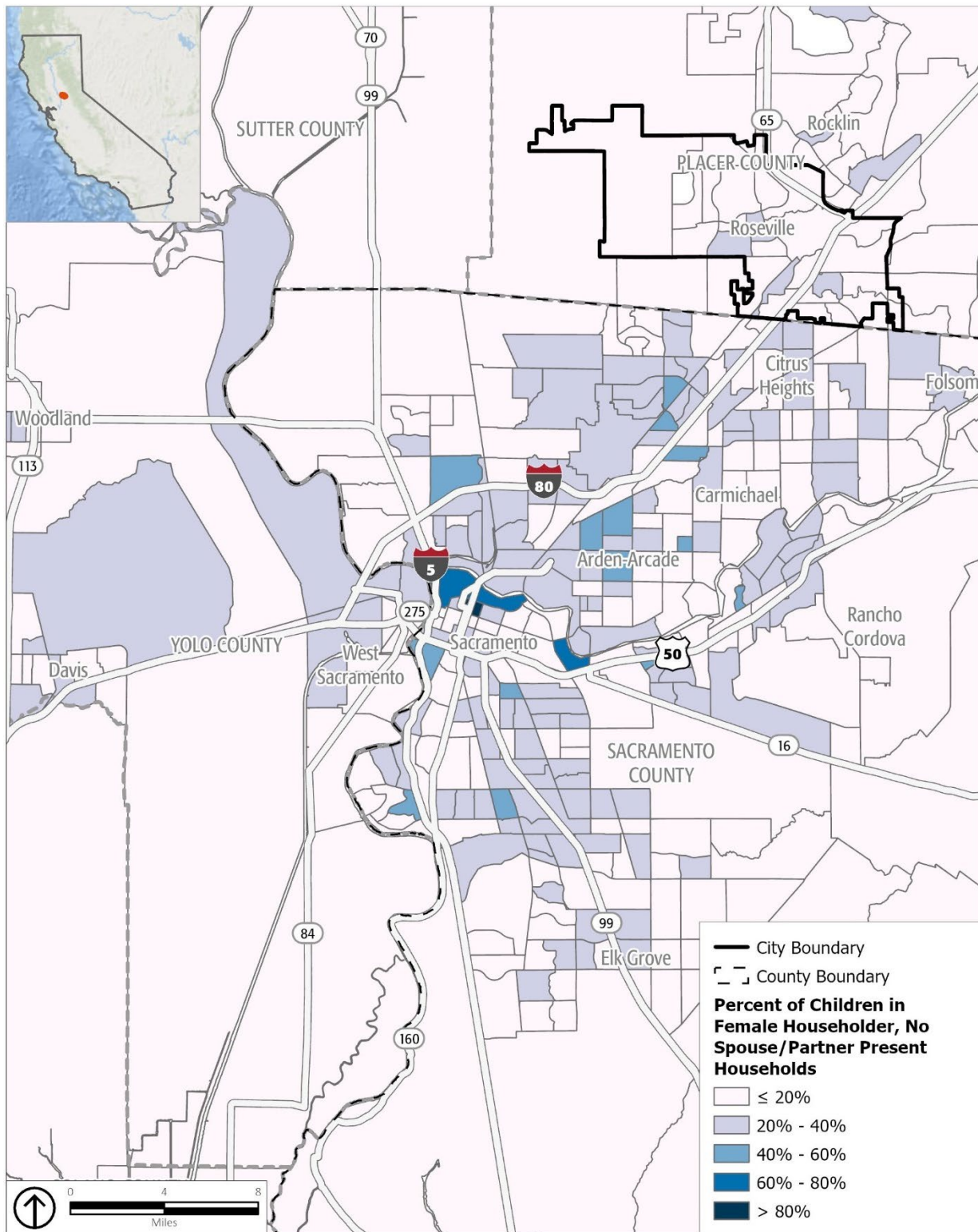
Figure X-7 | Percent of Children in Married Couple Households, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

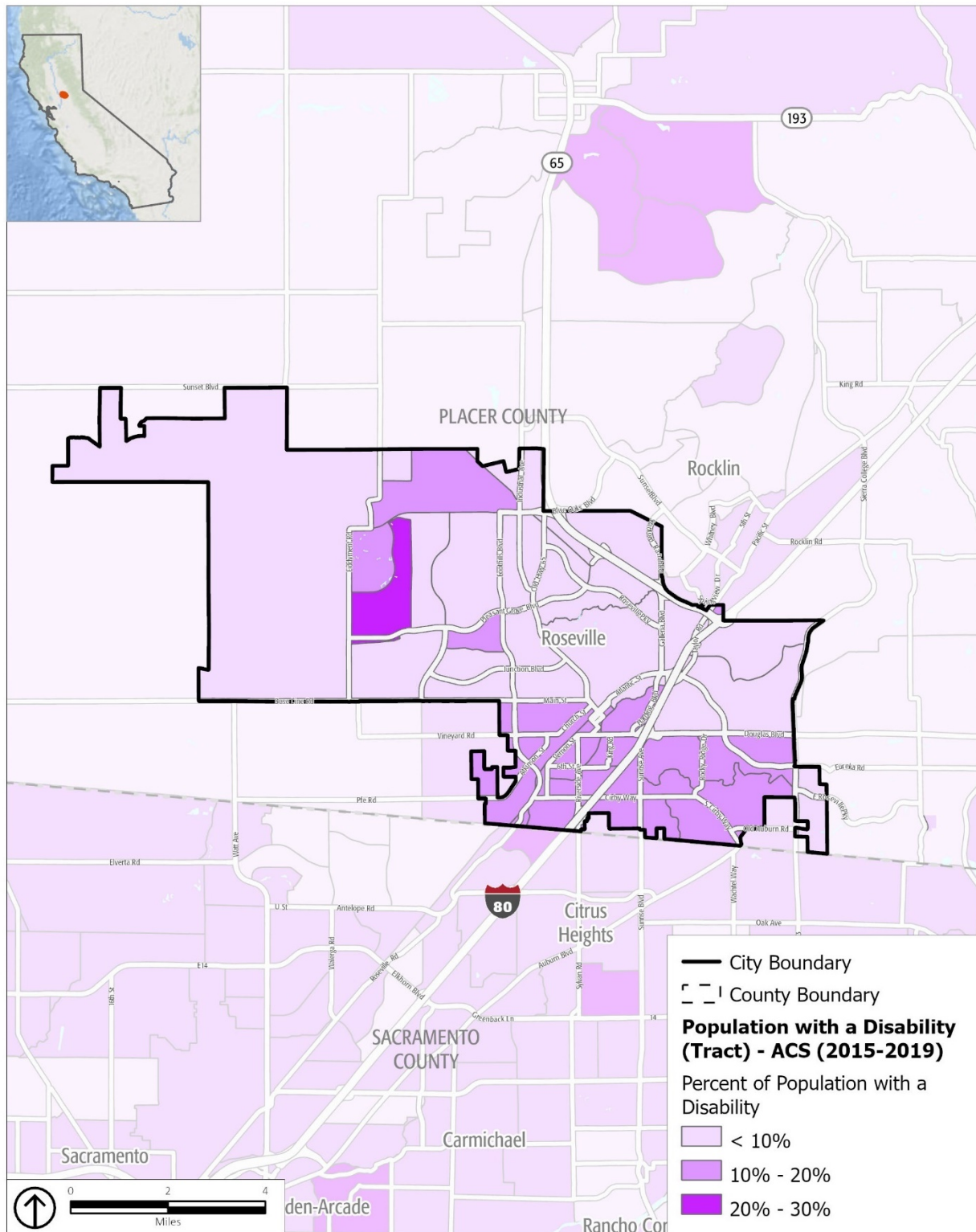


Figure X-8 | Percent of Children in Female-Headed Households, No Spouse Present, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

Figure X-9 | Percent of Population with a Disability, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.



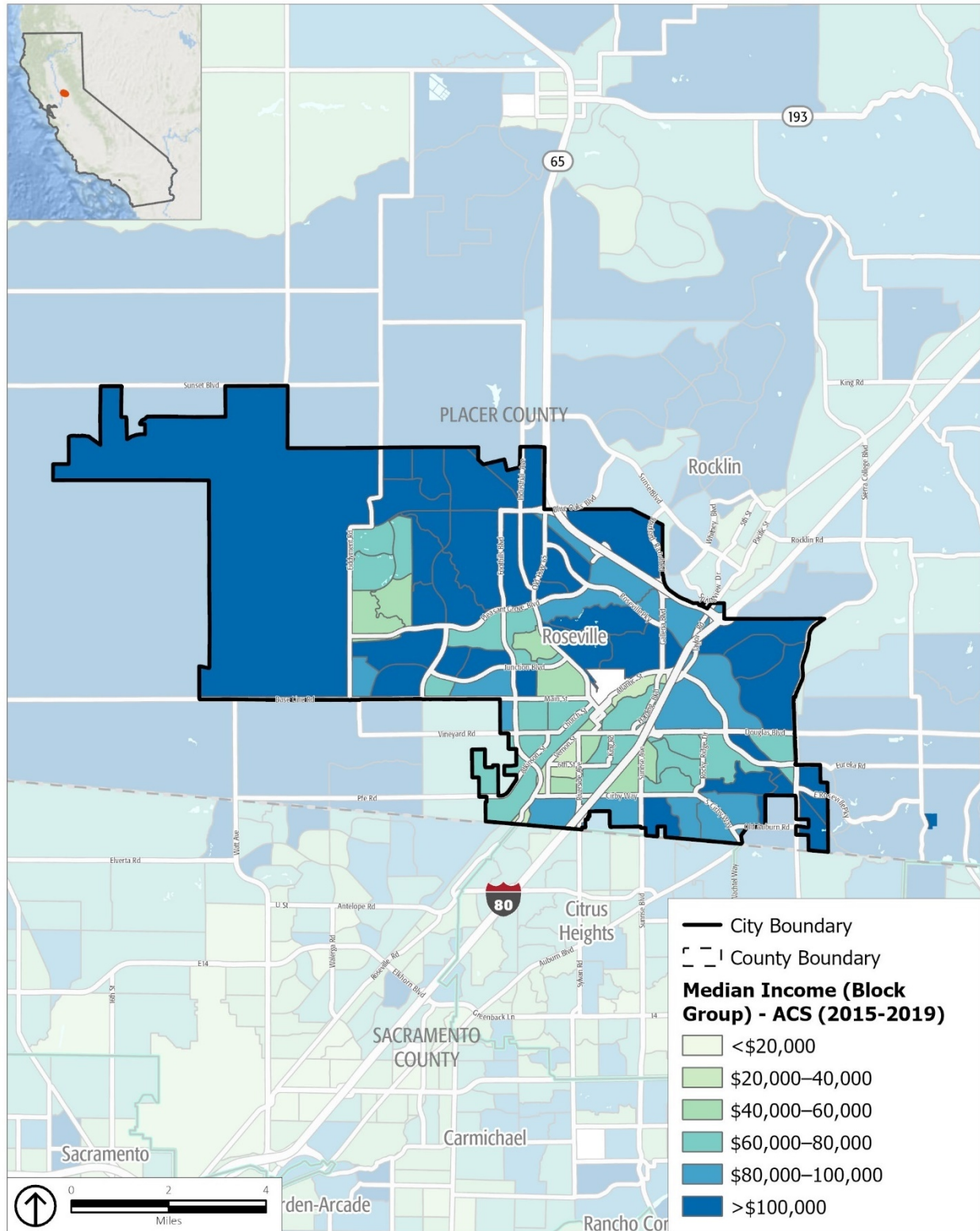
### Income

Income diversity describes the percentage of people within a community who fall within different income levels and it can help describe and define economic segregation. The AI study examined the proportion of people within low-income (below \$35,000 annually), middle-income (\$35,000–\$100,000), and high-income (above \$100,000) households. In 2016, the regional share of these households was 31 percent low-income, 43 percent middle-income, and 27 percent high-income and the City of Roseville share of these households was 21 percent low-income, 41 percent middle-income, and 39 percent high-income. As shown, the City has a higher proportion of high-income households than the region. However, more notable is the change since 2010. The City's middle-income households declined by 5 percentage points over this period while the high-income households increased by 4 percentage points. This should not be construed as describing upward mobility of middle-income families, as it is equally likely to describe the end result of increasing housing and other costs making it less affordable for middle-income families to remain in Roseville.

Figure X-10 below shows the geographic distribution of households by median household income by block groups in Roseville. Many block groups in the county have an income greater than or equal to the 2020 State Median Income (\$87,100). Households with the highest incomes mostly live in the northern part of the city near Rocklin while households with lower incomes are generally south of Base Line Road.

Figure X-11 further displays this information by showing the percentage of low to moderate income households by census tract. As displayed in the map, tracts with the highest percentage of low and moderate-income households are located in the southern part of the city between Foothills Boulevard and Interstate 80. The lowest percentages of low to moderate income households (or households with higher incomes) are located in the outer areas of the city north of Pleasant Grove Boulevard and into the Highland Park neighborhood. As shown in Figure X-12, which displays poverty status by census tract in the county, there are no areas in Roseville with more than 30 percent of the population below the poverty level. While poverty exists throughout the city, it is most concentrated in south Central Roseville between Interstate-80 and the railyards.

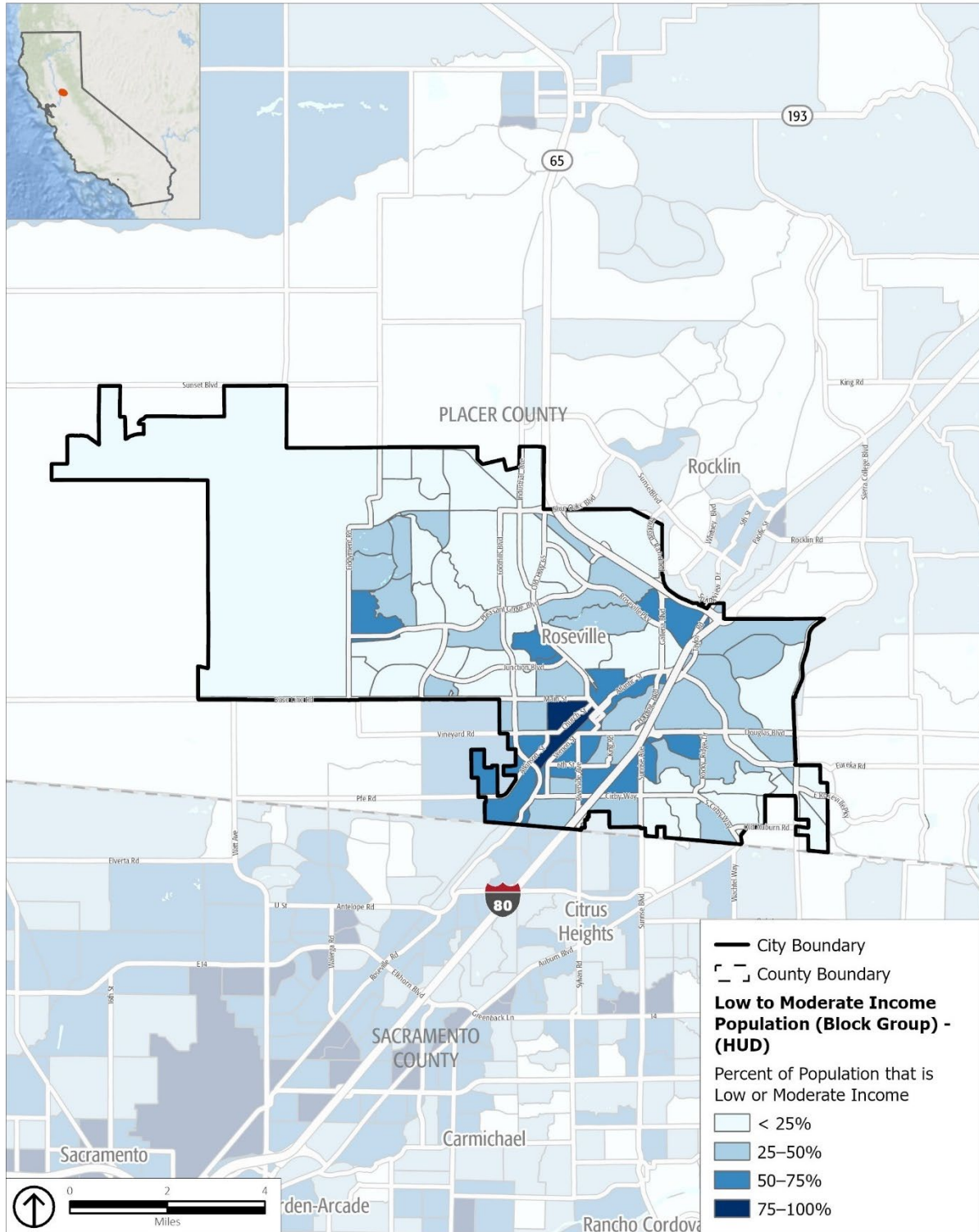
Figure X-10 | Distribution of Median Income by Block Group, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

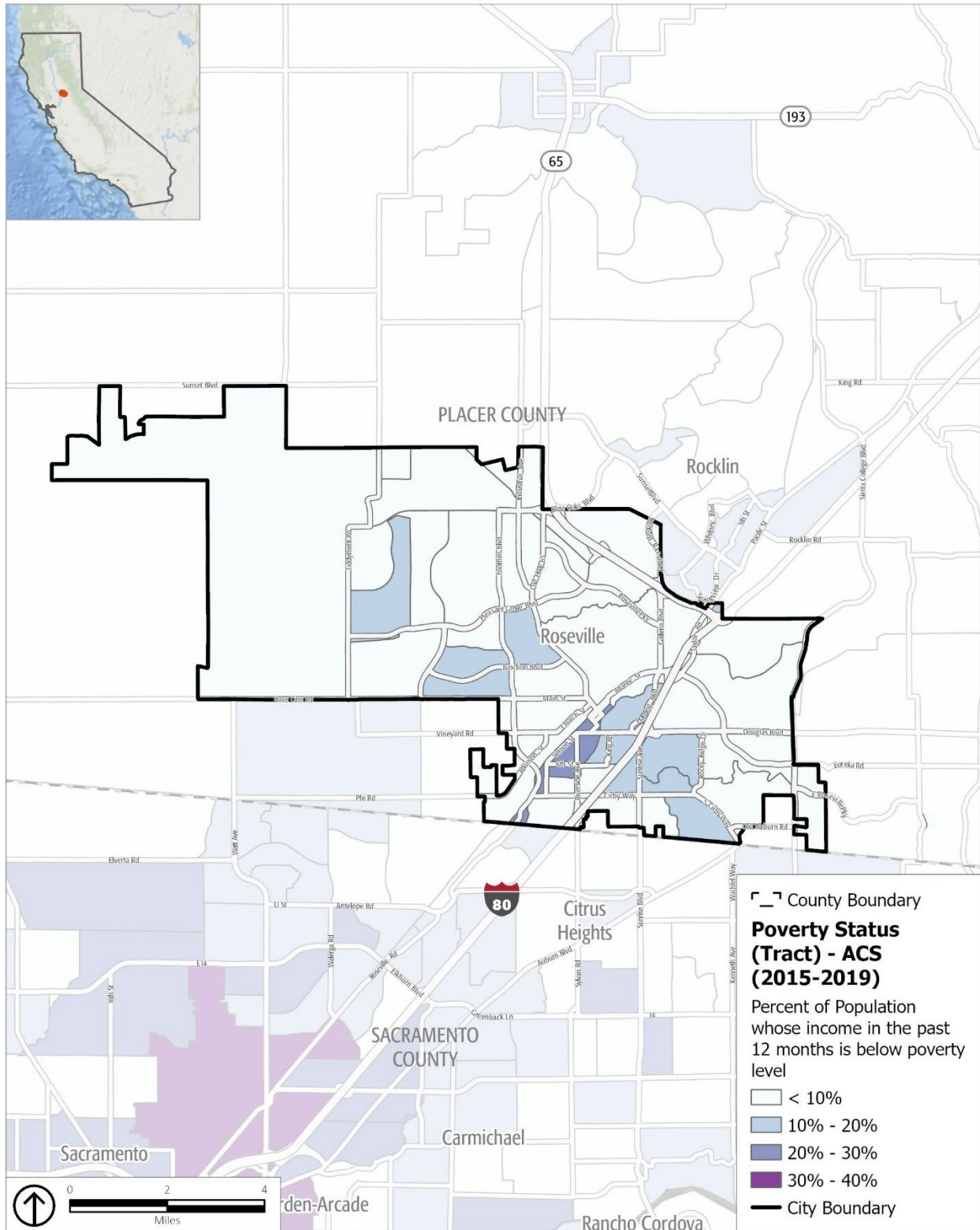


**Figure X-11 | Percent of Low to Moderate Income Households by Block Group, City of Roseville, 2015–2019**



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

Figure X-12 | Poverty Status, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.



## RACIALLY AND ETHNICALLY CONCENTRATED AREAS BY INCOME

The rates of poverty have remained fairly stable in Roseville from the period of 2010 to 2016, with only a 1 percent increase in family households living in poverty during that time (and no increase in individuals living in poverty). The poverty rate in Roseville is 6 percent of all families, which is substantially lower than the regional average of 16 percent. However, poverty disproportionately impacts families of color in Roseville. In 2010, poverty affected Black families most starkly with 18 percent of these families living in poverty. By 2016, the poverty rate for Black families had improved to 10 percent, but remains higher than the 6 percent average for all families in Roseville. While conditions have improved for Black families, conditions have declined for Hispanic families. In 2010, the poverty rate for Hispanic families was 9 percent, and by 2016 it had risen to 17 percent.

### Racially or Ethnically Concentrated Areas of Poverty

HUD has developed a framework to examine economic opportunity at the neighborhood level, with a focus on communities of color. That focus is related to the history of racial and ethnic segregation, which often limited economic opportunity. “Racially or ethnically concentrated areas of poverty,” also known as R/ECAPs, are neighborhoods in which there are both racial concentrations and high poverty rates. According to HUD’s AFFH tool, as reported in the AI, the Sacramento Valley region had 22 R/ECAPs, most of which are located within the City of Sacramento. R/ECAPs also appear in Rancho Cordova, in unincorporated Sacramento County surrounding or adjacent to the city, and in Davis. The other jurisdictions, including the City of Roseville do not have any R/ECAPs.

Although Placer County jurisdictions have no R/ECAPs, there are some racially or ethnically concentrated areas experiencing housing cost burden. In south central Roseville, there is both a large concentration of Hispanic households and a high level of housing cost burden (over 58 percent of households in that census tract are burdened). In this area, the City has an active Owner-Occupied Rehab program to preserve older single-family homes. The Housing Element also includes a new program to target outreach for first-time home-buyer assistance opportunities into this area of the City.

### Racially or Ethnically Concentrated Areas of Affluence

Although HCD and HUD have not established standard definitions for Racially or Ethnically Concentrated Areas of Affluence (RCAAs), they are generally understood to be neighborhoods in which there are both high concentrations of non-Hispanic White households and high household income rates. Comparing the City of Roseville relative to the surrounding Sacramento region, Roseville has a greater presence of higher income levels and lower diversity than other incorporated cities. As was discussed previously and shown in Figure X-5, non-Hispanic Whites are the predominant racial/ethnic group throughout Roseville. Additionally, the median household income in most census tracts throughout the city is equal to or greater than the 2020 State Median Income, and several census tracts have a median household income above \$100,000 (see Figure X-10). Predominately white neighborhoods with higher incomes are generally located near the northern central city, indicating a local RCAA.

## ACCESS TO OPPORTUNITY

Across the nation, affordable housing has been disproportionately developed in minority neighborhoods with high poverty rates, thereby reinforcing the concentration of poverty and racial segregation in low opportunity and low resource areas. HCD in coordination with the California Tax Credit Allocation Committee (TCAC) has developed “opportunity indices” to assess and measure geographic access to opportunities. For this assessment, the opportunity index prepared by HCD and TCAC is used to analyze access to opportunity in Roseville. Access to opportunity is measured by access to healthy neighborhoods, education, employment, and transportation.

### AI Findings

The AI examined the United States Department of Housing and Urban Development (HUD) opportunity indicators, local and regional needs assessment, and findings from community engagement surveys and reports. The study thoroughly examined many opportunity factors and evaluated access based on intersecting factors such as race and ethnicity, tenure (e.g. renter or homeowner), income, disability, and other factors. The primary findings pertinent to Roseville indicate that the City is an area of high opportunity. Residents have access to high quality schools and

economically strong neighborhoods with major employment centers and labor market engagement, and report healthy neighborhood indicators as being higher than the regional average. The UC Davis Regional Opportunity Index also indicates that Roseville is an area of high opportunity.

Regionally, African American residents and Hispanic residents are least likely to have access to economically strong (low poverty) neighborhoods. Among residents in poverty, the gap in access by race and ethnicity narrows, but still persists. African American, Hispanic, and Native American residents of Sacramento and Hispanic and Native American residents of West Sacramento are least likely among all regional residents to have access to economically strong neighborhoods. Elk Grove, Rocklin, Roseville, and Davis residents are most likely to have access to economically strong neighborhoods, and there are not significant differences in access by race or ethnicity. Among residents in poverty in these cities, the likelihood of living in an economically strong neighborhood drops, but overall, disparities by race or ethnicity do not grow.

In general, residents of Rocklin, Roseville, Davis, and Elk Grove are most likely to have access to proficient schools. With the exception of Roseville, there are no meaningful differences in access to proficient schools by race or ethnicity in these communities. In Roseville, Asian residents are most likely to have access to proficient schools, and Hispanic and Native American residents are least likely; this gap widens among residents in poverty.

Regionally and within each jurisdiction, residents somewhat agree with the statement, *“All neighborhoods in my area have the same quality of parks and recreation facilities.”* Residents of Davis, Roseville, Rocklin, and Elk Grove more strongly agree that park and recreation facility quality is the same throughout their community. Resident survey respondents living in Davis, Roseville, Rocklin, Elk Grove, and Woodland tend to rate each healthy neighborhood indicator higher than the regional average.

### **HCD/TCAC Opportunity Areas**

HCD and TCAC prepare opportunity maps to determine areas with the highest and lowest resources. The TCAC/HCD Opportunity Maps are intended to display the areas, according to research, that offer low-income children and adults the best chance at economic advancement, high educational attainment, and good physical and mental health. The primary function of TCAC is to oversee the Low-Income Housing Tax Credit (LIHTC) Program, which provides funding to developers of affordable rental housing. The opportunity maps play a critical role in shaping the future distribution of affordable housing in areas with the highest opportunity.

According to the HCD/TCAC 2020 Opportunity Areas Composite Score (Figure X-13), the majority of the city’s census tracts are considered high or highest resource. These high and highest resource areas are generally concentrated on the western and eastern ends of the city. Specifically, much of the city’s western neighborhoods have many vacant greenfield parcels and, thus, are ideal for future development. In contrast, there are only two low resource areas in south central Roseville between Interstate-80 and the railyards.

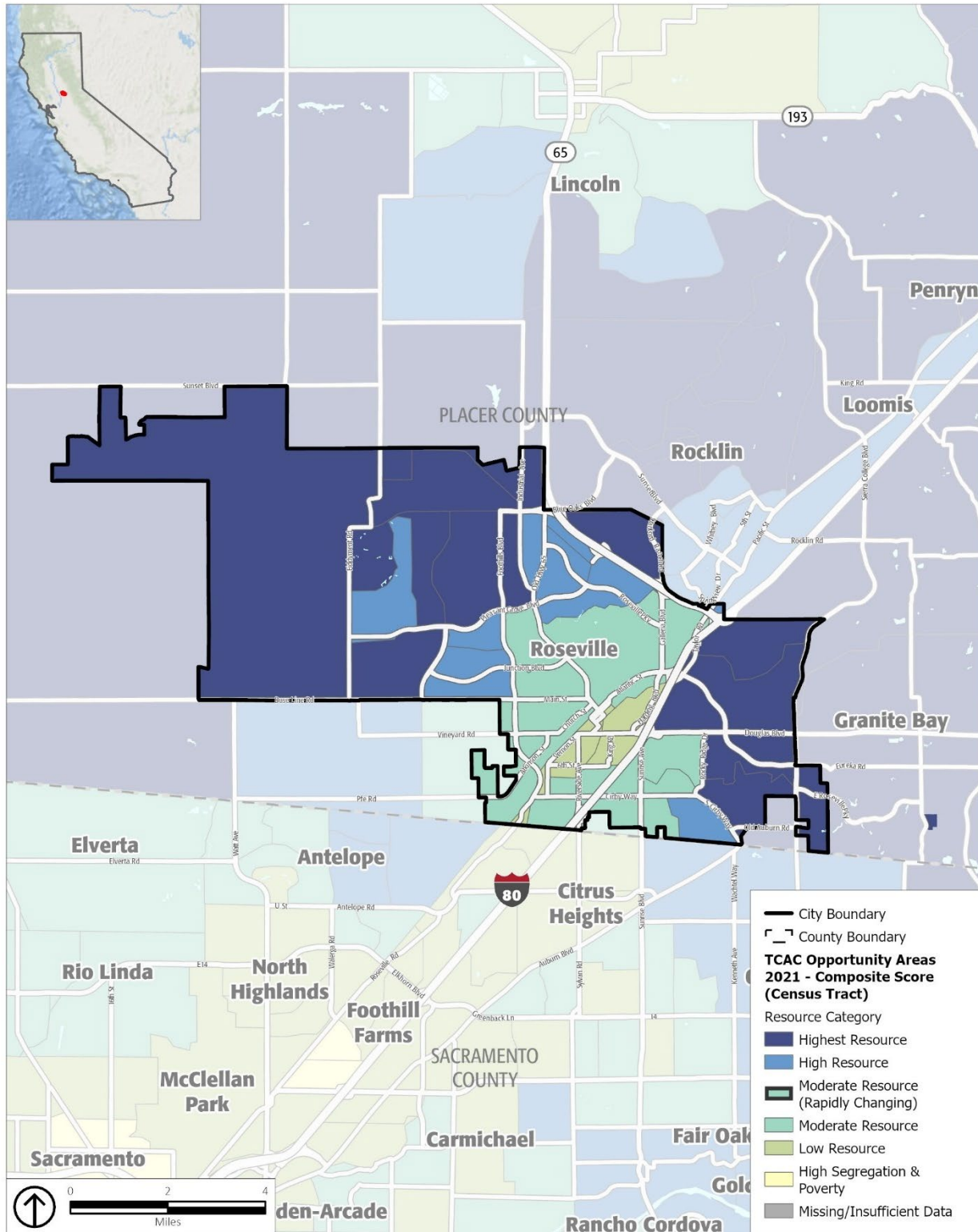
The City of Roseville’s overall high opportunity scores were a significant contributing factor to the City’s RHNA. The lower income housing allocation for each jurisdiction was adjusted based on methodologies addressing job-housing balance (the relationship between the number of low wage jobs and the availability of affordable housing), regional income parity (the amount of low-income households compared to the regional average), and affirmatively furthering fair housing (high opportunity areas). For Roseville, all three factors resulted in substantial increases in the City’s allocation. These three factors resulted in the City receiving 1,265 additional lower income units as part of its allocation, increasing the proportion of the City’s lower income RHNA from 40.7% to 51.2% of the total allocation.

### **Educational Opportunity**

Most of Roseville has high education scores, particularly areas on the western and eastern ends of the City. Figure X-14 shows that only one small area of the city near the railyards has an education score less than or equal to 0.25, indicating the least positive educational outcomes. The neighborhoods surrounding Westfield Galleria and the Roseville Square Shopping Center also have lower education scores compared to the rest of the city. In comparison to the region, Roseville generally has lower education scores than neighboring Granite Bay and Rocklin, but higher education scores than neighboring Citrus Heights and unincorporated Sacramento County.



Figure X-13 | TCAC Opportunity Areas – Composite Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021.

## Proximity to Jobs

The 2014–2017 U.S. Department of Housing and Urban Development's (HUD) job proximity index quantifies the accessibility of a given neighborhood to all jobs within a core-based statistical area (CBSA), which tend to be larger in size and don't follow city boundaries. CBSAs are anchored by an urban center of at least 10,000 along with adjacent counties that are socioeconomically tied to the urban center by commuting. In this case, the CBSA encompasses the cities of Roseville, Sacramento and Elk Grove. Index ratings for Roseville (see Figure X-15) show the closest proximity to jobs in the eastern and central areas of the city where there are more employment centers, and these index scores generally decline for census tracts farther away from these employment clusters. In fact, there are a few census tracts on the western end of the city with a job index of less than or equal to 20, which means that those residents have the furthest proximity to jobs. Note that the far western side of the City is mapped as having a moderate job index, but this is because this portion of the City is within a very large census tract. The southern boundary of the tract is the Sacramento County line, the northern boundary follows the creek just south of Moore Road, and the western boundary is the Sutter County line. As a consequence, this census tract—and by extension the westernmost area of the City—has a job index of moderate, even though this area of the City should have a low jobs proximity score. In comparison to the region, Roseville generally has greater job opportunity index scores than the neighboring cities of Rocklin, Loomis, Lincoln, Granite Bay, and Citrus Heights.

## Access to Transportation

HUD has developed the Low Cost Transportation Index, which estimates the percentage of income that residents use to pay for transportation. The higher an area's index score, the lower the cost of transportation, which can be influenced by factors such as access to public transportation, housing density, and proximity of employment centers and other services. As a whole, Roseville has an average score of 62, meaning it has lower transportation costs than 62 percent of the nation. In comparison, the average score for California is 66, the average for Sacramento County is 66, and the average score for Placer County is 53, meaning Roseville has higher costs than the statewide average and Sacramento County, but lower costs than the rest of Placer County. As shown in Figure X-16, the parts of Roseville that are nearest to I-80, the multimodal transit station (which includes Greyhound, local bus, commuter bus, and Amtrak service), and State Highway 65 have higher index scores (59–78) than the rest of the city and therefore lower transportation costs. Costs could also be lower because these areas are in closer proximity to services and employment centers like the Westfield Galleria at Roseville. In contrast, there are lower scores in the western portion of the city (40–58) and southeastern corner (21–39). These areas are further away from employment centers, and the western area of the City is in a newly developing area where transit options and frequency are currently lower.

## Environmental Conditions

Lower-income housing and racially segregated communities are disproportionately impacted by a combination of locational factors such as proximity to landfills, freeways, industrial areas, and other toxins and pollutants. A 2016 report entitled "Poverty Concentration and the Low Income Housing Tax Credit (LIHTC): Effects of Siting and Tenant Composition" studied whether nationally the LIHTC affects the concentration of poverty. The study examined who lives in tax credit developments in different neighborhoods, and how neighborhoods and metropolitan areas change after LIHTC developments are built. The study concluded that the distribution of affordable housing has been disproportionately developed in neighborhoods with predominantly Non-White communities, poor environmental conditions, and high poverty rates which thereby reinforce poverty concentration and racial segregation in low opportunity and low resource areas. The links between health and housing strongly indicate that improved housing and neighborhood environments could lead to reductions in health disparities.

TCAC and HCD measured environmental opportunity using the exposure, pollution burden, and environmental effect indicators used in California's Office of Environmental Health Hazard Assessment CalEnviroScreen 3.0 tool. CalEnviroScreen 3.0 is a statewide risk assessment tool that measures the cumulative impacts of multiple sources of pollution. As shown in Figure X-17, the City of Roseville has moderately positive environmental scores. The areas in and surrounding the central core of the City, had the lowest environmental scores (less than 0.25) indicating the least positive environmental conditions. This is likely due to the presence of the Union Pacific Railroad tracks and the railyard in this area, which are associated with lowered air quality. Other portions of the City had lower environmental scores of 0.25 to 0.50 and are shown in yellow on the map. This includes the large area to the west of Fiddymont



Road, which is home to the Pleasant Grove Waste Water Treatment facility. The highest scoring neighborhoods in the western areas of the City are west of Foothills Boulevard and north of Junction Boulevard. In the eastern City, the areas with the greatest environmental scores are east of Sunrise Avenue.

The statewide average score is 0.49, Placer County's average score is 0.70, Sacramento County's average score is 0.43, and Roseville's average score is 0.63. Placer County's high average score is strongly driven by the rural foothill and mountain areas that make up a significant portion of Placer County, and have very high environmental quality scores. Roseville's score is higher than the state average and Sacramento County's average, and is close to the Placer County average, despite the fact that Roseville is a more urban environment. Therefore, the City does not have a higher average burden than the region.

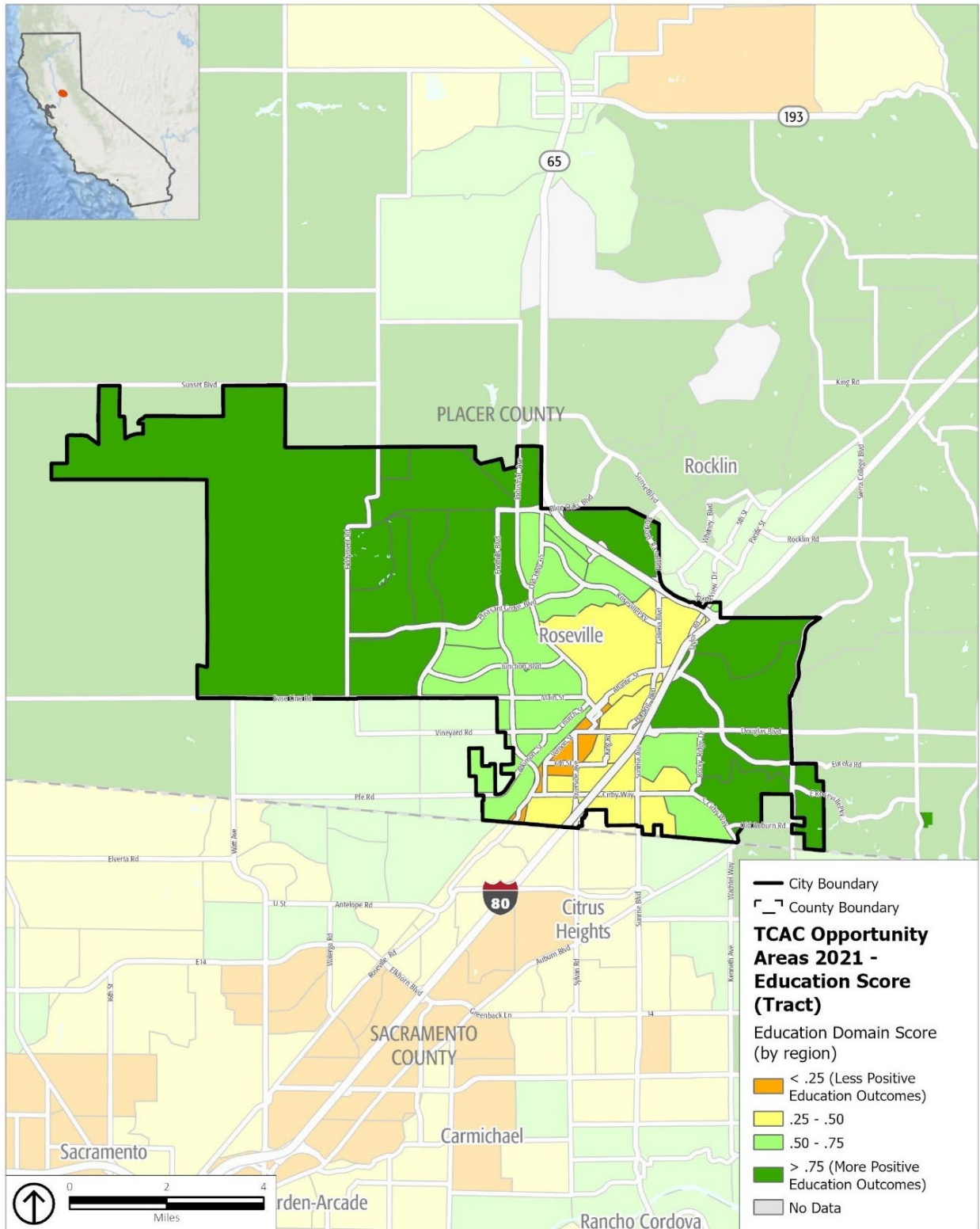
## DISPROPORTIONATE HOUSING NEEDS

An analysis of disproportionate housing needs identifies how access to the housing market differs for members of protected classes and whether such differences are related to or the effects of discriminatory actions. For the disproportionate housing need analysis, a "housing problem" is defined as units having incomplete kitchen or plumbing facilities, more than 1 person per room, and households with cost burdens greater than 30 percent (where costs include utilities, insurance, HOA fees, and property taxes). "Severe" housing problems include all of the above except that the cost burden is greater than 50 percent.

The AI found that 39 percent of households in Roseville experience housing problems and 18 percent experience severe housing problems. Analyzing the problems by race and ethnicity showed that Black households are most likely to experience housing problems (49 percent) and severe housing problems (39 percent) in the region. However, in Roseville, there is less variation of housing problems between race and ethnicity when compared to the region overall. In general, housing burdens are not spatially concentrated in Roseville. However, south central Roseville has both a large concentration of Hispanic households and high proportion of households that are cost-burdened (over 58 percent of households).

Resident surveys and focus groups conducted for the AI found significant differences in the housing challenges experienced by members of protected classes within the region. Among the greatest concerns for most residents, specifically members of protected classes, were rent increases, inability to buy a home, and concern for property taxes. Additionally, households that include a member with a disability experience distinctive challenges related to modifications to the home and/or accommodations from a landlord or housing provider.

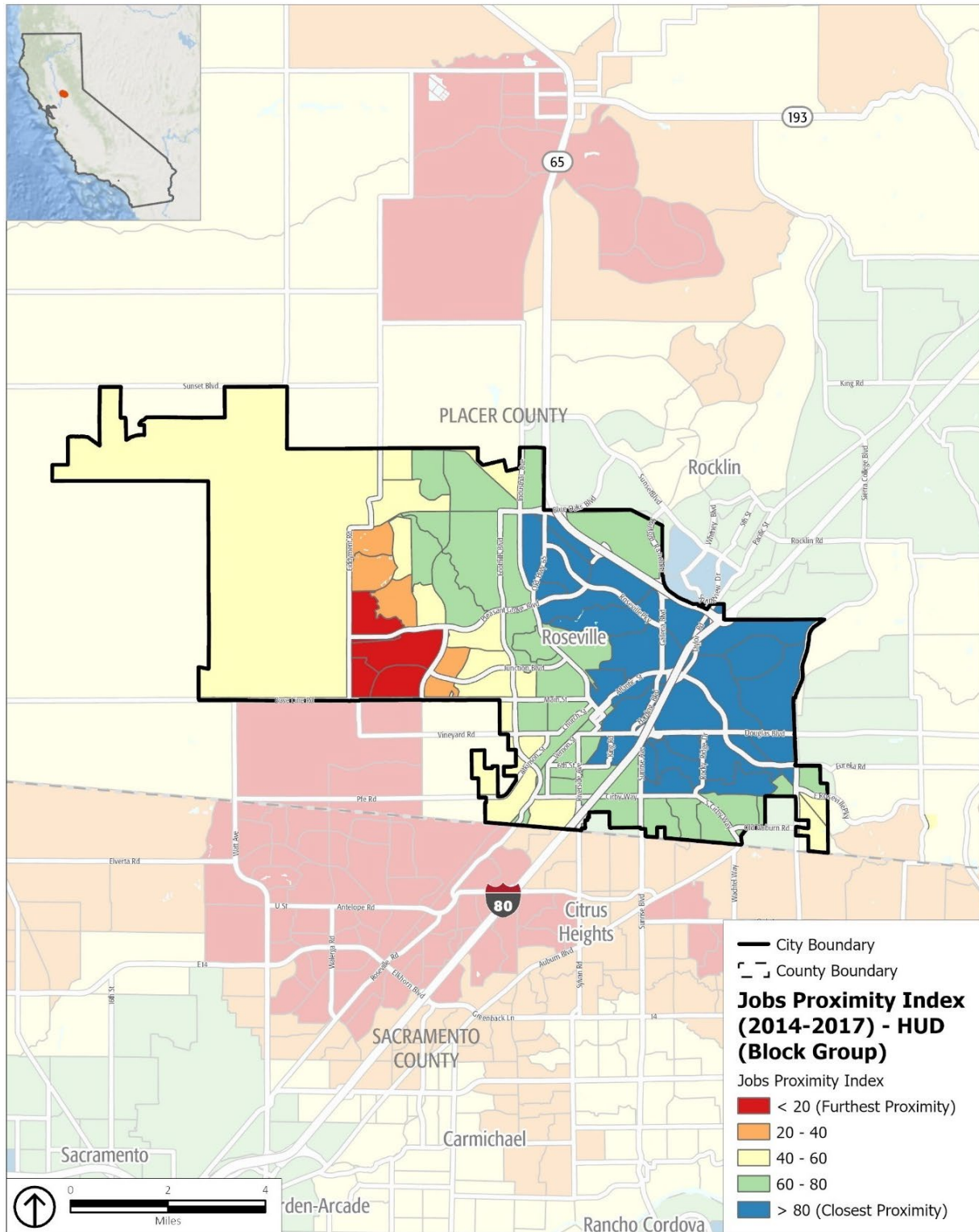
Figure X-14 | TCAC Opportunity Areas – Education Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021.

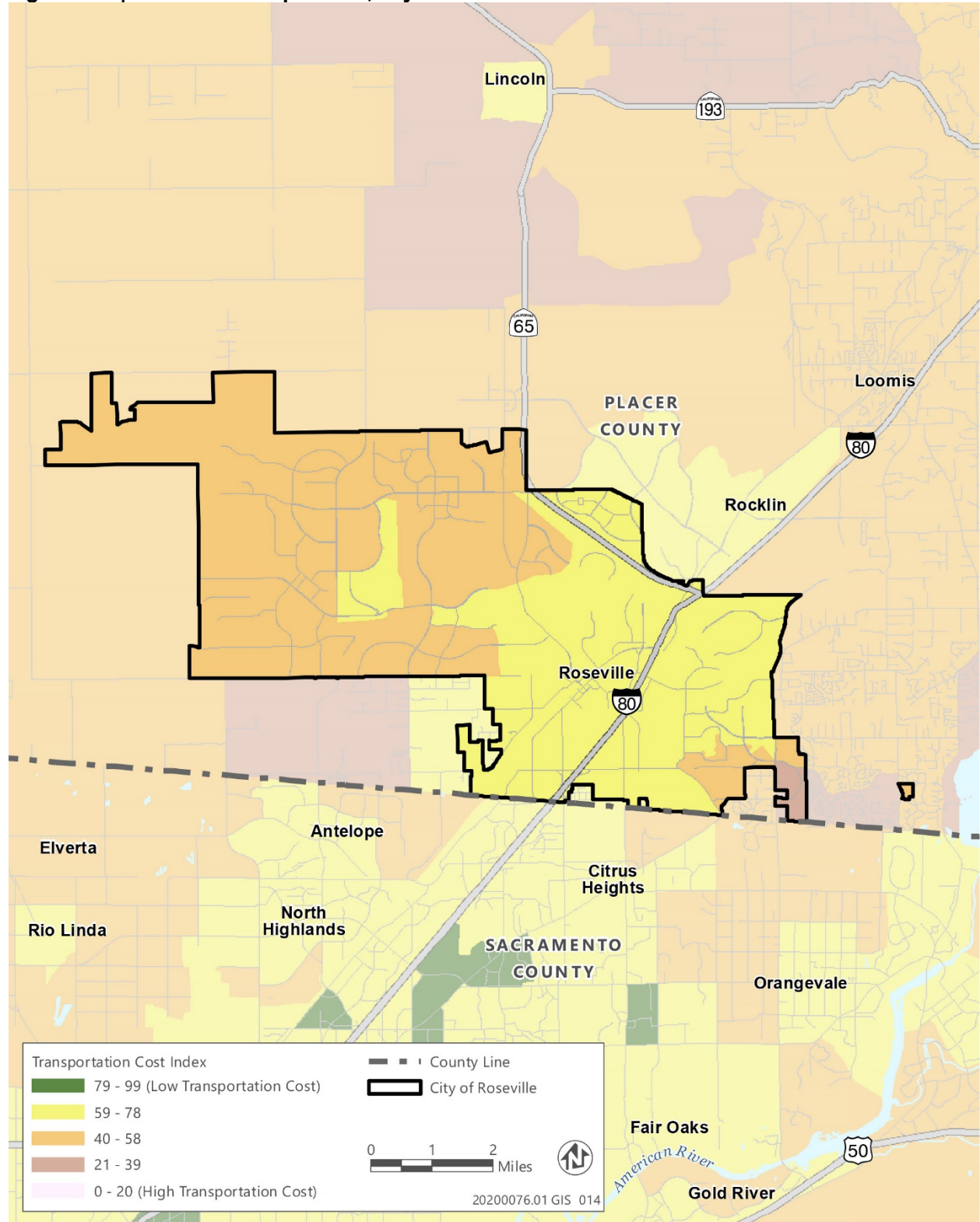


Figure X-15 | Jobs Proximity Index, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, 2021. HUD, 2014-2017. Longitudinal Employer-Household Dynamics, 2014.

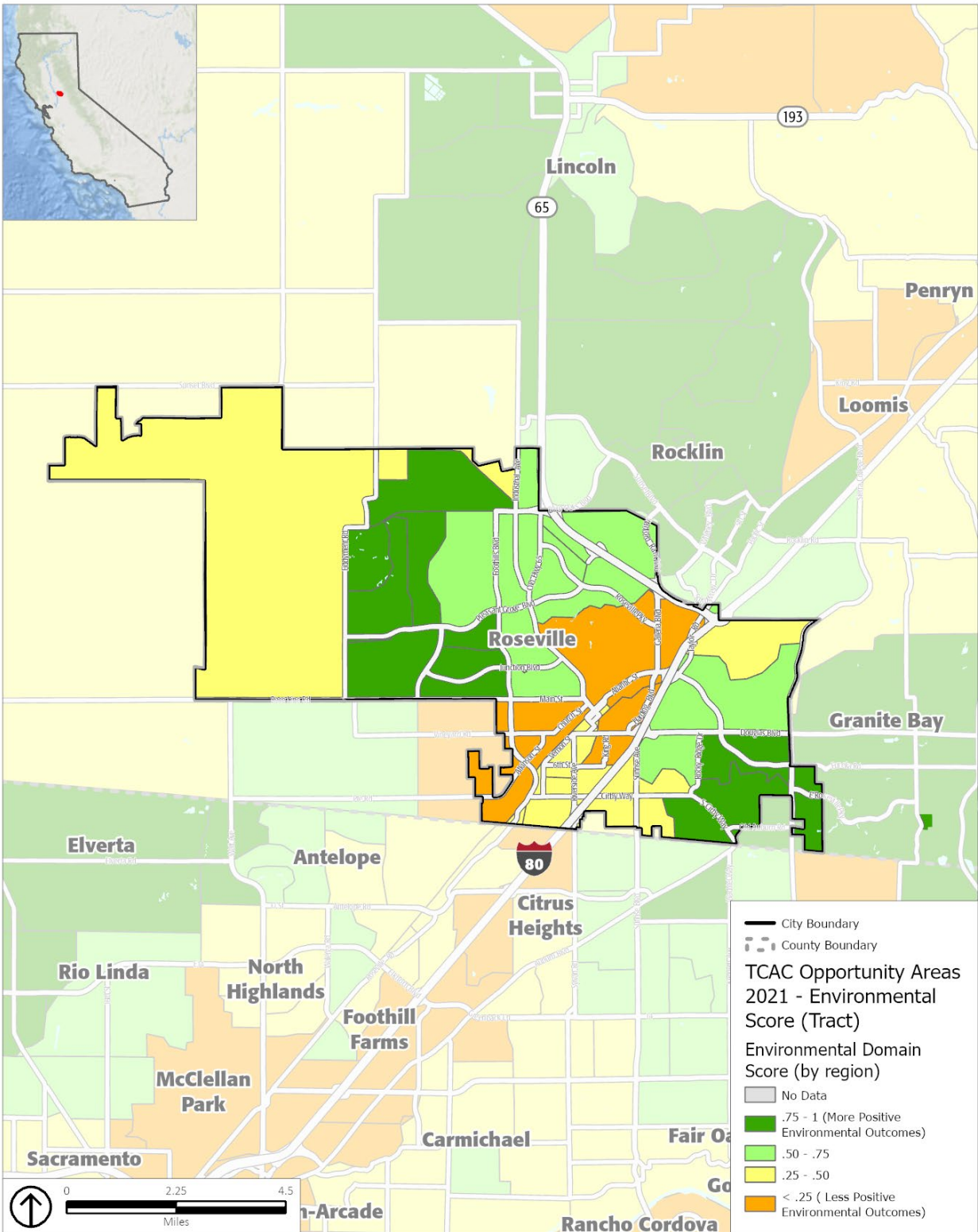
Figure X-16 | Access to Transportation, City of Roseville



Source: HUD Low Cost Transportation Index, 2020



Figure X-17 | TCAC Opportunity Areas – Environmental Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021

**Overpayment**

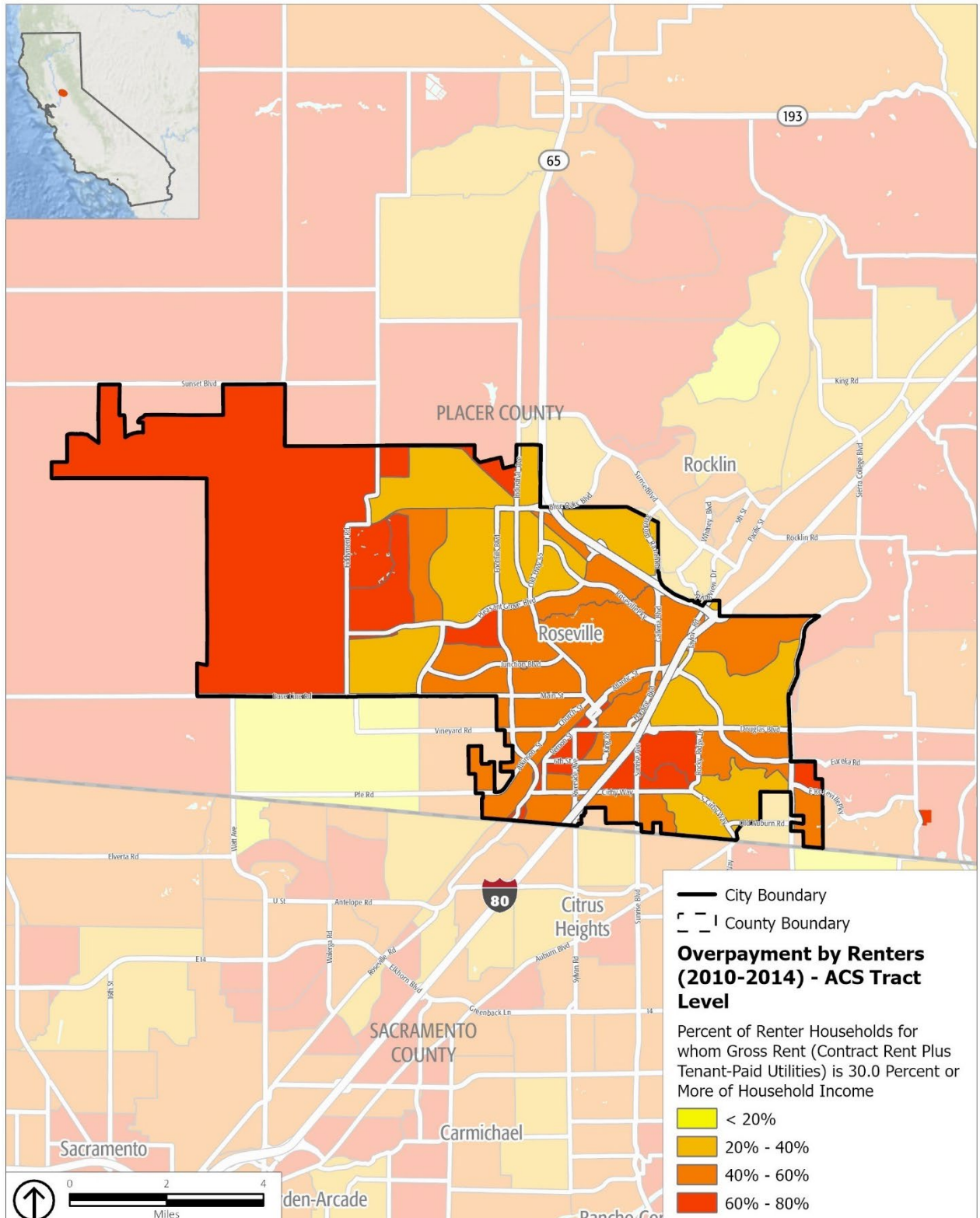
As previously described, overpayment or cost burden is defined as households paying more than 30 percent of their gross income on housing related expenses, including rent or mortgage payments and utilities. As shown in Table X-7, 24 percent of all lower income households in Roseville were cost-burdened in 2017.

Renters in the city were significantly more burdened with overpayment compared to homeowners, with 41.6 percent of lower-income renters burdened by housing costs compared to 14.4 percent of lower income homeowners. Figures X-18 and X-19 show the trends of overpayment for renters in the city between 2010–2014 and 2015–2019, respectively. In most of the central city, 40–60 percent of renters per census tract are housing cost-burdened. Since 2014, trends of overpayment in the city for renters have varied with some census tracts seeing an increase in cost-burden while others seeing a decrease in cost-burden. There was a greater presence of housing cost burden in the far western area of the city between 2010 and 2014 and these rates of cost burden decreased from 2015–2019. This could be because a number of homes and apartments in this area were built during the City's market peak, creating higher rents than in surrounding neighborhoods with older buildings. With the crash of the housing market and recession in 2008, residents in this area for the next few years (2009–2012) were likely dealing with shrinking wages and/or job loss but the same high costs for housing. Between 2010 and 2019, many renters experiencing overpayment or severe overpayment in the far west area of the city could have been displaced and moved to other neighborhoods in the city due to economic and market pressures.

Figures X-20 and X-21 show overpayment trends for homeowners in the city between 2010–2014 and 2015–2019, respectively. Fewer homeowners are currently overpaying for housing throughout the city, compared to the 2010–2014 period. About 20–40 percent of homeowners have consistently been overpaying for housing since 2010.

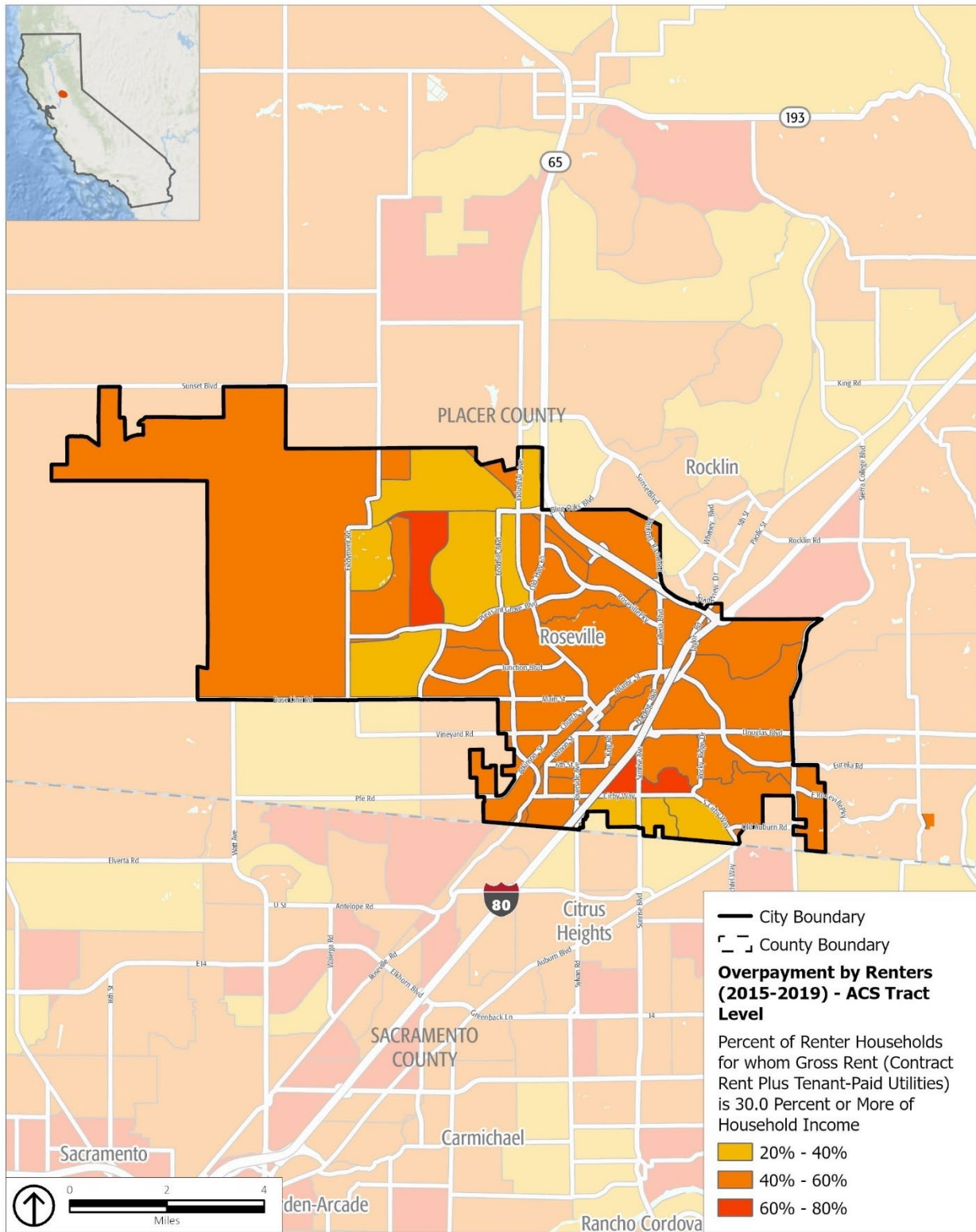


Figure X-18 | Overpayment by Renters, City of Roseville, 2010–2014



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2010–2014.

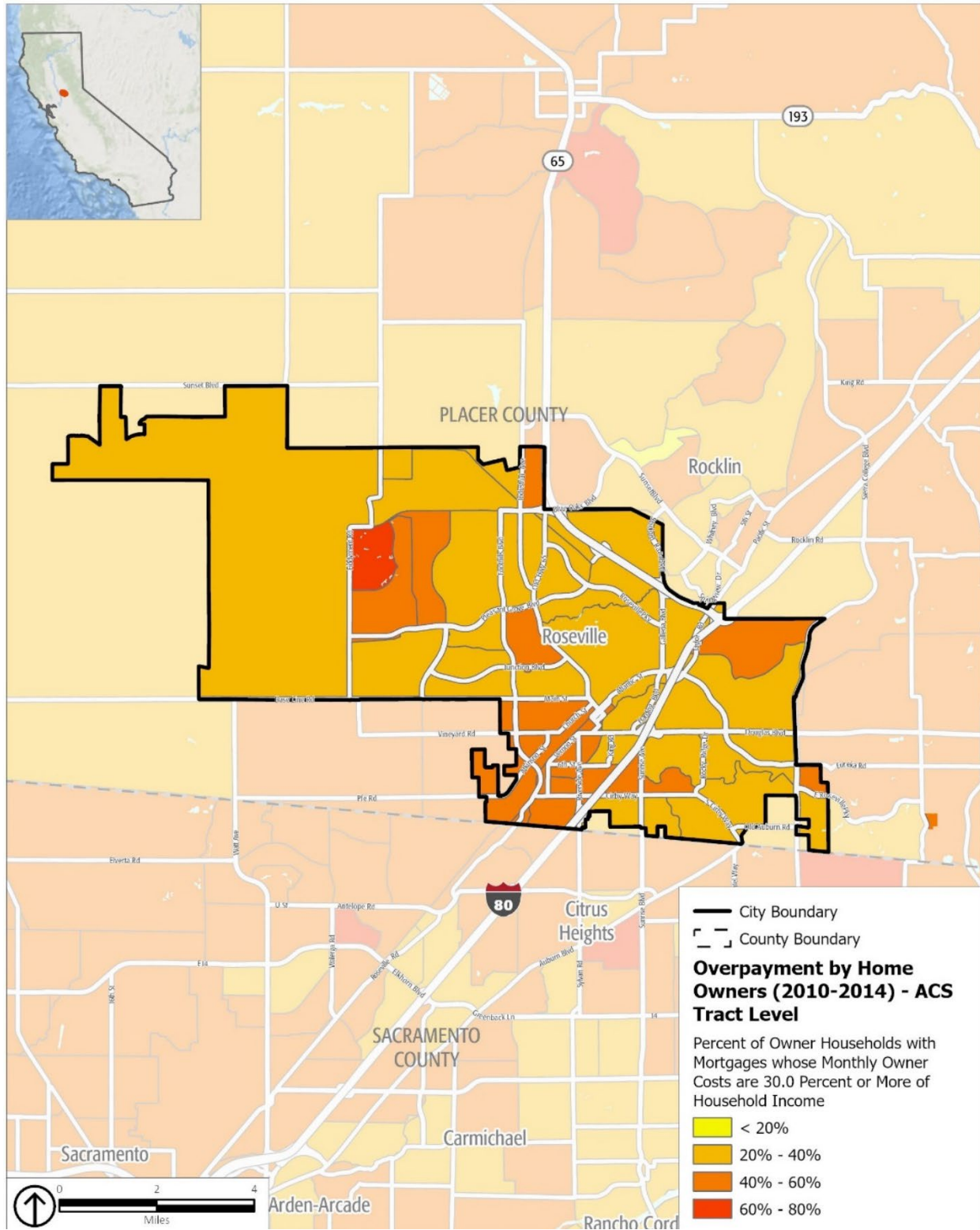
Figure X-19 | Overpayment by Renters, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.

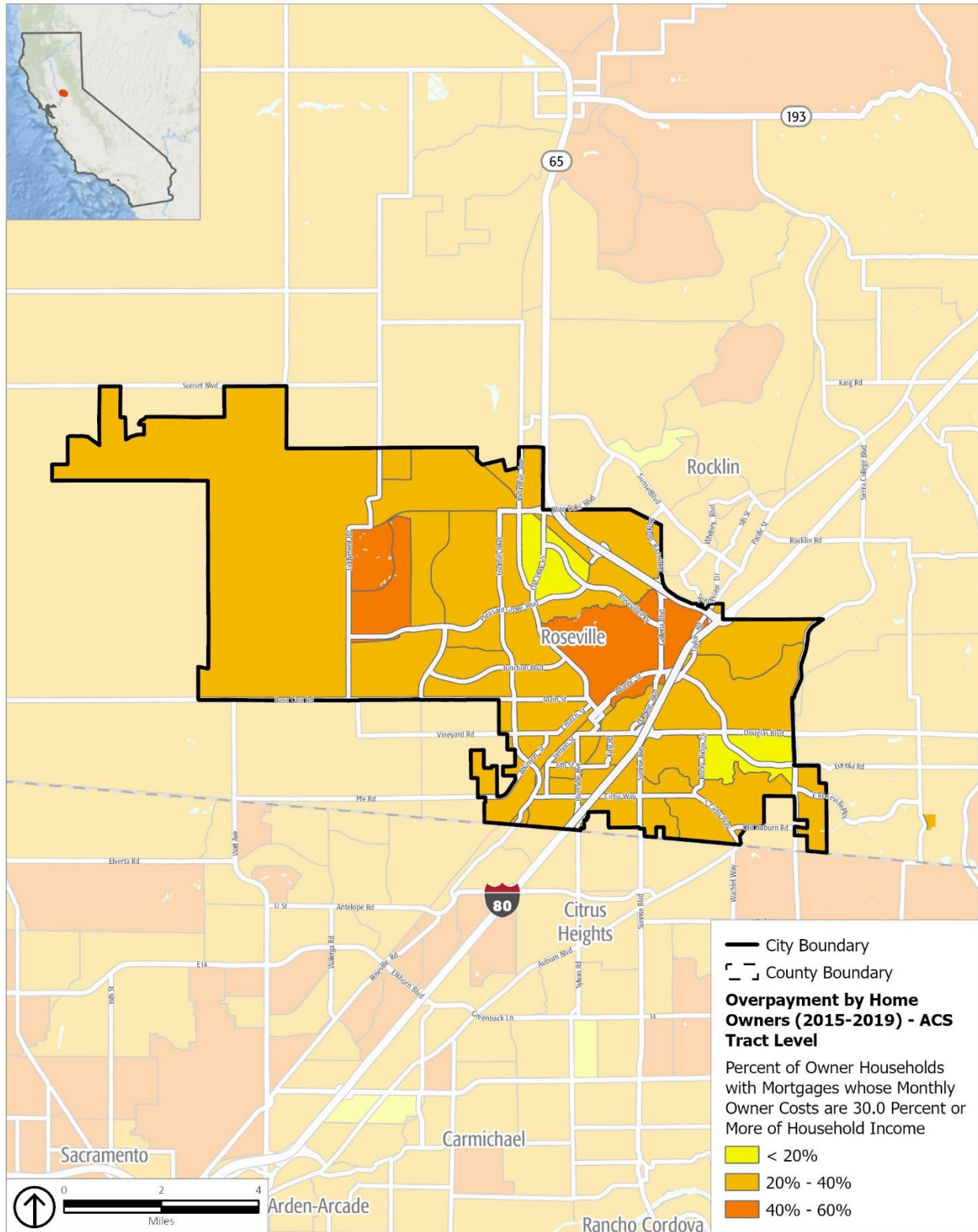


Figure X-20 | Overpayment by Homeowners, City of Roseville, 2010–2014



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2010–2014.

Figure X-21 | Overpayment by Homeowners, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.



### Overcrowding

The average household size in Roseville is 2.65 persons, closely resembling that of Placer County (2.68 persons). Overcrowding of residential units, in which there is more than one and half persons per room, can be a potential indicator that households are experiencing economic hardship and are struggling to afford housing. According to CHAS data from 2013–2017, 3 percent of renter households and less than one percent of owner households are overcrowded. Figure X-22 shows the trends of overcrowded households in the city by census tract. All tracts in the city are less than or equal to the statewide average of 8.2 percent except the tract west of south central Roseville, near Interstate-80 and the railyards, where up to 15 percent of households are experiencing overcrowding.

### Housing Condition

The Housing Condition Survey (see Figure X-1) examined houses within neighborhoods which were developed before 1980, as these homes are more than 40 years old and would require maintenance in order to avoid visible deterioration. The majority of units (72%) were found to be in sound condition, 21% needed minor repairs, 6.5% required moderate repairs, and 0.5% needed substantial rehabilitation. Although the survey identified that 7% of homes need moderate repairs or better, which is relatively low, this need is located in areas with other burden factors. The City's older neighborhoods with homes built prior to 1980 are located in the south central area of the City, which is the area of the City with the highest concentration of poverty, a large concentration of Hispanic households, a high level of housing cost burden (over 58 percent of households in that census tract are burdened), and there are two low resource areas. For these reasons, the City has focused several programs in this area of the City, including the City's Housing Rehabilitation Program, First-Time Homebuyer Program, and Community Block Grant funds.

### Displacement Risk

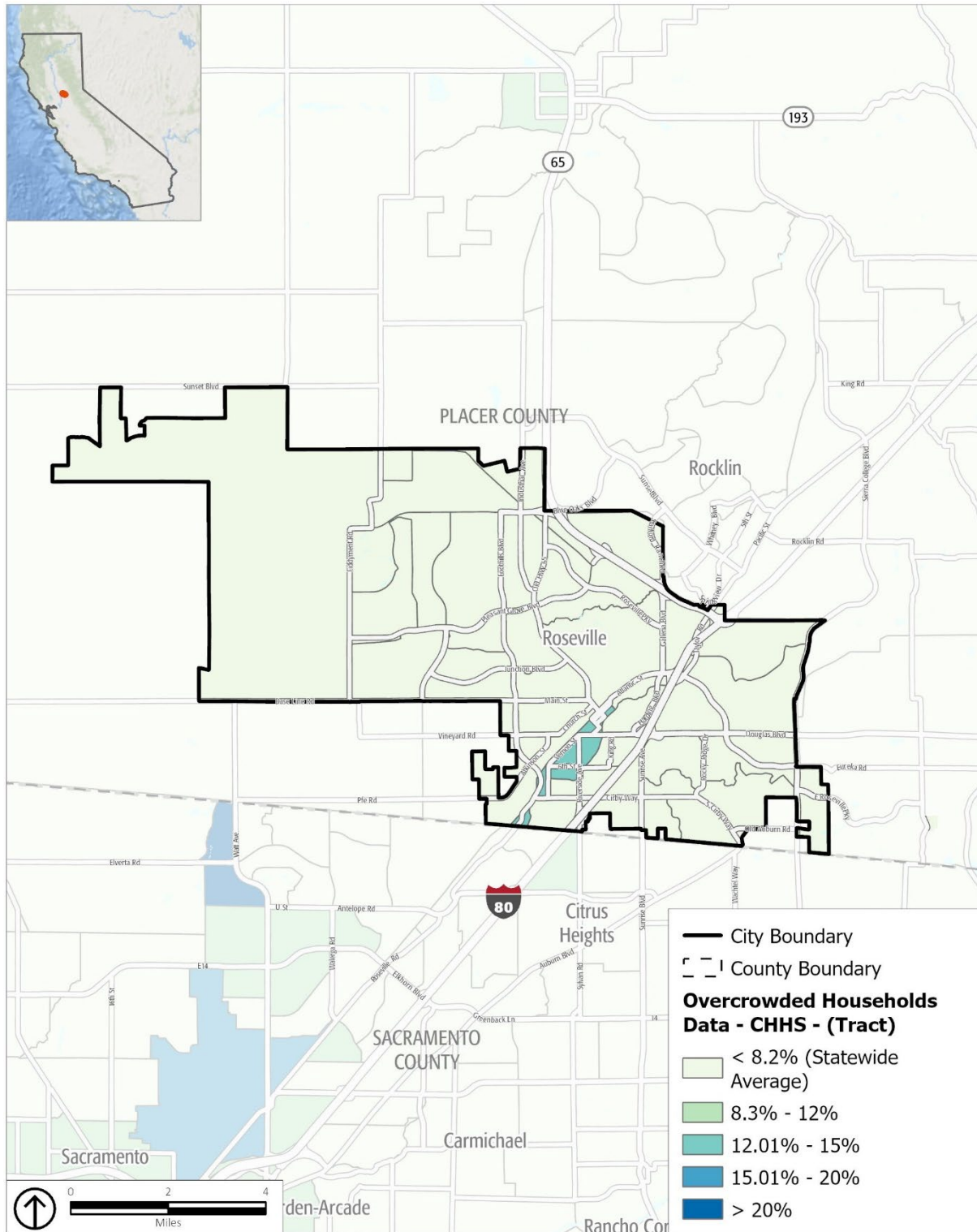
Regionally, one in four (25 percent) survey respondents had been displaced from a housing situation in the Sacramento Valley in the past five years. The most common reasons for displacement were: rent increased more than I could pay, personal reasons, landlord selling home, and living in unsafe conditions. African American, Hispanic, and Native American respondents, large families, households with children, and respondents whose household includes a member with a disability all experienced higher displacement rates than regional survey respondents overall. While displacement rates are higher, the reasons for displacement are generally the same as those of regional respondents.

Areas with higher populations of renters and lower income households are particularly susceptible to displacement in the face of market-based pressures at the neighborhood-level. According to the UC Berkeley Urban Displacement Project, a census tract is a sensitive community if it meets the following criteria as both vulnerable and experiencing market-based displacement pressure:

1. Proportion of very low-income residents was above 20 percent in 2017; and
2. The census tract meets two of the following criteria:
  - a. Share of renters is above 40 percent in 2017;
  - b. Share of people of color is above 50 percent in 2017;
  - c. Share of very low-income households (50 percent AMI or below) that are also severely rent burdened households is above the county median in 2017; or
  - d. Nearby areas have been experiencing displacement pressures.

According to these metrics, nine census tracts in Roseville are susceptible to displacement because of the high proportion of households that are renters and low to moderate income (see Figure X-23). The census tracts susceptible to displacement in the future are the neighborhoods in the southern part of the city, along Douglas Blvd and Interstate-80, and in central neighborhoods around the Sierra View Country Club and Diamond Oaks Golf Course.

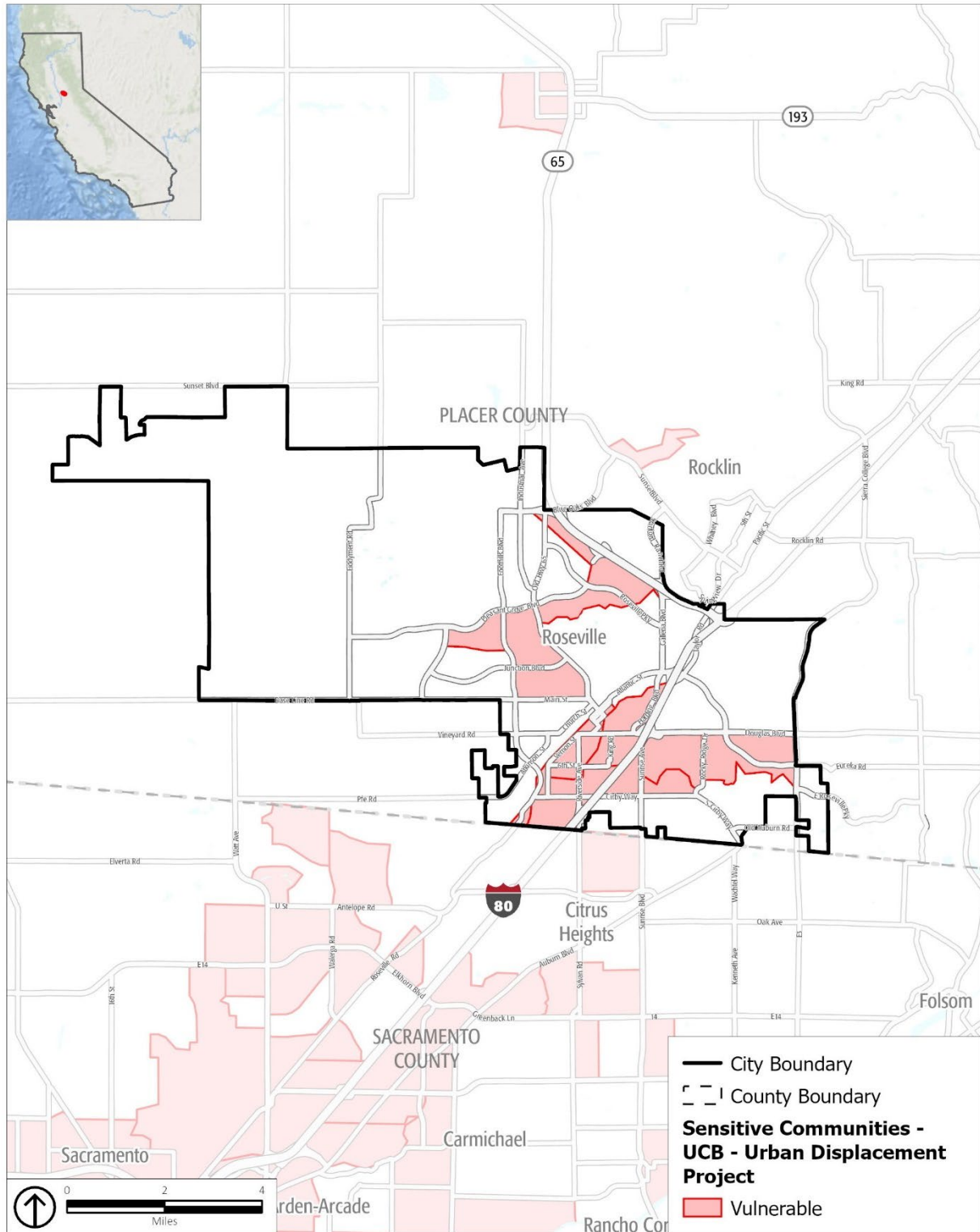
Figure X-22 | Overcrowded Households, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, HUD 2011–2015.



Figure X-23 | Communities Sensitive to Displacement, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, Urban Displacement Project, 2021.

### Rates of Homeownership

Another measure of historical segregation is rates of homeownership among different racial and ethnic groups. For the majority of households in the U.S., owning a home is the single-most important factor in wealth-building.

Homeownership is also thought to have broader public benefits, and therefore for nearly 100 years the federal government has subsidized ownership through various means. Yet these incentives for ownership have been in place far longer than the existence of fair lending and fair housing protections, meaning that the financial and other benefits of homeownership have not been equally realized for all protected classes. This explains some of the reason for homeownership disparities today, in addition to the now-illegal practices of redlining, steering, blockbusting, unfair lending, and discriminatory pricing.

Homeownership is a powerful vehicle for counteracting rising housing prices and the effects of gentrification and displacement, especially for lower-income households. Although the citywide homeownership rate was 65.8 percent in 2019, not all racial and ethnic groups in Roseville had the same likelihood of owning a home. As shown in Table X-32 below, residents who identified as non-Hispanic White or Asian had much higher rates of homeownership than the citywide average. In contrast, residents who identified as any other racial or ethnic group had much lower rates of homeownership and, thus, they are at higher risk of displacement from rising rental prices. In Roseville, Black and Hispanic households have considerably lower rates of homeownership (48%) than either Non-Hispanic White (66%) or Asian (72%) households.

While Roseville has disparate rates of homeownership, the disparities between Black and Non-Hispanic White households are less than every other studied jurisdiction (in some cases substantially so) and the disparities between Hispanic and Non-Hispanic White households are less than half of studied jurisdictions. To help further narrow this disparity in homeownership, the Housing Element includes a new program to target outreach for the first-time home-buyer assistance into neighborhoods with a high concentration of Hispanic households, as Hispanic households make up the largest minority group in Roseville (15.2 percent).

**TABLE X-32 | HOUSING TENURE BY RACE/ETHNICITY**

	Owner Occupied		Renter Occupied		Total Occupied Units
	Number	Percent of Total	Number	Percent of Total	Number
White non-Hispanic	25,363	68.1%	11,886	31.9%	37,249
Black	489	43.0%	648	57.0%	1,137
Asian	3,193	74.1%	1,115	25.9%	4,308
Native Hawaiian and Other Pacific Islander	108	56.0%	85	44.0%	193
American Indian and Alaskan Native	121	37.0%	206	63.0%	327
Some other Race	517	47.6%	570	52.4%	1,087
Multiracial (Two or more races)	973	61.0%	623	39.0%	1,596
Hispanic or Latino	2,842	49.2%	2,934	50.8%	5,776
<b>TOTAL OCCUPIED</b>	<b>32,848</b>	<b>65.8%</b>	<b>17,095</b>	<b>34.2%</b>	<b>49,943</b>

Source: U.S. Census, American Community Survey 5 Year Estimates 2015-2019, Table S2502.

## OTHER RELEVANT FACTORS

### Mortgage Loan Access

In addition to housing burdens, unequal mortgage loan access also contributes to disproportionate housing needs. Despite efforts to reform long-standing practices of discrimination in the American housing credit system, widespread patterns of inequality still exist today. The recession and housing crisis made apparent the unusually high



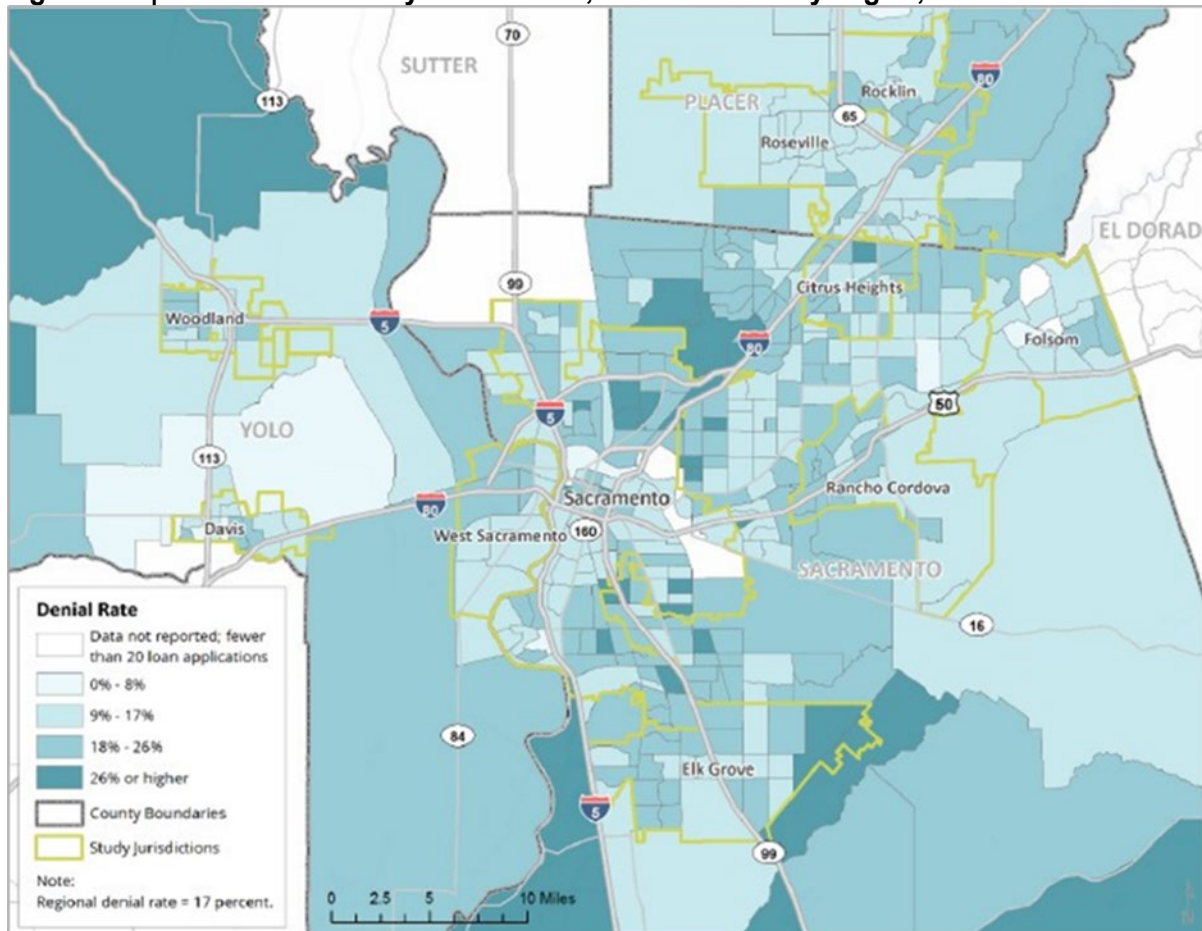
concentration of non-White residents with subprime mortgages and property foreclosures across the country. A subprime mortgage is a type of housing loan given to individuals with an impaired credit history, who otherwise would not qualify for a conventional mortgage loan. Subprime mortgages carry higher interest rates due to a higher risk of default. The concentration of subprime mortgages in areas where communities of color are also concentrated suggests that modern lending practices may be repeating historically punitive practices, such as redlining.

The study shows that mortgage denial rates—the proportion of loan applications which were denied—are higher for non-White households. The disparities are lower in Roseville than in most other studied jurisdictions, but they remain significant. For example, the denial rate among non-Hispanic White households was 13 percent while the denial rate among Asian households was 17 percent. Some of this disparity may be explained because there may be a higher proportion of lower-income households within a particular ethnic group. However, even when the analysis is adjusted for income, disparities narrow but remain. Even among high-income households—those making greater than 120 percent of the average median income—denial rates in the Sacramento region for Non-Hispanic Whites is 13 percent and for Black or African American households is 20 percent. The most common reasons cited for these denials were incomplete applications, debt-to-income ratio, and credit history.

Figure X-24 shows mortgage loan denial rates by census tract. In comparing this map with other maps provided in this analysis, it is clear that the areas of the City with higher mortgage loan denial rates correspond to those areas with more non-white households.

As with mortgage denial, rates of subprime loans also differ among racial/ethnic groups. Overall subprime loan rates have dropped significantly from the 2006 high of 25 percent, and nationally account for about 4 percent of conventional loans. In Roseville, subprime loans account for 2.3 percent of Non-Hispanic White borrowers, 2.8 percent of Asian borrowers, 4.0 percent of Hispanic borrowers, and 7.2 percent of other racial minority borrowers. A recent study at UC Berkeley found that, nationally, Latinx and African American borrowers paid between 5.6 and 8.6 basis points more, which is equivalent to 11 to 17 percent of lender profit on the average loan. Lenders earn significantly more from loans made to Latinx and African American homebuyers.

**Figure X-24 | Loan Denial Rates by Census Tract, Sacramento Valley Region, 2017**



Source: FFIEC HMDA Raw Data, 2017; Root Policy Research, 2020.

## Land Inventory

A primary goal of the assessment is to ensure available sites for lower-income housing are located equitably across a region and within communities with fair access to opportunities and resources. Ensuring that sites for housing, particularly lower income units, are in high resource areas rather than concentrated in areas of high segregation and poverty requires jurisdictions to plan for housing with regards to the accessibility of various opportunities including jobs, transportation, good education, and health services. Using the statewide opportunity area map and the patterns of segregation, access to opportunity, and displacement risk identified in this assessment, this section analyzes whether or not the sites included in the 2021–2029 Housing Element sites inventory improve or exacerbate fair housing conditions and patterns of segregation. Figure X-25 shows all sites with a High Density Residential land use designation, Figure X-26 shows the location of all sites in the inventory compared to the TCAC/HCD Opportunity Areas, and Figure X-27 shows these same sites in comparison to the distribution of low and moderate-income populations by census tract. Both Figure X-26 and X-27 highlight the location of existing and future affordable housing as well as vacant and underutilized inventory sites.

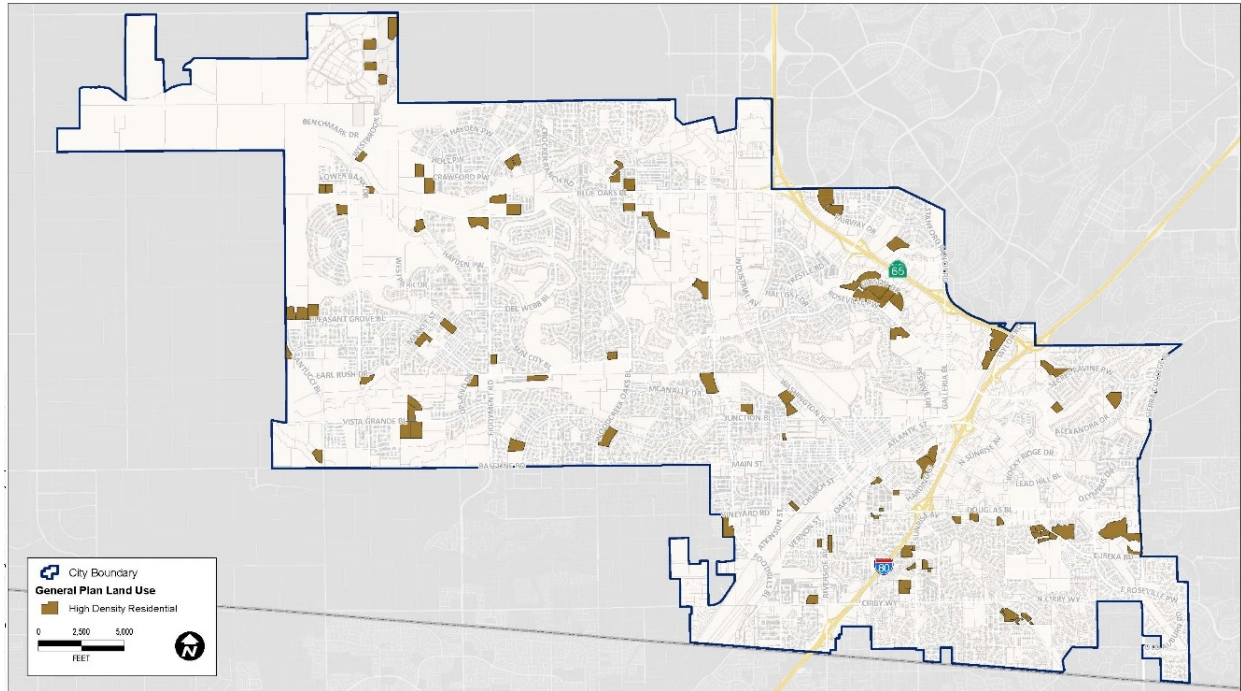
### LOCATION OF EXISTING AFFORDABLE HOUSING AND HIGH DENSITY HOUSING

As shown in Figure X-25 the City's existing and planned high density residential housing capacity is spread throughout the community. Figures X-25 and X-26 show the City's existing and planned deed-restricted affordable rental housing inventory is also spread throughout the community, including in the city's high and highest resources areas, and is not concentrated in any particular area. In fact, there are 1,386 existing and 2,771 planned affordable deed restricted units



distributed throughout Roseville. This balanced distribution of affordable and high density housing is the result of the City's Specific Plan process (Housing Element Program 7), discussed in detail throughout this Housing Element, which requires that each new planning area contain 10% affordable housing spread throughout the planning area and which also ensures land use plans contain a balance of low density, medium density, and high-density housing distributed throughout each planning area.

**Figure X-25 | City's Distribution of High Density Residential Land**



Source: City of Roseville, 2017.

## POTENTIAL EFFECT ON PATTERNS OF SEGREGATION

The City's existing affordable housing inventory and future affordable housing sites were evaluated to ensure sites planned for future development would not further segregation patterns and trends. As noted, the City's segregation pattern is low and therefore this evaluation is focused on whether the lower-income inventory is spread throughout the community (not concentrated in particular areas). As shown in Figure X-25 through Figure X-27, deed-restricted affordable housing and high density housing is distributed throughout the city. Most of the sites identified in the Housing Element inventory are concentrated in the new growth areas within the western part of the city (other areas of the City are mostly built out), and within these new growth areas Figure X-26 and Figure X-27 demonstrates that housing capacity at varying levels of affordability is distributed evenly, and is not segregated.

## POTENTIAL EFFECT ON ACCESS TO OPPORTUNITY

The TCAC/HCD Opportunity Area map for 2021 shows that the central area of the City is the area of lowest opportunity, and that areas of high and highest opportunity area found away from the core, on the eastern and western sides of the City. However, when this composite score is broken into its component parts—educational scores, proximity to jobs, access to transportation, and environmental scores—it becomes apparent that some of these factors are at odds. The central area of the City has lower educational scores and more environmental burden, but is also the area of the City with the highest proximity to jobs and the greatest access to transportation. The western edge of the City has higher educational scores and lower environmental burden, but because it is newly developing has lower access to transportation and lower jobs proximity.

Proximity to jobs and access to transportation are critical issues for lower income families, and focusing all lower income development into areas of overall high opportunity will direct development away from these areas. Development in infill areas is also a key environmental and sustainability strategy, because it reduces sprawl and creates more walkable communities.

On the other hand, over time as the western edge of the City develops further and more population is added, additional transit options will be developed consistent with the City's transit master plan and additional job centers will be developed in the City's tech and business park land uses in those areas. It is vital to ensure housing affordable to lower income families is an integrated part of those future conditions.

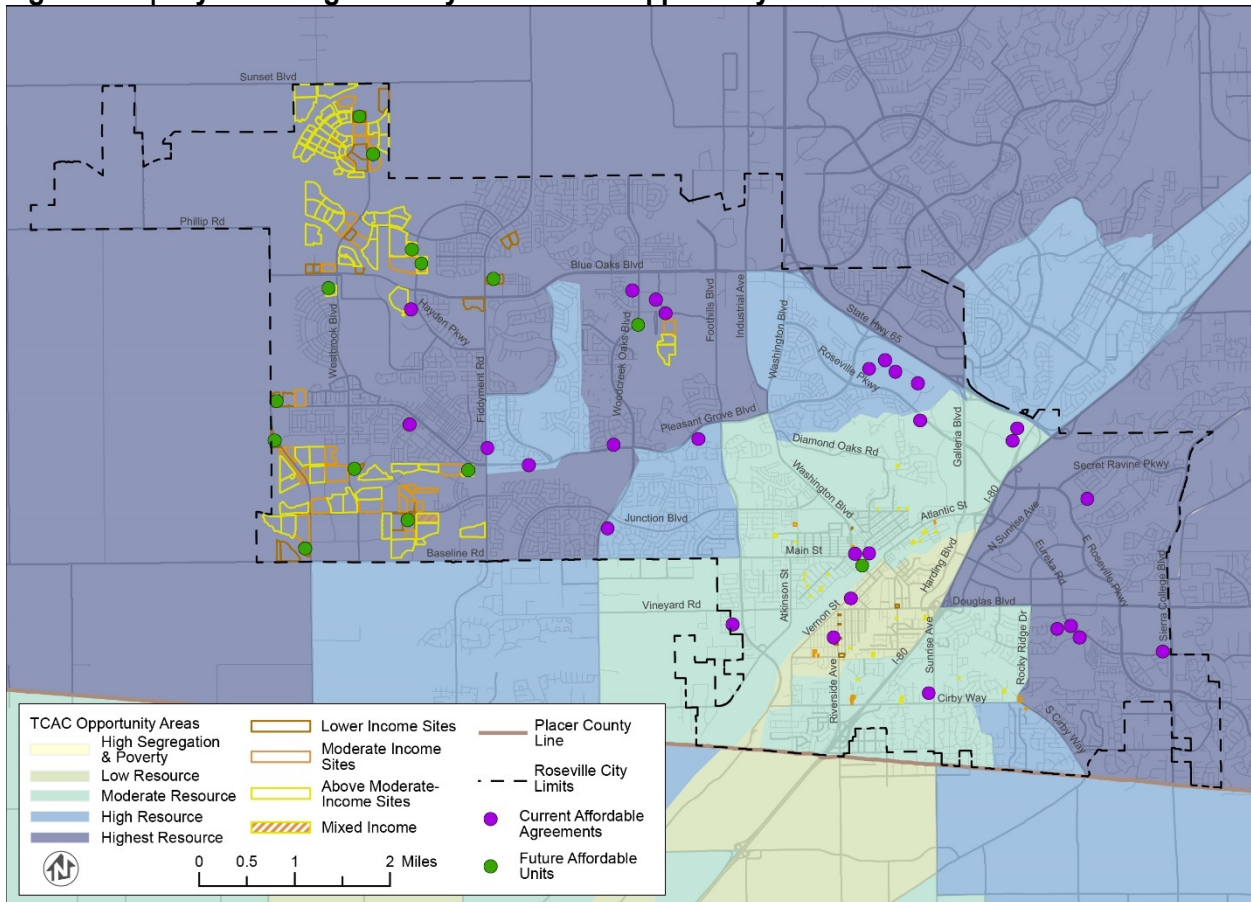
An analysis of the TCAC/HCD Opportunity Area map for 2021 found that more than 90 percent of the City's existing affordable housing and future inventory, both in total and within each income category, is within areas designated as "high resource" or "highest resource" (see Figure X-26), which means that the vast majority of new housing built in the city will offer future households access to areas of opportunity. A small proportion of the sites in the existing inventory are located in census tracts in the central city, which are mostly categorized as moderate or low resource. However, recognizing the importance of infill the City's rezone program (Program 14) also includes the Commercial Corridors and Infill strategies. These strategies will focus infill and revitalization strategies within the areas of the City with the greatest proximity to jobs and transportation options. While the City's Housing Element focuses the vast majority of its existing and proposed inventory within areas of high opportunity, it also reflects the need to include housing opportunities in areas of existing jobs proximity and transportation opportunity.

## **POTENTIAL EFFECT ON DISPROPORTIONATE HOUSING NEEDS**

As discussed in previous sections, the City's residents experience some amount of disproportionate housing needs. This includes overcrowding in south central Roseville and displacement risks in central and south central Roseville, as well as along Douglas Boulevard. Housing Element Program 14 (Rezone Program) includes the Commercial Corridors strategy which would incentivize reinvestment and add an additional 400 units of high density residential capacity in the Douglas Boulevard area between Royer Park and Rocky Ridge Drive, which will add housing capacity in the vicinity of areas struggling with overcrowding and displacement risk. However, most of the City's sites inventory is focused in areas of high opportunity which are not identified as susceptible to displacement (see Figure X-23) or overcrowding. Since the addition of 400 units may be too few to offset the risk in these areas, it is likely that rents will continue to rise and residents could potentially be displaced due to cost burden. To address this issue, the City has included Program 20 in the Housing Element to provide information on first-time home-buyer assistance and target outreach into the City's neighborhoods with housing burden and Hispanic household concentration. Moreover, the City could consider facilitating more affordable housing or increasing opportunities for homeownership in these at-risk neighborhoods.

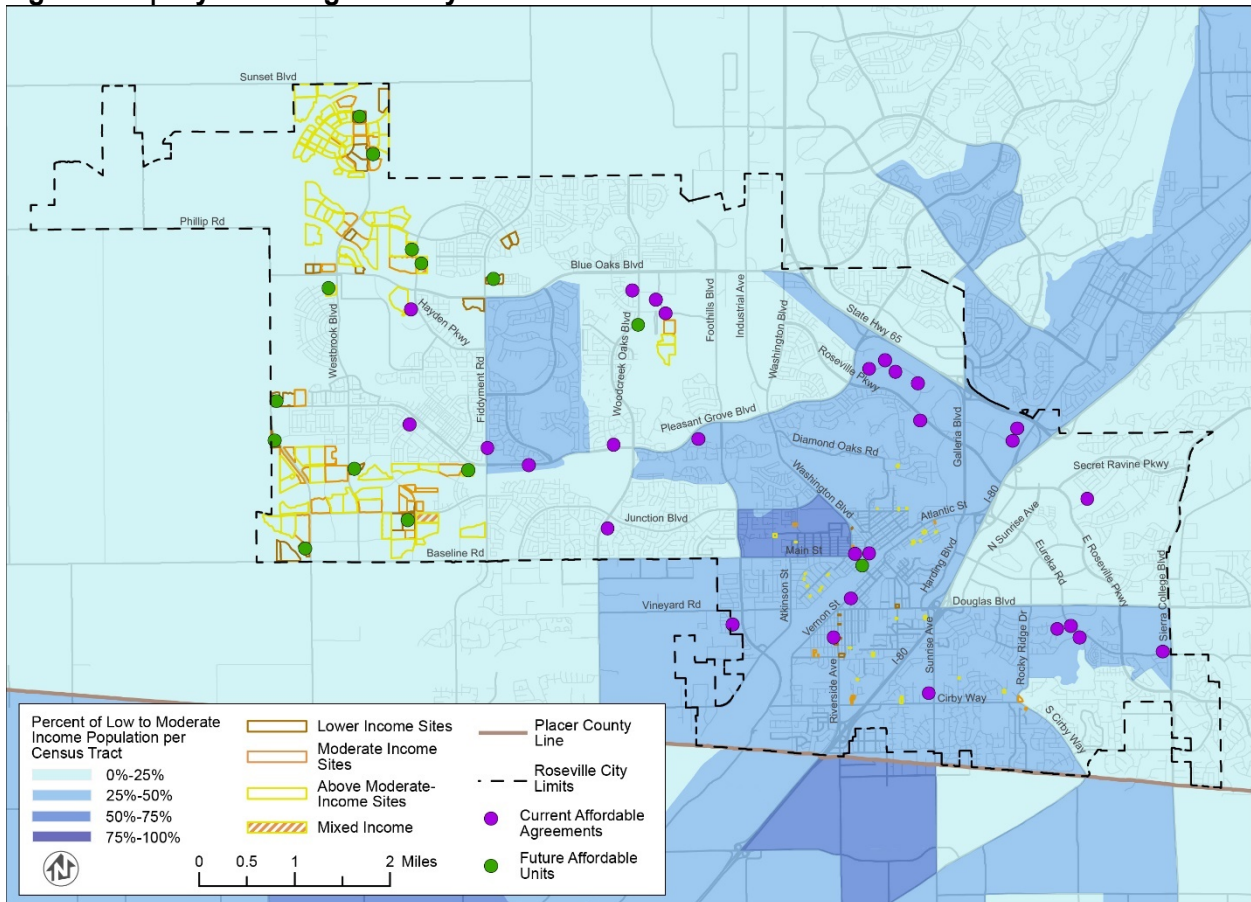


Figure X-26 | City's Housing Inventory and Areas of Opportunity



Source: California Department of Housing and Community Development AFFH Data and Mapping Tool. City of Roseville, 2021. Ascent, 2021.

**Figure X-27 | City's Housing Inventory and Areas of Low to Moderate Income**



Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-year estimates. California Department of Housing and Community Development AFFH Data and Mapping Tool. City of Roseville, 2021. Ascent, 2021.

## Fair Housing Issues, Contributing Factors, and Housing Programs

Roseville is a highly desirable community in the northern Sacramento region. Fair housing issues in the city are primarily related to segregation based on income. Specifically, there are disproportionate housing problems in south central Roseville and racially/ethnically concentrated areas of affluence in northern Roseville. The contributing factors to these fair housing issues are the historical investment patterns in the city, which have led to under-investment of specific neighborhoods, which are now areas with the lowest incomes and highest rates of diversity, and an accumulation of private investments in specific areas/neighborhoods, which are now wealthier with more predominately non-Hispanic White residents.

Pursuant to Government Code Section 65583 (c)(10)(A)(v), the Housing Element includes several policies and programs to proactively address fair housing issues and replace segregated living patterns with integrated and balanced communities. The City is committed to creating more opportunities for affordable housing dispersed more equitably throughout the City; transforming racially and ethnically concentrated areas of poverty into areas of opportunity; and, as neighborhood investments increase, protecting existing residents from displacement. The chart below identifies the primary fair housing issues identified in the analysis, along with the programs which are responsive to the issue.



Fair Housing Issue	Responsive Programs
<p>The south central area of the City is a disadvantaged community area, because the area has multiple overlapping fair housing issues. The area has a concentration of poverty, overcrowding, low opportunity, less positive education outcomes, and other disadvantage, combined with a higher concentration of disability, female-headed households, and people of color.</p>	<p>Broadly speaking, the City has undertaken two approaches to this issue: focusing supportive and assistive programs into disadvantaged community areas and increasing housing opportunities within high opportunity areas of the City.</p> <p>The City has included implementation language within various programs which focuses those programs into disadvantaged communities within the City, including the Owner Occupied Rehabilitation Program (a component of Program 1), which provides grants for home improvements to low-income households in disadvantaged community areas; the First Time Home Buyer Program (a component of Program 1), which provides down-payment assistance to low-income households and has an outreach focus in disadvantaged communities; the City's In-Lieu Fees (Program 9) and gap funding (Program 12), which prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; Community Block Grant funds (a component of Program 19), the outreach for which is directed to disadvantaged communities and provides deferred loans and grants to low income households to use for home improvements; and per the Fair Housing program (Program 27) the City will meet monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.</p> <p>The City has included implementation language within various programs to increase housing choice in areas of high opportunity, including the Specific Plan Areas process (Program 6), which requires all new planning area to designate 10% of the total units as affordable and distribute those sites evenly through the new planning area; the City's In-Lieu Fees (Program 9) and gap funding (Program 12), which prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; the City's Housing Choice Voucher program (Program 19), which includes outreach to multifamily property owners to ensure vouchers can be used in high opportunity areas of the City; and the City's Fair Housing program (Program 27) requires developers receiving public subsidies to use affirmative fair housing marketing practices and supports affordable housing in areas of high opportunity.</p>
<p>Homelessness disproportionately impacts certain racial or ethnic groups, and shelter services are not being accessed equitably.</p>	<p>Annual monitoring of Homeless Prevention and Rapid Rehousing Funding (Program 12 and Program 20) disbursement has been added to evaluate whether the funding is being equitably distributed, and commit to making funding adjustments if not. Per the Fair Housing program (Program 27) the City will regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted population and meet monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.</p>
<p>The City has multiple areas identified as sensitive to displacement.</p>	<p>The City's In-Lieu Fees (Program 9), Non-Residential Construction Fee (Program 10), and gap funding (Program 12) prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; the Owner Occupied Rehabilitation Program (a component of Program 1), which provides grants for home improvements to low-income households in disadvantaged community areas, is directed to geographic areas of the community at greatest risk of displacement.</p>
<p>Rates of homeownership are significantly higher within the white population than within other racial and ethnic communities.</p>	<p>The City has directed outreach for its First Time Home Buyer program (Program 1) into the area of the City with a higher proportion of communities of color.</p>
<p>Special needs groups such as seniors and people with disabilities are more likely to struggle with cost burden</p>	<p>The City's Home Investment Partnership Program (a component of Program 19) includes pursuing funds for affordable multifamily housing projects targeted to special needs groups such as seniors and those with disabilities, the Community Block Grant Funds (a component of Program 19) provides deferred loans and grants to seniors, persons with disabilities, and other special needs populations to use for home improvements; the City will revise the Zoning Ordinance to allow large community care homes with a staff-level Administrative Permit rather than a Use Permit (Program 28); the City has a shared housing policy allowing people with disabilities to use their voucher in housing shared with non-related people; and the City has multiple programs to reduce utility costs for low-income seniors and people with disabilities or medical devices (Program 35).</p>

**Facilitate Development in High Resource Areas and Increase Housing Mobility**

Roseville is known for its high quality of life, good schools, rich amenities, and access to employment. Roseville is also one of the fastest growing cities in the region. Changes in State law regarding the RHNA process resulted in a higher allocation of lower-income units to areas of high opportunity, including Roseville. While the City’s 10 percent Affordable Housing policy has created opportunities for more lower income housing spread throughout the city, there is currently (2021) insufficient capacity to meet the lower income RHNA, and the City has therefore committed to providing adequate sites through a rezone program (Program 14). This program will target sites for lower income units in high resource areas, thereby affirmatively furthering fair housing.

Additionally, the City is taking actions to support housing voucher mobility for persons with disabilities through Program 27, Shared Housing, which allows voucher holders to use their voucher in housing that is shared with non-related persons as a reasonable accommodation. Shared Housing consists of a single housing unit occupied by an assisted household and another resident or residents, as long as they are not blood related. An assisted family may share a unit with other persons assisted under the HCV program or with other unassisted persons. Roseville Housing Authority will approve Shared Housing, as well as a live-in aide if necessary, as a reasonable accommodation so the program is readily accessible to and usable by persons with disabilities. The HCV Shared Housing option can provide an increased level of independence for a disabled HCV participant.

**Protect Residents from Displacement**

As described earlier, south central Roseville is defined by TCAC and HCD as low resource. Over half of the households in the area earn low to moderate incomes and since there are few existing deed-restricted affordable units in this part of the city, residents in this area are more susceptible to displacement as demand for housing increases. The Housing Element includes Program 20 to address any significant disparities and increase opportunities for Roseville residents including:

- providing rental assistance;
- providing outreach on targeted first-time homebuyer programs in neighborhoods that have suffered from historic disinvestment to increase awareness and access to such programs; and,
- adopting policies to prevent displacement including strategies to protect senior and low-income homeowners such as targeting home repair programs and no-net loss policies for existing affordable housing and condo conversion ordinances.

The City will also be continuing its income-qualified Owner-Occupied Housing Rehabilitation deferred loan and grant program. All of these actions will help to protect lower-income residents from displacement.

**Promote Fair Housing Resources through Outreach**

As part of the Housing Element’s programs, the City is also taking additional actions to ensure fair housing. For example, the City continues to actively participate in the ongoing region-wide collaborative effort to improve fair housing choice and affirmatively further fair housing and continues the campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Project Sentinel (Program 25). The City will also use available funding, such as CDBG, HOME, direct rental subsidies, and below-market construction financing to support lower- and moderate-income housing developments and address the housing and supportive needs of special needs populations (Program 17). These actions and others will help to affirmatively further fair housing in Roseville.

In addition, the following Housing Element goals, policies, and programs support Fair Housing:

- Goal H.1** *Provide decent, safe, inclusive and affordable housing in sufficient quantities for all economic segments of the community.*
- Policy H1.8** *Encourage construction of affordable housing units to be intermixed with market-rate units.*
- Goal H7** *Ensure the availability of quality housing opportunities for the elderly, the disabled, large families, female heads of households, and the homeless.*
- Goal H8** *Participate in local and regional efforts to provide a network of facilities and resources to aid the special needs populations.*



<b>Goal H9</b>	<i>Design and implement programs to affirmatively further fair housing and promote housing opportunities throughout the City for protected classes to address significant disparities in housing needs and access identified within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments to Fair Housing Choice.</i>
<b>Policy H7.1</b>	<i>Special housing needs shall be met through direct rental subsidies and below-market construction financing.</i>
<b>Policy H7.2</b>	<i>Continue the City's housing rehabilitation loan and grant programs to assist low-income elderly and disabled households.</i>
<b>Policy H7.3</b>	<i>Encourage construction of 3+ bedroom units in multi-family rental complexes to help meet the housing needs of low-income, large families.</i>
<b>Policy H7.4</b>	<i>Actively facilitate construction of rental units that include childcare facilities affordable to lower-income, female heads of households.</i>
<b>Policy H7.5</b>	<i>Work in conjunction with other Placer County jurisdictions, agencies, and organizations to provide shelter and supportive services for homeless individuals and families.</i>
<b>Policy H7.6</b>	<i>Encourage programs and developments that support inclusive, racially and ethnically diverse, and mixed-income residential communities throughout the City.</i>
<b>Policy H7.7</b>	<i>Support resources and assistance that help individuals who were justice-involved to locate, obtain, and maintain affordable housing.</i>
<b>Policy H7.8</b>	<i>Support programs and services which provide housing discrimination protection.</i>
<b>Policy H7.9</b>	<i>Support programs and measures that increase the affordability and availability of housing for people with disabilities.</i>
<b>Program 17</b>	<i>Federal and State Programs</i>
<b>Program 18</b>	<i>Homeless Prevention and Rapid Rehousing</i>
<b>Program 20</b>	<i>Address Significant Disparities and Increase Opportunities</i>
<b>Program 21</b>	<i>Homeless Outreach</i>
<b>Program 22</b>	<i>Family Mobile Team</i>
<b>Program 23</b>	<i>Family Reunification Program</i>
<b>Program 25</b>	<i>Fair Housing and Housing Discrimination Legal Services</i>
<b>Program 26</b>	<i>Support for Housing for Persons with Disabilities</i>
<b>Program 27</b>	<i>Allow Shared Housing Under Housing Choice Voucher for Persons with Developmental Disabilities</i>

## HOUSING CONSTRAINTS

### Governmental Constraints

Governmental constraints are policies, standards, requirements, or actions imposed by the various levels of government upon land and housing ownership and development. Although federal and state agencies play a role in the imposition of governmental constraints, these agencies are beyond the influence of local government and are therefore not addressed in this document. This section describes the City's general approach to land use regulations, General Plan residential land use designations and their densities, zoning districts, residential development standards, subdivision ordinance, and community design guidelines. There are no other standards or regulations which have a direct effect on the design and construction of housing.

## LAND USE CONTROLS

Roseville is one of the leading jurisdictions in the SACOG region for the production of affordable housing. The City has been proactive for years in reducing on/off-site development standards to increase housing densities and decrease the cost of producing new housing in the specific plan areas as well as in infill areas. All of the City's standards, including zoning, development standards, Specific Plans, other master plans (such as the Pedestrian Master Plan), and the General Plan are available online on the City's website. Included in the City's online tools is a GIS-based map which allows the public to look up property information such as the Assessor's Parcel Number, land use designation, zoning designation, and other information. In addition to physical infrastructure investment, the City has focused heavily on its downtown core, approving the Downtown Roseville Specific Plan, which includes financial and regulatory incentives, process amendments, and a specific set of code-related exceptions that are focused on creating additional opportunities for housing development within the downtown.

Typical regulatory exceptions are (1) the reduction of parking requirements for multi-family residential development, (2) an increase in residential densities in the downtown, (3) promotion of live-work and mixed-use housing types, and (4) elimination of parkland dedication for residential projects. Code-related amendments that dictate the future physical improvements include (1) assigning a historical designation to the downtown, allowing for use of the Historical Building Code when applicable and (2) encouraging alley-loaded housing products with reduced street widths.

In the development of the new or "greenfield" areas of the community through the years, the City has made several adjustments to the physical improvements to promote higher-intensity housing. In the early to mid-1990s, the standard right-of-way width for residential streets was significantly larger. Residential street width standards have been reduced from a 54-foot-wide standard to a 42-foot right-of-way. Another adjusted physical standard is the reduction of the easement widths from a 12-foot-wide to a 10-foot-wide easement in order to promote higher-density projects. Additionally, exceptions have been made to fire lane widths for high-density housing where parking has been restricted.

Zero lot lines, townhomes, and courtyard, alley-loaded development are not unusual in the city, and neither are residential lot sizes of 3,000 square feet. The City's Zoning Ordinance includes DS district overlay zone (Development Standard) which permits an applicant to propose tailored development standards for the type of housing they propose to build. This overlay zone is extremely common within Specific Plans approved since 2010 and is the zoning designation which provides the flexibility for "missing middle" housing types.

The City's zoning and development standards have not had a cumulative negative or costly impact on the development of or affordability of housing, especially multi-family developments. Nor does the City have any local ordinances that increase the cost or supply of residential development.

The Residential Mixed Use (RMU) and Commercial Mixed Use (CMU) zoning districts promote a variety of residential and commercial use types. Single-family, two-family, and multi-family housing and mixed-use uses are principally permitted in the RMU and CMU zoning districts. In addition, the older portions of the downtown area in the Central Business District (CBD) provide flexibility in the types of uses typically found in the traditional downtown where a range of business and service, residential, and mixed-use uses can be located to support the entire community. Single-family, two-family, and multi-family housing are conditionally permitted in the CBD zoning district. Several of the City's Specific Plans include commercial mixed-use parcels, as shown in the vacant land inventory.

Development standards for mixed-use uses in the City's General Plan indicate a floor area ratio (FAR) for commercial uses of 20%–40%, which may be exceeded if all other applicable development standards are met.



## LAND USE DENSITIES AND DWELLING UNITS PER ACRE

The City uses three primary residential land use categories within the 2035 General Plan: Low Density Residential, Medium Density Residential, and High Density Residential. The densities of each are listed in the table below. The density of the Low Density Residential land use designation provides for typical, detached single-family homes, while the Medium Density Residential land use designation provides for higher density single-family homes. Housing types in the Medium Density Residential land use include cluster homes, rowhomes/townhomes, courtyard homes, alley-loaded product, duplexes/halfplexes, and other attached housing styles. The High Density Residential land use designation provides primarily for multifamily housing such as apartments, but at the lower end of the density range includes attached single-family product more typically developed in the Medium Density Residential land use areas.

**Table X-33 | Land Use Densities**

Land Use Densities	Dwelling Units per Acre
Low Density Residential	0.5 to 6.9
Medium Density Residential	7.0 to 12.9
High Density Residential	13.0 and above

## ZONING DISTRICTS

Zoning, unlike the General Plan, is regulatory. The Zoning Code divides the General Plan land use categories (i.e. Residential, Commercial, Industrial, etc.) into more defined zoning districts with a list of allowable uses (Table X-34).

**Table X-34 | Zoning Districts**

Residential Zones	
R1	<b>Single-Family Residential District.</b> The R1, Single-Family Residential district is intended for detached, single-family homes and similar and related uses inclusive of halfplexes.
RS	<b>Small Lot Residential District.</b> The RS, Small Lot Residential district is intended to allow either attached or detached single-family dwellings and similar and related compatible uses.
R2	<b>Two-Family Residential District.</b> The R2, Two-Family Residential district is intended to allow two dwellings per lot, either detached single-family dwellings or duplexes, and similar and related compatible uses.
R3	<b>Multi-family Housing District.</b> The R3, Multi-family Housing district is intended for a range of high density and multiple-family housing. The types of land use intended for the R3 zoning district include apartments, condominiums, townhomes, small lot cluster housing, and similar and compatible uses.
RMU	<b>Residential Mixed Use District.</b> The Residential Mixed Use district is intended to promote a variety of residential uses/dwelling types and the flexible siting of uses that are typically considered to be compatible with residential development.
Commercial Zones	
BP	<b>Business Professional District.</b> The Business Professional district is intended to provide locations for a wide variety of office uses and other uses that are related to and supportive of office uses.
NC	<b>Neighborhood Commercial District.</b> The Neighborhood Commercial district is intended to be applied to properties in close proximity to residential areas providing for convenient retail and personal service facilities.
CC	<b>Community Commercial District.</b> The Community Commercial district is intended to serve the principal retail shopping needs of the entire community by providing areas for shopping centers and other retail and service uses.
GC	<b>General Commercial District.</b> The General Commercial district is intended to serve the entire community by providing areas for commercial facilities that are more of a service or heavy commercial character than are permitted in the Community Commercial District, and may involve outdoor display, storage, or activity areas.

Table X-34 | Zoning Districts

HC	<b>Highway Commercial District.</b> The Highway Commercial district is intended to be applied where commercial facilities serving the traveling public are necessary or desirable.
RC	<b>Regional Commercial District.</b> The Regional Commercial district is intended to provide for commercial facilities serving Roseville and the greater South Placer Area.
CBD	<b>Central Business District.</b> The Central Business district is intended to be applied to the older portions of the downtown area to provide flexibility in the types of uses typically found in the traditional downtown where a range of business and service, residential, and mixed-use uses can be located to support the entire community.
CMU	<b>Commercial Mixed Use District.</b> The Commercial Mixed Use district is intended to promote a variety of commercial uses types and the flexible siting of other uses that are typically considered to be compatible with commercial development. It is the intent of the CMU zoning district to establish a mix of uses, which will be accompanied by overlay zones, to ensure that different commercial uses will be successfully integrated into desirable, cohesive commercial districts. The CMU zoning district shall always be applied in conjunction with either the DS (Development Standards) or SA (Special Area) overlay zones.
HD	<b>Old Town Historic District.</b> The Old Town Historic district is intended to be applied to the original commercial core of Roseville to acknowledge its historic and architectural significance. The HD zoning district is intended to ensure that new land uses and development within the district further the rehabilitation, revitalization, and preservation of the architectural, aesthetic, historic, and economic health of the district. Each parcel within a Historic District shall be subject to the specific historic district design guidelines contained within the City's Community Design Guidelines as adopted by the City Council from time to time. Whenever a design review permit is required for development of a parcel within the Historic District zone, the Historic District guidelines shall apply.

#### Industrial Zones

MP	<b>Industrial/Business Park (MP) District.</b> The industrial/business park district is intended to designate areas appropriate for the development of a mixture of light industrial, office and commercial land uses. The use types permitted within the MP district do not include outdoor manufacturing but may include limited outdoor storage. These use types do not result in the emission of any appreciable amount of visible gasses, particulates, steam, heat, odor, vibration, glare, dust, or excessive noise and can be conditioned to be compatible when operating in close proximity to commercial and residential uses.
M1	<b>Light Industrial District.</b> The Light Industrial district is intended to designate areas appropriate for light industrial uses such as manufacturing, processing, assembly, high technology, research and development, and storage uses. The use types permitted within the M-1 district do not include outdoor manufacturing but may include limited outdoor storage and the emission of limited amount of visible gases, particulates, steam, heat, odor, vibration, glare, dust, and noise. These uses may be compatible operating in relatively close proximity to commercial and residential uses.
M2	<b>General Industrial District.</b> The General Industrial district is intended to designate areas suitable for a broad range of industrial uses, including manufacturing, assembly, wholesale distribution, and warehousing.
MMU	<b>Industrial Mixed Use District.</b> This district is intended to promote a variety of industrial use types and the flexible siting of uses that are typically considered to be compatible with industrial development. It is the intent of the MMU zoning district to establish a mix of uses, which will be accompanied by overlay zones, to ensure that different industrial uses will be successfully integrated into desirable, cohesive industrial districts. The MMU zoning district shall always be applied in conjunction with either the DS (Development Standards) or SA (Special Area) overlay zones as described in Chapter 19.18.

#### Overlay and Special Purpose Zones

DS	<b>Development Standard District.</b> This district is an overlay district which allows modification of the specified development standards in general zone districts. The district may establish or modify any or all of the following development standards: minimum lot size, lot width, setbacks, usable open space, and parking; principal building types; and maximum lot depth, coverage, and building height.
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## RESIDENTIAL DEVELOPMENT STANDARDS

The City of Roseville regulates the type, location, and scale of residential development through its Zoning Code. Zoning regulations are designed to protect and promote the health, safety, and general welfare of residents, as well as preserve the character and integrity of neighborhoods. Under the Zoning Code, residential development must comply with specific enforceable standards such as minimum lot requirements, maximum height, minimum setbacks, maximum lot coverage, and allowable density, as outlined in Table X-35. In addition to these development standards, the City also maintains parking standards for residential development. One parking space per dwelling is required for senior apartments. One and a half parking spaces are required for multi-family studio units and 1-bedroom units. Two parking spaces per dwelling are required for single-family, two-family (duplex), small community care facilities, family day care homes, mobile home parks, and multi-family units with two or more bedrooms. All multifamily projects and mobile home parks must also provide 1 guest parking space for every 10 units and family day care homes must provide one parking space for loading and one for each employee not living in the home (these may be on-street and/or tandem). These development standards are similar to those in other communities and are not considered a constraint to the development of affordable housing. As previously indicated, the DS overlay zoning district may also occur in combination with any of these residential zoning districts (e.g. RS/DS), in which case a subdivision/development-specific development standards table would be created by an applicant to fit the housing product type being proposed. In the CMU zone a residential project is developed with project-specific design criteria through the Design Review Permit process.

**Table X-35 | Development Standards by Zoning District**

	R1	RS with attached sidewalk <sup>(10)</sup>	RS with separated sidewalk <sup>(8, 10)</sup>	R2	R3 <sup>(2)</sup>	RMU
Area, interior lot	6,000 sq ft	4,500 sq ft	4,275 sq ft	6,000 sq ft	6,000 sq ft	None <sup>(7)</sup>
Area, corner lot	7,500 sq ft	5,500 sq ft	4,710 sq ft	7,500 sq ft	7,500 sq ft	
Width, interior	60 ft	45 ft	45 ft	60 ft	60 ft	
Width, corner	75 ft	55 ft	50 ft	75 ft	75 ft	
<b>Residential Density</b>						
Maximum number of primary dwelling units per lot	1 dwelling	1 dwelling	1 dwelling	2 dwellings <sup>(1)</sup>	As provided by General Plan, but a minimum of 3 dwellings	As provided by General Plan
Maximum number of accessory/junior dwelling units per lot <sup>(11)</sup>	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings
See Chapter 19.22 for accessory structure development standards for the following standards						

<b>Setbacks (minimum)</b>						
Front <sup>(9)</sup>	20 ft for interior lots; 15 ft for corner lots; 20 ft minimum driveway depth	15 ft to living space or side wall of garage; 12.5 ft to porch; 18 ft minimum driveway depth <sup>(6)</sup>	10 ft to first floor living space or side wall of garage; 7.5 ft to porch, but in no case may encroach into a PUE; 15 ft to second floor living space; 18 ft minimum driveway depth <sup>(6)</sup>	20 ft for interior lots; 15 ft for corner lots; 20 ft minimum driveway depth	20 ft minimum on all street frontages	None <sup>(7)</sup>
Sides <sup>(9)</sup>	5 ft interior; 15 ft street side on corner	5 ft interior; 12.5 ft street side on first floor; 15 ft street side on second floor	5 ft interior; 10 ft street side on first floor; 13 ft street side on second floor	5 ft interior; 15 ft street side on corner	5 ft interior; 20 ft minimum on all street frontages	None <sup>(7)</sup>
Rear	20% of lot depth; need not exceed 20 ft; 10 ft minimum <sup>(3)</sup>	10 ft minimum with minimum useable open space of 700 sq ft or 500 sq ft where a usable front porch is provided <sup>(4)</sup>	10 ft minimum with minimum useable open space of 500 sq ft <sup>(4)</sup>	20% of lot depth; need not exceed 20 ft; 10 ft minimum	20 ft; 20 ft minimum on all street frontages	None <sup>(7)</sup>
<b>Lot Coverage (primary buildings)</b>	35% for 2 story; 45% for 1 story	None <sup>(4)</sup>	None <sup>(4)</sup>	40%	50%	None <sup>(7)</sup>
<b>Height Limits</b>	35 ft	35 ft	35 ft	35 ft	45 ft <sup>(5)</sup>	None <sup>(7)</sup>
<b>Additions to the primary structure greater than 700 square feet in area<sup>(12)</sup></b>	May only be permitted upon approval of an Administrative Permit					

Notes:

- (1) Attached or detached. Detached dwelling units must maintain a minimum 10-foot building separation.
- (2) The general development standards for the R3 district may be modified through approval of a Design Review Permit.
- (3) On corner lots, the minimum rear setback may be determined by using an average of three measurements taken at the ends of the structure and a point midway between the ends of the structure. The measurements shall be made perpendicular to the rear lot line.



- (4) The rear and side yards may be utilized to meet the minimum usable open space provided the minimum dimension, measured perpendicular to the applicable rear or side yard is 10 feet. Maximum coverage is a function of lot size, required setbacks and usable open space. A minimum usable open space of 500 square feet may be applied where a front porch is provided with minimum dimensions of six feet by 10 feet exclusive of entry way.
- (5) Except for units immediately adjacent to the R1 and RS zone districts, where the height limit shall be 35 feet.
- (6) Minimum driveway depth of 18 feet requires a roll-up garage door.
- (7) As provided in development standard overlay or special area overlay district.
- (8) Sidewalk separated from back of curb by five-foot planter strip.
- (9) Front setback (and side setback where adjacent to street) measured from back of walk. Fence side yard setback is five feet from back of walk where facing a street. In the absence of sidewalk, setbacks measured from the edge of right-of-way.
- (10) Variations to the standards and other housing product types may be permitted subject to processing of a Design Review Permit for Residential Subdivision (DRRS) concurrent with the approval of a tentative subdivision map and review of product type.
- (11) A combination of up to two accessory dwelling/junior accessory dwelling units are permitted within areas zoned to allow single-family, two-family or multi-family residential use provided the lot contains an existing or proposed single-family dwelling, two-family or multi-family unit as defined in Sections 19.08.080(F)(1) and (F)(2) (Residential Use Types) and the accessory dwelling/junior accessory dwelling unit complies with the standards identified in Chapter 19.60 (Accessory Dwelling Units). See Chapter 19.60 for the maximum number and combination of units allowed per lot. For purposes of density, accessory dwelling units shall be deemed to be an accessory use or an accessory building or structure and shall not be considered to exceed the allowable density for the lot upon which it is located.
- (12) Additions (attached or detached) to primary structures that exceed 700 gross square feet in area may be permitted upon approval of an Administrative Permit, which may include a public hearing as provided in Sections 19.74.010 and 19.78.020. Excludes accessory dwelling units complying with the standards identified in Chapter 19.60 (Accessory Dwelling Units).

## Provisions for a Variety of Housing

Housing element law specifies that jurisdictions must identify adequate sites to be made available through appropriate zoning and development standards to encourage the development of various types of housing for all economic segments of the population. This includes single-family housing, multi-family housing, manufactured housing, mobile homes, emergency shelters, and transitional housing, among others. Manufactured housing constructed on a permanent foundation is a permissible form of single-family home construction, and is therefore allowed by-right. Table X-36 provides a summary of the permitted housing types by zone.

## Supportive and Transitional Housing

Transitional housing means housing with supportive services that is exclusively designated and targeted for homeless persons. Transitional housing includes self-sufficiency development services, with the ultimate goal of moving homeless persons to permanent housing as quickly as possible. Assistance in the Supportive Housing Program is provided to help homeless persons meet three overall goals: (1) achieve residential stability; (2) increase their skill levels and/or incomes; and (3) obtain greater self-determination (i.e., more influence over decisions that affect their lives). The City will regulate supportive housing as a residential use, provided supportive services are ancillary to the primary use.

The City's current zoning has not acted as a constraint to the provision of transitional or supportive housing. As required by SB 2, the City recognizes transitional and supportive housing as a residential use subject only to those restrictions that apply to other residential uses of the same type in the same zone and without any discretionary action. The Housing Element includes Program 32, Special Needs Housing Laws, which addresses legislation such as AB 2162 and requires the City's Zoning Ordinance and other planning documents be regularly updated to respond to new legislation.

**Table X-36 | Permitted Housing Types by Zone**

Residential Use			R1	RS	R2	R3	RMU
Single-Family Dwellings			P	P	P	P	P
Rooming and Boarding House			-	-	-	P	P
Two Family			-	-	P	P	P
Multi-Family Dwellings			-	-	-	P	P
Accessory Dwelling Units			P	P	P	P	P
Mobile Home Park			CUP	CUP	CUP	CUP	P
Community Care Facility, Small			P	P	P	P	P
Community Care Facility, Large			CUP	CUP	CUP	P	P
Family Day Care Homes, Small			P	P	P	P	P
Family Day Care Homes, Large			A	A	A	A	P
Transitional and Supportive Housing			P	P	P	P	P

Civic Use			MP	M1*	M2*	MMU*	GC*	HC*	CMU*
Emergency Shelters			P				CUP	CUP	CUP

Commercial Use		R3	RMU	NC*	CC*	GC*	HC*	RC*	CBD*	CMU*	HD*	BP*
Multi-Family Dwellings		P	P	CUP	CUP	-	-	-	CUP	P	CUP	-
Transitional and Supportive Housing		P	P	CUP	CUP	-	-	-	CUP	P	CUP	-
Accessory Dwelling units		P	P	P	P	P	P	-	-	P	-	-
Caretaker/Employee Housing		-	-	CUP	CUP	CUP	CUP	CUP	-	P	-	-
Single-Room Occupancy		-	-	-	-	-	-	-	CUP	CUP	CUP	-
Community Care Facility		P	P	P	P	P	-	-	P	P	-	P
Long Term Care Facility		CUP	P	CUP	P	P	-	-	P	P	-	CUP
Family Day Care Home, Small		P	P	P	P	P	-	P	P	P	CUP	P
Family Day Care Home, Large		A	P	CUP	CUP	CUP	-	CUP	CUP	P	CUP	CUP

Downtown SP	DT-1			DT-2	DT-3	DT-4	DT-5	DT-6	DT-7	DT-9	DT-10	DT-11
High Efficiency Residential Units*	-			-	-	P/CUP	-	P/CUP	P/CUP	P/CUP	-	-

\*includes a room or group of internally connected rooms that have independent sleeping, cooking, eating and sanitation facilities, which constitutes an independent housekeeping unit, occupied by or intended for one household on a long-term basis.

Principally permitted use, designated as “P”

Conditionally permitted use, designated as “CUP”

Administratively permitted use, designated as “A”

Primary use types not listed or designated by a dash (-) are not permitted in that zone district.



## Zoning for Emergency Shelters

The City has identified the MP Industrial/Business Park zoning district as appropriate for emergency homeless shelters by right and without discretionary action. According to data obtained from the City's Planning Division, six parcels are zoned MP Industrial/Business Park (see table below) and may be suitable for an emergency homeless shelter, as the sites are vacant or underutilized. Any of the six parcels identified by the Planning Division include sufficient capacity to accommodate the unmet need for homeless individuals (see Table X-37). (See Figure X-28 for site locations). Emergency shelters are required to comply with the development standards of the zoning district; there are no development standards specific to emergency shelters.

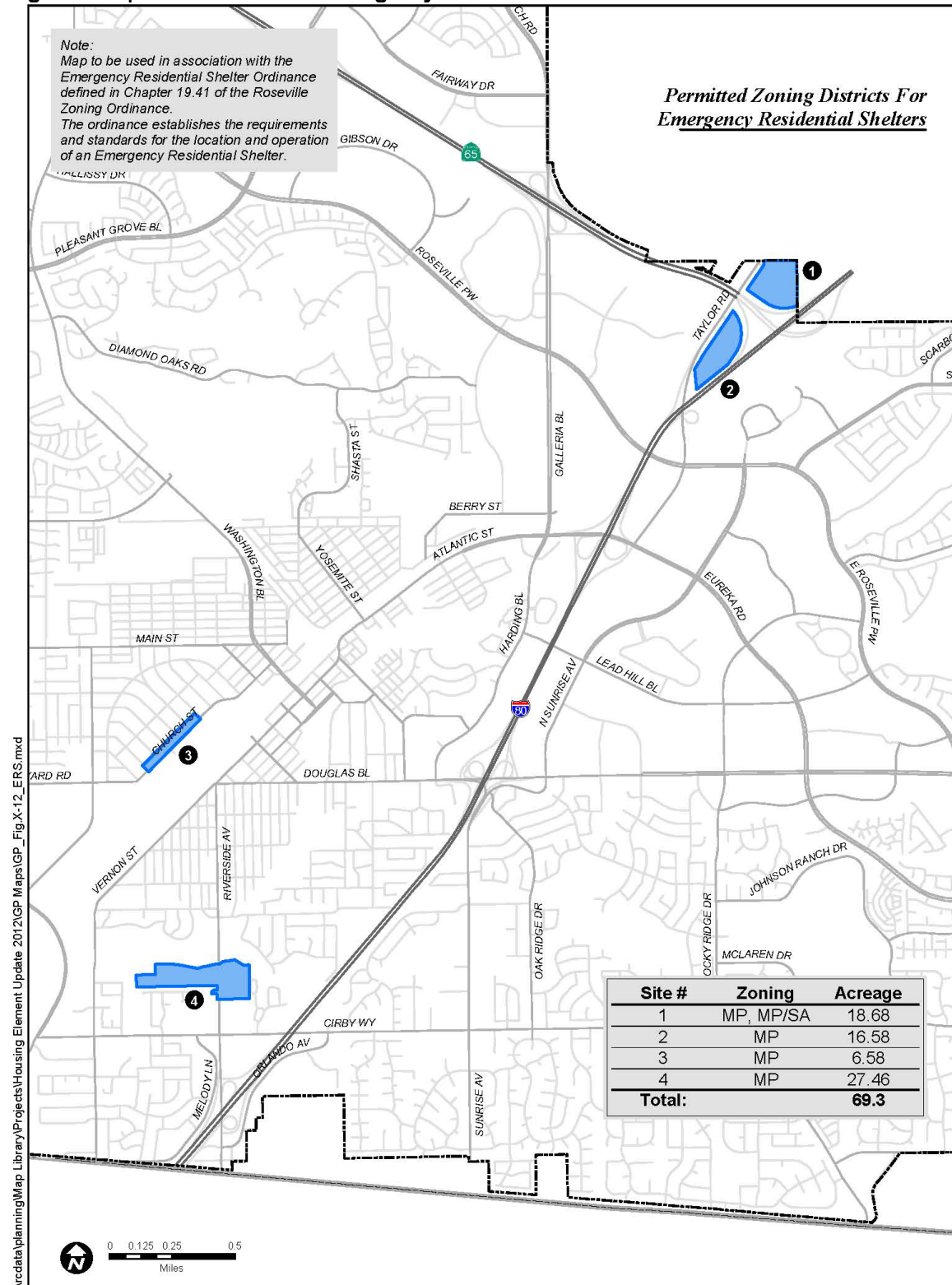
**Table X-37 | Inventory of MP Zone Sites**

Site #	Existing Use	Acreeage	Potential Availability
1	Self-storage, auto repair, and storage	18.68	Reuse
2	Single-family residence, County services building, light manufacturing, automotive	16.58	Reuse, some vacant
3	Vacant lots, single-family residential, commercial, light industrial	6.58	Reuse, some vacant
4	Auto sales and service, office, light industrial, vacant lots	27.46	Reuse, some vacant

The Industrial/Business Park uses in the City pursuant to the Zoning Ordinance consist of the following types of uses: light manufacturing, research and development, warehousing, business parks and offices, supporting retail, financial and restaurants, personal services, and similar types of uses. Parcels zoned MP are centrally located and convenient to major transportation, schools, the downtown area, and other services.

The parcels listed above are all at least partially developed with existing uses but there is land available for development. In addition, many of the buildings on the sites are large metal, uninsulated buildings or other improvements which can be removed without substantial expense or loss of property value. Sites 1 and 2 are located within ¾-mile of Sutter Hospital and two local Roseville Transit routes. Site 3 is located within ¾-mile of the Roseville Intermodal Station, which is served by Amtrak, Greyhound, the City's local bus routes, and both the City and Placer County commuter services. Site 4 is located within ¼-mile of the Kaiser Riverside Medical Office Building and two local Roseville Transit Routes are within the site area.

Figure X-28 | Sites Available for Emergency Shelters





## Permit Processing Procedures and Timeline Estimates

Development review procedures exist to ensure that proposals for new residential development comply with local regulations and are compatible with adjacent land uses. Table X-38 provides typical local development timelines, which is followed by a flow chart of the City's processes. Shown below are processing times for single-family and multi-family projects.

### SINGLE-FAMILY PROJECTS

For single-family dwelling production building permits, the time-frame for review of a production building permit is 2–3 weeks. Master plan reviews take approximately 2–3 months

For single-family dwelling custom homes, the time frame for these reviews is 6–12, weeks depending on the complexity of the custom home and applicant's promptness in responding. No master planning is involved.

Development of large-lot specific plan parcels into subdivisions requires a Tentative Subdivision Map, and may also be accompanied by others. In the City of Roseville it is typical for applicants to request approval of tentative subdivision maps covering large land areas, which then may take multiple years to develop. An evaluation of the City's entitlement and building permit records over the last five years indicates that the time between the approval of a subdivision and application for the first single-family building permit ranged from two to five years. The City issues an average of 800 to 900 single-family building permits per year, so this delay between approval of entitlements and application for building permits does not coincide with or result in a delay in construction or supply.

Single-family residential projects with a Medium Density Residential land use designation will also include a Design Review Permit in addition to the Tentative Subdivision Map, but it is typical for an applicant to apply separately for these entitlements. It is common that the land holder will record the Tentative Subdivision Map and then sell portions of the recorded subdivisions to a residential developer. The purchasing developer will then apply for the Design Review Permit based on their proposed home plans. Therefore, the length of time between approval of a Design Review Permit and application for building permits is shorter than it is between approval of the Tentative Subdivision Map and the building permit application. An applicant typically applies for a building permit within three months of approval of the Design Review Permit.

### MULTI-FAMILY PROJECTS

For a market-rate multi-family development, the plan review time-frame between City and applicant is approximately 8–16 weeks. The Development Services Department gives priority to multi-family development projects with affordable units, which can expedite processing by up to 25%.

In the City of Roseville multi-family development projects typically only require approval of a Design Review Permit entitlement in order to apply for a building permit. An evaluation of the City's entitlement and building permit records over the last five years indicates that the time between the approval of a multi-family project and application for the first building permit is generally less than three months.

### AFFORDABLE HOUSING PROJECTS

The City adopted a streamlined ministerial approval process for qualifying affordable housing projects. Projects which provide a minimum 20% affordable housing for low or very low income households and projects meeting the criteria for SB 35 qualify for the streamlined process. Applicants who wish to use this process fill out an application and self-certification checklist indicating they comply with the City's Objective Design Standards and, after pre-application review by Planning staff to verify, are permitted to proceed directly to the Building Permit process. This allows affordable housing projects to bypass the Design Review Permit process, which can save an average of three months of processing time and eliminates the \$8,000 deposit required for the entitlement. The Objective Design Standards are found on the City's Planning Division website in the Applications, Forms, and Handouts section.

**Table X-38 | Permit Processing Timelines**

<b>Application</b>	<b>Time Frame</b>
Single-Family Project	10–12 weeks for construction plan check
Multi-Family Project	12 weeks for design review + 10–12 weeks for construction plan check
Administrative Permit	Approved by the Planning Director. Processing time 4–6 weeks.
Conditional Use Permit	Public hearing before Planning Commission. Processing time between 8 and 12 weeks.
Design Review Permit	Public hearing before Design Committee or Planning Commission. Processing time about 12 weeks. (note: A design review permit is required for MF development but is not a separate entitlement.)
Flood Encroachment Permit	Public hearing before Planning Commission. Processing time between 8 and 12 weeks.
Major Project Permits	Public hearing before Planning Commission for processing Stage 1 (Preliminary Development Plan), Stage 2 (Architectural and Landscaping Plan), staff approval of Stage 3 (Final Plans). Processing time 16–20 weeks.
Tentative Subdivision Maps	Public hearing before Planning Commission. Processing time is between 8 and 10 weeks.
Design Review Permits for Residential Subdivisions	Should be obtained concurrent with or following processing an application for a tentative residential subdivision map or as a separate permit when modifying existing design standards. Public hearing before Planning Commission. Processing time 8–10 weeks (usually tracks concurrent with SUBD).
Grading Plan/Permits	Planning Director approval for minor grading plans, or public hearing before Planning Commission for major grading plans. Processing time is between 4 and 8 weeks.
Tree Permits	Planning Director approval of Administrative Tree Permits or public hearing before Planning Commission or Design Committee if the tree is associated with a design review permit. Processing time between 8 and 12 weeks.
Variance	Public hearing before Planning Commission or Design Committee. Processing time between 8 and 12 weeks.
Rezone	Public hearing by both Planning Commission and City Council. Processing time is between 16 and 20 weeks.
General Plan Amendment	Public hearing by both the Planning Commission and City Council. Processing time between 16 and 20 weeks.
Specific Plan Amendment	Public hearing by both the Planning Commission and City Council. Processing time between 16 and 20 weeks.
Boundary Line Adjustment	Planning Director approval or public hearing before Planning Commission. Processing time between 6 and 8 weeks.



# ENTITLEMENT APPROVAL PROCESS FOR SINGLE-FAMILY AND MULTI-FAMILY PROJECTS

Entitlement Approval Process  
Planning Division

### ENTITLEMENT REVIEW STEPS

**1. Submittal:** Project applicant submits application to Planning Division as a pre-application. Application is review to determine if it contains all information identified on the applicable submittal checklist. When all checklist items are present and fees have been paid, a project number is assigned and it becomes a submitted application.

**2. Distribution:** Within 5 working days from acceptance as a submittal, the application and project plans are distributed for review by City development departments, including Building, Engineering, Electric, Fire, Parks (if involving street medians or city-maintained property), and Environmental Utilities. Plans are also routed to outside agencies (e.g., PG&E, telephone, cable tv, resource agencies, etc.) for review and comment.

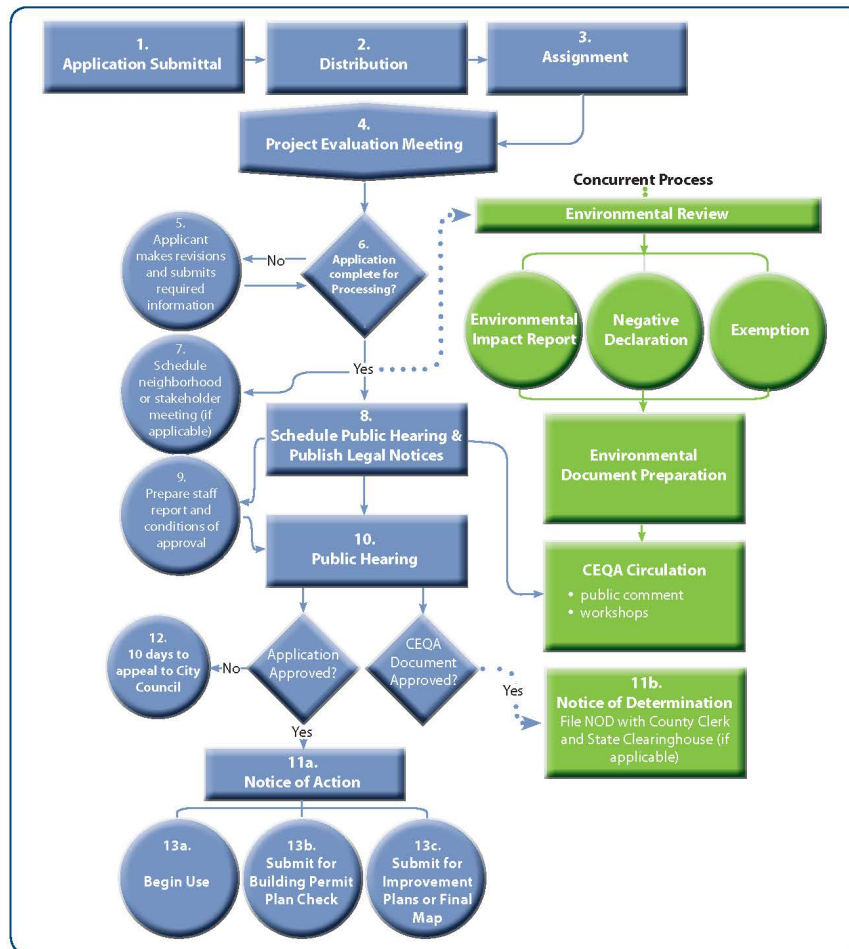
**3. Assignment:** Within 8 working days from submittal, the application is reviewed by a Senior Planner and assigned to a staff planner. The staff planner is the primary point of contact and is responsible for coordinating the City's response.

**4. Project Evaluation Meeting:** Within 30 to 45 calendar days from submittal, a Project Evaluation Meeting (PEM) is scheduled. The PEM is attended by representatives from each City department and the applicant's representative(s). The various departments discuss the project, give comments to the applicant, and suggest revisions to make the project conform to City standards. At the PEM, the City will notify the applicant if the application submittal is complete, and if not, will issue a letter identifying any information necessary to complete the application. More than one PEM may be held, depending on the size and scope of a project.

**5. Resubmittal:** If the application is incomplete or revisions are required, the applicant makes appropriate corrections and resubmits the plans along with a letter describing any changes to the staff planner.

**6. Application Formally Accepted:** Following the final PEM and the submittal of all required information, the application is formally accepted as complete. Acceptance of the application initiates the timeframes required by the Permit Streamlining Act. At this stage the Planning Division performs an initial study to assess potential environmental impacts. This review will determine the appropriate environmental document.

**7. Neighborhood Meeting:** Some projects may require one or more presentations to various neighborhood associations, depending on the level of complexity and/or controversy.



**8. Hearing Schedule, Legal Notices, and Environmental Document Posting:** Once deemed complete, the application will be scheduled for hearing by the Planning Commission, Design Committee, or City Council (approving authority varies by entitlement). The Environmental Document may be posted for a 20-, 30- or 45-day comment period, depending on the type of review required. A 10-day notice of public hearing is mailed to property owners within a 300-foot radius of the subject property.

**9. Staff Report Preparation:** Once the hearing is scheduled, the staff planner will prepare the staff report and finalize the conditions of approval. Staff reports are typically published the Friday preceding the meeting date. The staff report provides a project description, discusses the comments and issues identified by the City, and lists the staff recommendations or options for the Commission/Committee/Council action.

**10. Commission/Committee/Council Decisions:** The entitlements reviewed by the Commission, Design Committee, or City Council are discretionary actions. As such, the project may be approved or denied, or conditions of approval imposed. The Planning Commission also serves in advisory capacity to the City Council on General Plan and Zoning issues, and hears appeals of actions taken by the Planning Director on Administrative Permits. As the designated approving authority, actions on development entitlements by the Planning Commission or Design Committee are final unless appealed to the City Council.

**11. Notice to Applicant & Notice of Determination:** Following action by the Planning Commission or Design Committee, Planning staff will mail to the applicant an official notice of action that identifies the actions taken on the application, applicable expiration dates, and final conditions of approval. As applicable, within 5 days of the approval, Planning staff will send the Notice of (environmental) Determination, along with associated filing fees paid by the applicant, to the County Clerk.

**12. Appeals:** Applicants or other aggrieved persons may appeal the Planning Commission or Design Committee's decision to the City Council within 10 calendar days of the action. Appeals must be filed with the City Clerk along with the associated appeal fee.

**13. Begin Use / Submit for Building Permit:** After the appeal period, an applicant may submit plans to the building and/or Engineering Department for plan check. If the approval is for a Conditional Use Permit, the applicant may begin the use.

## DESIGN REVIEW PERMIT

A request for a design review permit requires one public hearing before the Design Committee with an estimated processing time of 12 weeks. The applicant or the applicant's representative must be present at the public hearing to answer questions.

New multi-family construction, as well as medium-density residential (single-family), is subject to design review permits. Single-family development lots (with the exception of medium-density residential) that comply with Zoning Ordinance standards do not require a design review permit. The Design Review Permit is designed to allow applicant's design flexibility while maintaining the aesthetic nature of an area and providing quality-of-life features for the future residents of a project (such as play areas) without requiring special or costly construction materials that would have an impact on housing affordability. Typical design review findings for all multi-family uses include provisions for adequate drainage, access for parking, pedestrian circulation and walks, loading areas, compatible building designs, colors, building height, and trash enclosures. The standards for review are found in the City's Community Design Guidelines, which include a mix of quantified standards (e.g. all pedestrian pathways must be lit to a minimum 0.5 foot-candles), objective standards (e.g. projects must be consistent with the City's Bikeway Master Plan), and flexible standards (e.g. parks and open space should be integrated into the overall design of the project).

The Design Review Permit requires a public hearing before the Design Committee, which is composed of three members. Two of the members are appointed by City Council and typically have engineering and architecture experience, and the third member is a current member of the Planning Commission. The hearings are held in the City's public conference room in the Civic Center. The findings for approval are found in Roseville Municipal Code Chapter 19.78.060, and are as follows:

1. The project as approved preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands and water courses; provides adequate drainage for the project; and allows beneficial use to be made of the site for development.
2. The project site design as approved provides open space; access; vehicle parking; vehicle, pedestrian, and bicycle circulation; pedestrian walks and links to alternative modes of transportation; loading areas; landscaping; irrigation; and lighting which results in a safe, efficient, and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.
3. The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site, as approved is harmonious with other development and buildings in the vicinity and is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.
4. The design of the public services, as approved, including, but not limited to, trash enclosures and service equipment, are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors, and landscaping that are harmonious with the site and the building designs.

The findings are entirely related to site design and architecture; none relate to the type of housing or the number of housing units because these are established by the City's land use plan. In finding 2, a harmonious development is defined according to the plain dictionary meaning of the word, which is "forming a pleasing or consistent whole," and is used to ensure that the project design is cohesive. In finding 3 the same definition applies, and is used to ensure that the new building architecture does not clash with the existing neighborhood; absolutely conformity is not required to be pleasing or consistent, and there are many examples of multi-family housing projects in the City which provide more modern architectural forms or materials within older, established neighborhoods. The determination of whether the development is harmonious or compatible is based on general consistency with the City's Community Design Guidelines. Architectural requirements of the Community Design Guidelines include the use of a consistent design concept to define character; variation in wall planes, rooflines, and building form; variation in color and materials, and the use of architectural treatments on all sides of a building. The guidelines are clearly stated, and none inhibit creativity or novel design. In fact, Community Design Guidelines MF-27 states: "Projects that consider and compliment the context of adjacent and surrounding projects, but are original in design and avoid duplication ("copy cat" effect) are highly encouraged."

The City's design review permit process has not been found to negatively impact a project or hold up the processing of an application, either by requiring an applicant to appear before the Design Committee multiple times for project approval or by unduly requiring plan revisions which delay an applicant's hearing date.



## LARGE COMMUNITY CARE FACILITIES

Large community care facilities are described as a dwelling where nonmedical care is provided to no less than 7 and no more than 12 persons on a 24-hour basis and which is operated and occupied by the owners (facilities with more than 12 people are considered commercial community care facilities and are permitted in commercial zoning districts). Large community care facilities are licensed by the California Department of Social Services, permit no more than two persons per bedroom, and shall be designed so as to be compatible with the residential character of the neighborhood.

The particular conditions or use restrictions for group homes with seven or more persons, as described above, should not have a negative effect on the development or conversion of residences to meet the needs of persons with disabilities or affect the provision of services on site.

Other City policies that strive to alleviate governmental constraints include (1) reduction in parking standards for projects which can demonstrate a reduced need for parking; (2) occupancy standards in the City's Zoning Code apply to unrelated adults in the same manner they apply to families; (3) community input for the approval of group housing is the same as for other types of residential development; (4) unit size is not regulated or restricted by the City (any minimum unit size restrictions would be included in the Conditions, Covenants, and Restrictions of a subdivision mandated by the developer or the homeowners association within a custom home subdivision); and (5) commercial floor area ratios, in mixed-use projects, are not adversely affected by inclusion of a residential use.

A Conditional Use Permit is required for large community care facilities in the City's R1, RS, and R2 zones (single-family, small-lot, and duplex/halfplex), but not in the R3 (attached housing) or RMU (residential mixed use) zones. Large community care facilities do not operate in the same manner as residences with large families, and have different needs. However, the City has included a program to change the approval process from a Use Permit to an Administrative Permit, along with the establishment of objective standards to ensure reliability and transparency in review. An Administrative Permit is a staff-level approval.

The first plan review takes 3 weeks, with 1–2 weeks for any necessary follow-up review.

## Affordable Housing Goal

The City has a 10% Affordable Housing Goal which divides the 10% goal into 4% very low, 4% low, and 2% moderate income. This is calculated based on the total residential units allocated to each specific plan area. The type of units, income ranges, and parcel-by-parcel obligations are specified within each specific plan area and their related development agreements. Developers of each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the specific plan development agreement. Prior to building permits being issued for affordable rental housing developments, developers are required to enter into regulatory agreements with the City, at which time Housing Division staff actively assists developers in acquiring appropriate and available subsidies for the construction of affordable housing.

The 10% Affordable Housing Goal, as set forth in each specific plan area, is not intended to be set as a maximum number of affordable units; rather, it is a minimum expectation for the production of affordable housing for households that cannot afford market-rate housing. If affordable housing developers were able to secure the financing to fund the land acquisition and construction of affordable housing on parcels not previously identified as required to produce affordable housing, the City would encourage the development without limitation. However, the affordable housing requirement imposed on any parcel assists future developers in negotiating with landowners a valuation that justifies the imposition of the affordable housing requirement, which is typically less than market value.

## FLEXIBILITY FOR MOVEMENT OF AFFORDABLE HOUSING WITHIN SPECIFIC PLAN AREAS

Prior to the development of the West Roseville Specific Plan (WRSP), each plan area designated parcels that would have affordable housing obligations, identified as either rental or purchase housing. In order to move the affordable housing units from one parcel to another, or merge them on to one parcel, the movement of the affordable units would require a formal amendment process to both the specific plan and related development agreements, which was costly and time intensive.

Beginning with the implementation of the WRSP in 2003, specific plans and related development agreements have provided flexibility to move the affordable housing units between the designated parcels by recording a Memorandum of Understanding, versus full amendments to the other formal agreements. The flexibility allows for developers of affordable housing to leverage the affordable housing "requirement" within the negotiations for securing the land, as well as collecting affordable housing

obligations from one parcel to another, when developments conducive to 100% affordable housing financing, such as tax credits and bonds, will be used to develop the affordable housing units.

For a more detailed explanation of the affordable housing requirements of each specific plan and related development agreements, please refer to Planning Division documents located on the City's website, using the following link: [http://www.roseville.ca.us/planning/planning\\_document\\_library/specific\\_plans/default.asp](http://www.roseville.ca.us/planning/planning_document_library/specific_plans/default.asp)

## **Growth Management**

The Growth Management Component of the Land Use Element views growth management as a means to proactively prepare for and manage growth. The key to Roseville's growth management component is the comprehensive planning process, rather than the establishment of growth limitations. The Growth Management Component focuses on the development of performance standards rather than timelines or growth rates for future development. Performance standards exist for all residential and non-residential projects within the City of Roseville.

Performance standards include items such as traffic circulation, landscape and lighting, parking, height restrictions, architectural design, and driveway locations. This approach has resulted in goals and policies that emphasize performance (e.g., maintaining levels of service, providing adequate park acreage, water, wastewater, electric, financing needed school facilities), rather than specific dates, growth rates, or buildout of existing plans. The performance standards provide the criteria for planning and managing growth by requiring the mitigation of growth impacts. The City has no ordinances restricting growth.

Much of the City's efforts are focused on comprehensive rather than incremental land use and facilities planning. The City currently has 16 specific plan areas that reflect the City's commitment and success in the management of growth. Each plan comprehensively plans and integrates the various elements of the area and provides detailed implementation strategies.

Implementation is secured through use of development agreements and the establishment of financing districts to ensure funding and maintenance of facilities and improvements, as well as construction of affordable units.

The limits identified in the Growth Management Component are based on estimated maximum level of development that the City can provide for and still maintain adequate service levels. Allowing development beyond the identified limits could result in a lack of resources and reduced service levels, which have the potential to directly impact the health, safety, and welfare of Roseville residents.

The concept of linking growth management and the ability to provide adequate services is articulated throughout the goals and policies of the Growth Management Component, Policy LU8.3.

The Growth Management Component of the General Plan will not affect the City's ability to accommodate its share of the Regional Housing Needs Allocation. The Growth Management Component should not impact the supply of housing, nor should it restrict the City's ability to accommodate its share of the regional housing need for the eight-year planning period of this Housing Element.

## **Subdivision Standards**

The City's subdivision standards include provisions for increased lot densities and decreased curb/gutter/street widths to accommodate greater land use. The City's standard residential street section is 34 feet from back of curb to back of curb, with the standard increased to 38 feet if the street serves more than 100 homes.

Consistent with SACOG's Blueprint Project and the City's Blueprint Implementation Strategies, the City annually reviews its standards to encourage compact development, mixed use, and higher-density residential units.

The City's standards for off-site improvements are no more restrictive than those of surrounding jurisdictions and serve to encourage and facilitate compact development to increase the affordability of housing in Roseville.

## **Permits and Fees**

City permits and fees create a significant impact on the cost of new residential housing development. The City has been proactive in making sure the fees collected will pay for the necessary infrastructure and services to maintain a high quality of life for residents. The City offers three programs to help ease the financial burden of development fees to assist with the development of affordable single-family and multi-family housing: (1) the Single-Family Fee Deferral Program allows the



developer to defer most City-controlled development fees until issuance of the certificate of occupancy or until close of escrow; (2) the Commercial Fee Deferral Program allows developers of multi-family affordable projects to defer most City-controlled development fees until issuance of the certificate of occupancy; and (3) the City's partnership with the California Statewide Communities Development Authority (CSCDA) allows developers to apply for the Statewide Communities Infrastructure Program (SCIP), which allows the financing of fees (over a 30-year period) that would otherwise be due at building permit issuance.

Table X-39 lists the estimated fee comparisons for Roseville and surrounding jurisdictions for single-family and multi-family development based on a study completed in 2020. The City's current planning entitlement fee schedule can be found on the City's website at [roseville.ca.us/planning](http://roseville.ca.us/planning) under Applications, Forms, and Handouts and is also included as Table X-40, below. The City has both "fixed" and "full cost" fees, where fixed fees are a flat fee and full cost fee projects are billed on a time-and-materials basis, so the fee is a deposit for that work. Projects will more than one full-cost entitlement have a reduction in the deposit requirement for each subsequent entitlement, and if a full-cost project includes flat-fee entitlement, the flat fee will not be collected. Both the flat fees and the deposit amounts were based on a time and motion study to determine the average cost to process each type of entitlement. Full-cost projects receive a refund of any unused deposit after the project is approved. In addition, the City's planning entitlements are scaled based on project size. The fee for General Plan Amendments, Specific Plan Amendments, Rezones, and Subdivision Maps varies based on the amount of acreage and lots proposed, with smaller deposits required for smaller projects. Most surrounding jurisdictions have flat fees for all entitlements and do not have scaled fees.

Using a Subdivision Map as an example, this entitlement costs \$15,167 in the City of Rocklin, \$14,847 in the City of Citrus Heights (\$15,341 for a vesting map), and \$29,105.44 in the City of Sacramento. Placer County uses the full-cost fee method and requires an initial deposit of \$1,596. In the City of Roseville, the deposit is \$11,000 for maps of 5 to 99 lots, \$16,000 for maps of 100 to 499 lots, and \$24,000 for maps of 500+ lots. The City's use of full-cost fees ensures each development will pay the actual cost to process the entitlement. This is beneficial to smaller-scale developers and applicants who submit simpler projects, because they will pay lower fees for their 25-lot subdivision map than a larger-scale developer will pay for a 500-lot map.

There are several development fees that apply to all new residential construction in Roseville. Each development fee is calculated individually and is based on factors such as type of project, construction valuation, square footage, and use, or a flat rate may be applied. There are no special or reduced development fee rates for affordable housing projects; however, the City does offer the fee deferral and financing programs mentioned earlier. Traffic fees and the Placer County Capital Facilities fee have reduced rates for age-restricted housing.

Building permit fees that are calculated on a flat-rate basis exert a heavier burden on smaller housing units, such as apartments and condominiums, than on larger single-family units. Since the cost is the same, regardless of size, the fee per square foot is much higher for a small dwelling as compared to a larger dwelling. Although several of the fees take this into consideration, the cost per square foot is still typically higher for apartments, condominiums, and small single-family dwellings than for larger single-family homes. Unlike market-rate homes and apartments, affordable units that must meet guidelines for purchase or rental price cannot pass along the higher cost per square foot to the buyer or renter. The City's policy is not to waive fees, as noted above; however, the City does offer the fee deferral and fee financing programs to assist affordable housing developers with payment of fees. Permit processing procedures and timelines are outlined below.

It is difficult to determine the direct impact of fees on affordable housing production, as the cost of land, available of grants or tax credits, and other factors play an equal role. Generally, affordable housing developers need a per-unit cost reduction from one or more sources in order to make a project financially feasible. The amount of this reduction varies depending on the current land costs, construction costs, fees, and the availability of subsidies. The City's fees are all designed with a strong nexus to need, and are already reduced in most cases for multi-family housing compared to other housing. The City's 10% Affordable Housing Goal seeks to reduce the cost constraints associated with affordable housing production. The City's specific plan process includes the objective of satisfying the affordable housing goal by providing specific parcels in each specific plan area (SPA) with affordable housing obligations and providing a detailed financing plan which provides fee transparency and equitable distribution of fees. An affordable housing project will not be delayed or hampered by owing substantial unexpected or upfront fees due poor planning (such as with "last one in" infrastructure requirements); the City's planning process is clear, stable, and transparent. The cost of parcels with affordable housing obligations are below market rate and may, by reducing or removing Mello-Roos bonds, further ensure affordability for renters or homebuyers.

**Table X-39 | Residential Fee Comparison By Jurisdiction**

2020 Fee/Tax	Roseville		Rocklin		Folsom <sup>5</sup>		Placer County		Rancho Cordova	
	SF	MF	SF	MF	SF	MF	SF	MF	SF	MF
Transportation	5,016	3,110	6,589	4,123	10,057	6,731	7,598	0	10,479	6,821
Capital improvement fees	3,250	2,167			3,311	3,355	4,603	3,305	4,053	3,170
Water connection	9,644	3,857	17,405	7,736	4,262	2,750	3,717	3,717	17,601	13,200 <sup>6</sup>
Sewer connection	371	371	12,051	12,051	1,052	823	10,519	10,519		
Fire	1,165	1,165					1,940	825	917	1,663
Police/Public Safety									450	450
Recreation/Parks-Citywide parks/rec	2,345	3,155	2,696	2,217	6,900	4,584	4,785	3,480	1,500	1,500
Recreation/Parks-Neighborhood parks / other park	1,255	810			706					
Other (1)			292	116	1,052	823	224	224	175	356
Other (2)			7,103	4,774	1,017	1,017			13,303	912
Other (3)					377	406				
Other (4)					5,400					
School District <sup>7</sup>			4,080	4,080	45	45	7,880	3,349		
<b>Total</b>	<b>23,046</b>	<b>14,635</b>	<b>50,216</b>	<b>35,097</b>	<b>34,179</b>	<b>20,534</b>	<b>41,266</b>	<b>25,419</b>	<b>48,478</b>	<b>28,072</b>

SACOG September 2020. Fees based on City fees. Additional fees may be charged by school districts. For fees with a range, highest fee in range used.

(1) Rocklin, Regional Drainage. Folsom, Regional Sanitation, City Portion. Placer County, Dry Creek Flood Control Fee, varies by area.

Rancho Cordova, Sacramento Regional Transportation

(2) Rocklin, City & Placer County Construction Tax Combined. Folsom, Drainage. Rancho Cordova, Measure A transportation

(3) Folsom, solid waste and waste management plan fee.

(4) Folsom, housing fee

(5) Fee based on North of US50 schedule. Multiple fees included in several categories.

(6) Rancho Cordova- water and fire, Sacramento fees. Sewer based on ratio of pipe for SF and acre for MF.

(7) Varies by area if no amount provided. Folsom, permit.

**Table X-40 | Planning Entitlement Fees, 2021**

Entitlement (Application Type)	Fixed Fees	Full-Cost Deposit
<b>Appeals</b>		
1. Planning Director's Decision	\$1,553	
2. PC/DC Decision to City Council	\$1,454	
<b>Annexations</b>		
1. Annex/PZ/Detach/SOI		\$20,000
<b>DEVELOPMENT AGREEMENTS (DA)</b>		
1. Adoption of DA		\$20,000
2. Amendment of DA		\$20,000
3. Associated with Affordable Housing	\$2,829	
4. Associated with Single Topic Item	\$6,402	
5. Development Agreement Review / Compliance Fee	\$1,814	
<b>ENVIRONMENTAL REVIEW</b>		
1. Exemption WITHOUT Initial Study	\$394	
2. Exemption WITH Initial Study	\$962	



Table X-40 | Planning Entitlement Fees, 2021

Entitlement (Application Type)	Fixed Fees	Full-Cost Deposit
3. Negative Declaration	\$1,477	
4. Mitigated Negative Declaration		
5. EIR Deposit		\$20,000
<b>GENERAL PLAN AMENDMENT (GPA)</b>		
1. GPA 10 Acres or Less Map/Text		\$10,000
2. GPA 10+Acres, Map/Text		\$17,000
3. GPA – Text Policy Amend		\$15,000
<b>PUBLIC UTILITY EASEMENT ABANDONMENT</b>		
1. Summary Vacation	\$3,270	
2. General Vacation	\$4,880	
<b>SPECIFIC PLAN AMENDMENT (SPA)</b>		
1. SPA Adoption, Map/Text		\$30,000
2. SPA 10 Acres or Less, Map/Text		\$10,000
3. SPA 10+ Acres, Map/Text		\$20,000
4. SPA Text/Policy Deposit		\$15,000
<b>SUBDIVISIONS/CONDOMINIUMS</b>		
1. Grading Plan/Minor	\$3,407	
2. Grading Plan/Major		\$8,000
3. Lot Line Adjustment	\$3,407	
4. Extension to a Tentative Map	\$3,407	
5. Voluntary Merger	\$3,407	
6. Reversion to Acreage	\$4,975	
7. Minor Modification to a Tentative Map		\$2,000
8. Major Modification to a Tentative Map		\$10,000
9. Tentative Parcel Map with 4 or fewer Lots		\$6,000
10. Tentative Map, 5 through 99 Lots		\$11,000
11. Tentative Map, 100 through 499 Lots		\$16,000
12. Tentative Map, 500+ Lots		\$24,000
<b>ZONING ORDINANCE ENTITLEMENTS</b>		
1. Administrative Permit	\$1,361	
2. Conditional Use Permit (CUP)		\$9,000
3. CUP Modification		\$5,000
4. CUP Extension	\$6,047	
5. CUP Vernon St & Historical District only	\$1,549	
6. Design Review Permit (DRP)		\$8,000
7. Design Review Permit Modification		\$5,000
8. DRP Extension	\$5,468	
9. Minor DRP	\$230	
10. DRP – Additions or New Constructions (DTSP Only)	\$230	
11. DRP – Façade Improvements (DTSP only)	\$230	
12. DRP – Predesign (DTSP only)	\$230	
13. DRP – Residential Subdivision w/other Permit	\$6,047	
14. Flood Encroachment Permit		\$8,000
15. MPP Stage 1 or Stages 1 & 2		\$20,000
16. MPP Modification		\$7,000
17. MPP Stage 2, Extend of Stage 1 &/or 2		\$7,000
18. MPP Administrative Modification	\$1,770	

**Table X-40 | Planning Entitlement Fees, 2021**

<b>Entitlement (Application Type)</b>	<b>Fixed Fees</b>	<b>Full-Cost Deposit</b>
19. Planned Development Permit		\$11,000
20. TP Admin – Approved at Public Counter	\$226	
21. TP – Req. Public Hearing for SFD or 10 trees/less	\$4,082	
22. TP – Req. Public Hearing for DRP/TM or 11+ trees	\$6,284	
23. Administrative Variance	\$1,360	
24. Variance to Develop Standards Req. Public Hearing	\$4,554	
25. Variance to Parking Standards	\$5,728	
26. Zoning Clearance	\$156	
27. Zoning Interpretation – Hearing Req	\$3,610	
28. Zoning Interpretation – Non-Hearing Item	\$141	
<b>ZONING ORDINANCE AMENDMENTS</b>		
1. Ordinance Text Amend (Zoning, Subd, Sign)		\$10,000
2. Zoning Map Change (RZ) 10 Acres or LESS		\$10,000
3. Zoning Map Change (RZ) 10+ Acres		\$17,000

**2012 DEVELOPMENT IMPACT FEE SUSPENSION AND ADJUSTMENTS**

In May 2012, the City Council approved the suspension of the Construction Cost Index inflationary adjustment on six of the City’s development impact fees. The ordinance was effective July 1, 2012, and the following six development impact fees will remain at 2008 levels:

- 1 Pleasant Grove/Curry Creek Watershed Drainage Mitigation Fee
- 2 Public Facilities Fee
- 3 Animal Control Facility Fee
- 4 Special Area Water Fee
- 5 Local Sewer Connection Fee
- 6 Electric Backbone Mitigation Fee

The City’s Traffic Mitigation Fee (TMF) is not adjusted for inflation this year, as the City Council approved a comprehensive update earlier this year. The net result of the TMF update is an average fee reduction of approximately \$1,300 per unit. The new TMF fee structure was effective July 1, 2012.

As required by City ordinance, the following development impact fees are adjusted for inflation on July 1 of each year. The annual inflationary adjustment is based on the costs of materials and construction during the past year as tracked by the Construction Cost Index (CCI). For the year 2012, the inflationary adjustment was 2.5%. Building permits for new construction issued after July 1, 2012, are subject to the adjustment on the following six impact fees:

- 1 Dry Creek Watershed Drainage Fees
- 2 Regional Sewer Connection Fee
- 3 Water Connection Fee (3% per ordinance)
- 4 Highway 65 JPA Fees
- 5 Neighborhood and Community Park Fee
- 6 Citywide Park Fee



## Building Codes

To provide construction standards for the creation of efficient housing units, the City adopted the 2019 California Building Code based on the 2018 International Building Code, 2019 California Residential Code based on the 2018 International Residential Code, 2019 California Plumbing Code based on the 2018 Uniform Plumbing Code, 2019 Mechanical Code based on the 2018 Uniform Mechanical Code, 2019 California Electrical Code based on 2017 National Electric Code, the 2019 California Energy Code, 2019 California Green Building Code, 2019 California Fire Code based on the 2018 International Fire Code with City of Roseville amendments, 2019 California Existing Building Code, and 2019 California Historical Code. The City of Roseville amendments to the Fire Code are minor, consisting mainly of technical changes applicable to non-residential construction (storage racks, fireworks, etc). A handful of revisions may effect residential development, including a requirement that fire access roads be paved with a surface which can sustain fire apparatus loads, addressing requirements, details for fire control rooms, and fire flow requirements for residences. None of these changes represent a barrier or constraint on housing production.

The City enforces building codes for existing units, new construction, and residential rehabilitation. Code enforcement is aimed primarily at new construction and remodeling through the permit process, and in older units in response to complaints. The City attempts to find a balance between ensuring that housing is safe and avoiding the potential loss of affordable housing units through unnecessarily strict enforcement practices. Based on discussions with the City's Building Department, there is no indication that code enforcement practices unduly penalize older dwellings or inhibit rehabilitation. Code enforcement who find older residential units in need of repair notify the Housing Division to determine if repairs may be made through the City's Housing Rehabilitation Program.

In order to assist developers with tax-exempt bond financing, the City has joined the California Statewide Communities Development Authority and the ABAG Finance Authority for Non-profit Corporations.

## NON-GOVERNMENTAL CONSTRAINTS

### Land Costs

Land costs are one of the major components of housing development costs. Post-recession, land prices increased rapidly since the last planning period. The rising land prices post-recession and subsequent period of economic growth affected housing and building nationwide, increasing housing costs. The potential impacts from Covid-19, related economic downturn, and response to expanded work from home options on land prices create a complex forecasting environment. However, there are indications that land costs will remain strong.

Data gathered from Trulia.com, Zillow.com and Realtor.com in August 2020 indicates that land in Roseville ranges from \$155,000 for 0.22 acre to \$10,000,000 for 136.23 acres. See the listings below.

Given that land costs can factor heavily into the final cost of housing, allowing the construction of homes on small lots can lower the cost of housing, especially in the moderate income category. As previously discussed, the City has significant land areas with a DS overlay district, which allows tailored development standards. As a result, the City sees significant production of small-lot homes (lot sizes below 3,000 square feet) at lower price-points per square-foot.

#### Lot Size Listing Price

0.22 acre	\$155,000
3.5 acres	\$269,000
0.65 acres	\$339,000
1.2 acres	\$700,000
28 acres	\$4,500,000
136.23 acres	\$10,000,000

## Construction Costs

The cost of construction depends primarily on the cost of materials and labor, which are influenced by market demand. The cost of construction will also depend on the type of unit being built and on the quality of product being produced. The cost of labor is based on a number of factors, including housing demand, the number of contractors in the area, and the unionization of workers.

A reduction in construction costs can be brought about in several ways. A reduction in amenities and quality of building materials in new homes (still above the minimum acceptability for health, safety, and adequate performance) may result in lower sales prices. State housing law provides that local building departments can authorize the use of materials and construction methods if the proposed design is found to be satisfactory and the materials or methods are at least equivalent to that prescribed by the applicable building codes.

In addition, modular, prefabricated, factory-built housing may provide lower-priced products by reducing labor and material costs. As the number of units built at once increases, savings in construction costs over the entire development are generally realized as a result of an economy of scale, particularly when combined with density bonus provisions.

Using current pricing sources, the average cost for a newly constructed 2,000-squarefoot single-family home (not including land) in the City of Roseville would be approximately \$295,000 (National Building Cost Manual, accessed online data, indexed for location). Data from ProMatcher provides additional data as it provides a range of costs from \$122.21 to \$181.46 per square foot, resulting in construction costs for a 2,000 square foot single-family house ranging from \$244,420 to \$362,920.

The City's Specific Plan process helps control infrastructure-related construction costs. As part of each Specific Plan, detailed infrastructure studies are prepared which define the location of all improvements, including wells, lift stations, and other infrastructure needs. This is not a common approach; frequently, jurisdictions will only plan for major systems at the Specific Plan level, deferring more site-specific determinations to future projects. However, this can result in uncertainty, because the cost and location of all infrastructure is not known at the outset, and can result in wide deviations in the total per-unit infrastructure costs from one subdivision to another. The City's approach ensures that infrastructure construction costs are clear and evenly distributed over the planning area.

## Development Densities

The City's Specific Plans assign a land use density and unit allocation to each large lot parcel of land, rather than a range (e.g. Medium Density Residential 12.2, or 12.2 units per acre). It is this detail which allows the Specific Plan process to clearly lay out the detailed infrastructure and per-unit construction costs for each planning area. It is common—and permitted—for developers to transfer units between parcels within a Specific Plan to ensure that each parcel's units "fit" within the acreage, but it is extremely uncommon for a developer to under-build.

## Availability of Financing

Interest rates are determined by national policies and economic conditions, and there is little that local governments can do to affect these rates. Jurisdictions can, however, offer interest rate write-downs to extend home purchase opportunities to lower-income households. In addition, government-insured loan programs may be available to reduce mortgage down payment requirements.

The Covid-19 influence on the housing market has had multiple impacts on the availability of financing. In late summer 2020, there were historically-low mortgage rates which stoked demand. Interest rates at the present time are not a constraint to affordable housing. However, lending standards have increased due to economic uncertainty. Lenders are announcing more stringent underwriting requirements and exiting some products completely. JPMorgan one of the country's largest lenders- and seen as a trendsetter- has raised the requirements borrowers must meet to be eligible for most new home loans. Customers need a credit score of at least 700 to qualify and must have funds equivalent to a 20% down payment.

Additionally, some lenders are putting into place different reserve requirements for self-employed borrowers. Lenders stress that these changes are temporary, but it is unknown how quickly mortgage companies return to business as usual.

One of the main barriers to rising demand is the lack of inventory, especially for entry-level homes. The California Association of Realtors' Roseville July 2020 monthly market report found that the number of active listings fell 51.2 percent from July 2019.



A more critical impediment to homeownership involves both the affordability of the housing stock and the ability of potential buyers to fulfill down payment requirements. Traditionally, conventional home loans typically require 5% to 20% of the sales price as a down payment, which is the largest constraint to first-time homebuyers. The current higher requirements strongly indicate a need for flexible loan programs and a method to bridge the gap between the down payment and a potential homeowner's available funds. The availability of financing for developers under current economic conditions may also pose a constraint on development outside of the City's control.

## GLOSSARY

**Above Moderate Income:** This is a household earning above 120 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means above moderate income 4-person households are earning more than \$96,100 annually.

**Accessory Dwelling Unit (ADU):** The common use terms for an ADU include in-law quarters, granny flat, second unit, and others. An ADU is a residential unit with complete facilities for living—sleeping, bathing, eating, etc—that is typically smaller than the main home on the site. An ADU can be either attached or detached from the main home, but functions as a separate home. See also Junior Accessory Dwelling Unit.

**Affordable Housing:** According to the U.S. Department of Housing and Urban Development, housing is affordable when it doesn't cost more than 30 percent of a household's income. Levels of affordable housing are identified based on household income compared to the median household income for a similarly-sized household. See also Extremely Low Income, Very Low Income, Low Income, Moderate Income, and Above Moderate Income Household.

**Area Median Income (AMI):** Annual income surveys are completed for each area (such as Placer County) to determine the median income for households of different sizes. A median is the exact middle of a list of numbers. In 2020, for a four-person household in Placer County the AMI is \$80,100.

**Extremely Low Income Household:** This is a household earning 0 – 30 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means extremely low income 4-person households are earning less than \$25,100 annually.

**Fair Housing:** This is housing access free from unlawful discrimination, but also includes housing access issues which are the result of historic patterns of discrimination.

**General Plan:** Every jurisdiction in California is required to maintain a long-term development plan for the community, known as the General Plan. The General Plan addresses land use and sets standards and policies regarding diverse issues, including parks and recreation, circulation and traffic, open space resources, and others.

**Housing Constraint:** A housing constraint is any factor which inhibits the development of housing, and includes land use controls, fees, the cost of land, the cost of construction, and a host of other factors.

**Housing Element:** A required component of a General Plan, the Housing Element addresses a community's housing needs for all income levels and policies and programs to help facilitate and provide the needed housing.

**Housing Inventory:** The housing inventory is a list of all sites in a jurisdiction which can accommodate additional housing development in the future; it is not an inventory of existing built housing units.

**Junior Accessory Dwelling Unit (JADU):** Where an ADU must contain complete facilities and may be detached, a JADU may share certain facilities with the main home (such as the bathroom) and must be contained within the walls of the main home. The JADU is required to have an efficiency kitchen with countertops and food storage, and outlets for countertop appliances.

**Low Income:** This is a household earning 50 – 80 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means low income 4-person households are earning between \$40,051 and \$64,100 annually.

**Lower Income:** The lower income category combines all households earning less than the area median income, and includes extremely low, very low, and low income households.

**Moderate Income:** This is a household earning 80 – 120 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means moderate income 4-person households are earning between \$64,101 and \$96,100 annually.

**Regional Housing Needs Allocation (RHNA):** The RHNA is the number of units at each income level which a jurisdiction must plan for in its Housing Element.

**Regional Housing Needs Plan (RHNP):** The Regional Housing Needs Plan is prepared by the Sacramento Area Council of Governments and identifies the RHNA for each member jurisdiction.

**Supportive Housing:** This is long-term housing linked to on- or off-site services that helps residents who have struggled with homelessness, health-related issues, substance abuse or other issues. The purpose of this housing is to help the residents remain in housing, improve their health, and maximize their potential to live and work in the community.

**Very Low Income:** This is a household earning 30 – 50 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means extremely low income 4-person households are earning between \$25,101 and 40,050 annually.



## APPENDICES

### Appendix A Review of the Previous Housing Element

This component of the Housing Element examines goals, policies, implementation measures, and specific programs included in the 2013 Housing Element to determine their effectiveness.

#### FACTORS INFLUENCING HOUSING PRODUCTION OVER THE PRIOR PLANNING PERIOD

Housing is influenced by state and county growth rates, interest rates, employment levels, the national investment climate and other economic variables. Affordable housing challenges have resulted as the gap between housing costs and household income levels widen. Traditionally, housing costs throughout California have risen at a rate greater than household income levels.

The nation saw an unprecedented boom in housing prices that began in 1998 and continued until 2007. However, by 2008, the national economy and the housing market across the United States had undergone a dramatic turnaround. Due to the accessibility of credit and risky mortgage lending practices during the housing boom, the country saw insupportable home price inflation, and, subsequently, a rise in mortgage defaults and foreclosures nationwide, which led to an excess of available properties, and a tightening of the credit market.

As a consequence the City of Roseville along with the region, experienced a substantial slowdown in residential development in 2008 and a substantial drop in median home price through 2012.

A market recovery began in the 2012/2013 timeframe, with residential development and median home prices seeing steady year-on-year increases through the present time. Consequently, multiple affordable housing projects were successfully approved and developed during the previous Housing Element cycle. These projects relied on gap funding and support from the City to be developed, using the last of the City's remaining Redevelopment Agency funding.

However due to state legislation eliminating Redevelopment Agencies effective February 2012 no funding remains and the City will be challenged in the upcoming planning period to assist financially in the development of future affordable housing.

City of Roseville staff has determined that the goals, policies, implementation measures, and specific programs included in the 2013 Housing Element are appropriate and effective in providing sound housing and community development planning on a regional basis and for the City of Roseville. The City will continue to use these measures in an effective and efficient manner during the upcoming 2021–2029 Housing Element planning period. The City's aggressive affordable housing programs continue to use as many affordable housing tools as possible to help meet the goals it has established.

Unless otherwise specified, any program not implemented will continue to be an important potential source for affordable housing assistance and will remain in the Housing Element for possible future use. These programs may be implemented if the need for the program exists and sufficient resources are available.

The following is a summary of the City's progress in meeting priorities identified in the 2013 Housing Element:

Program	Accomplishments	Continue/Modify/Delete
<b>Affordable Housing</b>		
<b>1. Federal and State Programs</b> The City shall pursue and continue to participate in the following federal and state programs: [see below]	The City applied for HOME funds for the First Time Home Buyer and Owner-Occupied Housing Rehabilitation Programs in 2014 and was awarded \$1,000,000 to split between the two programs.  The First Time Home Buyer and Housing Rehabilitation programs were fully funded until the 2014 contract expired in November of 2017	Continue.
<b>Section 8 Housing Choice Vouchers (Federal)</b> The Section 8 Housing Choice Voucher Program is administered by the Roseville Housing Authority and	RHA is authorized to provide 735 households with HCV rental assistance. This total includes 75	Continue.

provides rental assistance to very low income households through direct payments to the property owner.

The Program is promoted on the City's website, and through Program brochures.

*(Policies 1, 2, and 5)*

vouchers allocated for non-elderly and disabled households (NED vouchers), which were awarded in October 2010, 65 Veterans Affairs Supportive Housing (VASH) vouchers used to house veteran households who were homeless or at risk of being homeless, and 33 Mainstream vouchers that assist households who have a non-elderly adult person with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless. Awards for new vouchers received are as follows:

Year	VASH	Mainstream
2014	10	0
2015	8	0
2016	8	0
2017	0	0
2018	9	14
2019	0	0
2020	30	19
Total	65	33

RHA was awarded its first VASH vouchers October 2014 and first Mainstream vouchers in 2018 and continues to request additional vouchers as HUD makes more available.

To be in compliance with HUD's regulations, the lease-up rate for a calendar year cannot exceed 100% of its allocation of vouchers (per voucher type), and the Housing Authority is required to be at-least 95% leased up for its voucher allocation or utilizing at least 95% of its annual budget authority.

Agencies leasing up at least 98% or more of its allocated vouchers can reach high-performing status. The following is a list of the percentage of allocated vouchers leased in previous years:

2013 - 97%

2014 - 98%

2015 - 99%

2016 - 97%

2017 - 96%

2018 - 93%

2019 - 90%

2020 (as of July 2020) - 92.1%

Although RHA's lease up is under the 95% requirement, RHA continues to meet HUD's program requirement for high-performing



Program	Accomplishments	Continue/Modify/Delete
	<p>status through 100% expenditure of its annual budget allocation for the program.</p> <p>The Roseville Housing Authority has been designated by HUD as a “High Performing Housing Authority” for the past fifteen years.</p>	
<p><b>Community Development Block Grant (Federal)</b>                      The City is an entitlement jurisdiction for Community Development Block Grant (CDBG) funds and sets aside a portion of its annual allocation of CDBG funds for the following housing activities:</p> <p><b><u>Housing Rehabilitation Program</u></b>                      The City began the Housing Rehabilitation Program in 1980. This program is considered a key component in the City’s affordable housing strategy as a means of preserving Roseville’s housing stock affordable to lower income households. The program, targeted to low income, owner-occupied households, offers grants to elderly and disabled households and deferred loans to all low income households for health and safety repairs and home improvements. Deferred loans become due and payable upon sale, change of title, change of use or 30 years. Any program income received as a result of a loan payoff is used to fund new loans and grants.</p> <p>The Housing Rehabilitation Program is promoted on the City’s website, through the use of Program brochures and largely word of mouth.</p> <p><b><u>Handyperson Program</u></b>                      The City initiated funding for the Handyperson Program in 1999 as a result of public input, which identified a need for such a program in Roseville. The Handyperson program provides grants to seniors in need of minor home repairs, such as installation of grab bars, repair of minor plumbing leaks, etc. The Program is administered by Seniors First. Senior homeowners may be referred to the Housing Rehabilitation Program for assistance if repairs exceed the scope of the Handyperson Program.</p> <p>The Handyperson Program is promoted on the City’s website, through the use of Program brochures and Senior Resource Guide for Placer County.</p> <p><b><u>Paint Program</u></b>                      The City began the Paint Program in 1995 which provides vouchers for exterior paint and materials to assist low income homeowners with property maintenance. The Program is administered by the City’s Housing Division and is promoted on the City’s website and through Program brochures.                      (Policies 1, 5, and 6)</p>	<p>Housing Rehabilitation Program: A total of 49 loans were issued from 2013 to present.</p> <p><u>Handyperson Program</u>: A total of 417 households were assisted from 2013 to 2016 when the program was unfunded</p> <p><u>Paint Program</u>: A total of 47 Paint Vouchers were issued from 2013 to 2017 when the program was rolled into the Owner-Occupied Rehab program.</p>	<p>Continue the Housing Rehabilitation Program.                      Delete the Handyperson Program and Paint Program, as these functions have been incorporated into the Rehabilitation Program.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>Home Investment Partnership Program (HOME) (State)</b>  The City began its participation in the State Administered HOME Program in 1994 for the creation and maintenance of affordable housing. The City utilizes HOME funds for the following Programs:</p> <p><b><u>Housing Rehabilitation Program</u></b>  The CDBG funds are leveraged with HOME funds to provide loans and grant to low-income homeowners. The Housing Rehabilitation Program is described above.</p> <p><b><u>First Time Home Buyer (FTHB) – Down Payment Assistance (DAP) Program</u></b>  The City sets aside a portion of its HOME grant for down payment assistance in the form of deferred, shared appreciation loans (second mortgages). The FTHB-DAP Program is targeted to low-income households. The homebuyer must qualify under the City’s definition of a first time homebuyer; be able to provide at least a 1% down payment; and have attended a Home Buyer’s Seminar. The buyer must also comply with the City’s criteria with regard to the home selection.</p> <p><b><u>Multifamily New Construction</u></b>  The City will pursue HOME funds for construction of multifamily affordable units. HOME funds are leveraged with other funding sources such as Section 202 funds, Low Income Housing Tax Credits, Tax Exempt Housing Bonds, etc. to provide affordable rental housing targeted to extremely low and very low income households.  <i>(Policies 1, 2, 5, and 6)</i></p>	<p>The City applied in 2014 for HOME funds and were able to fund both the First Time Home Buyer and Housing Rehabilitation programs.</p> <p>Through the Housing Rehabilitation Program, a total of 44 loans were issued from 2013 to present.</p> <p>From 2013 to 2017, 22 FTHB program loans were funded.</p>	<p>Combine with Program 1.</p>



Program	Accomplishments	Continue/Modify/Delete
<p><b>2. Density Bonus Program</b>  <i>(Ongoing: 2013–2021)</i></p> <p>The City shall continue to implement its Density Bonus Program to help promote and create affordable housing units. The program provides a property owner the ability to construct more income-producing units within the project that can offset the cost of providing affordable units. The Density Bonus Program is promoted on the City’s website, and information is available at the City’s Permit Center. The City’s Housing Division staff also actively promotes the Density Bonus Program in conjunction with implementation of the 10% Affordable Housing Program.</p> <p>The City’s Density Bonus Program is consistent with State Government Code Section 65915–65918. The Density Bonus Program provides for a minimum 20% to a maximum 35% density bonus in the maximum number of dwelling units, in addition to incentives and/or concessions. The concessions and/or incentives may include reduction in zoning standards, development standards, design requirements, mixed-use zoning, financial assistance, or any other incentive that would reduce costs of the developer.</p> <p>A developer may qualify for a density bonus and additional incentives and/or concessions if the developer agrees to construct and maintain a minimum of:</p> <ul style="list-style-type: none"> <li>• Ten percent (10%) of the units affordable to lower-income households;</li> <li>• Five percent (5%) of the units affordable to very low-income households; A senior housing development;</li> <li>• Ten percent (10%) of the units in a condominium project affordable to moderate-income households.</li> </ul> <p>The density bonus is increased on a sliding scale, depending on the type and number of affordable units, up to a maximum 35% density bonus. The number of concessions/incentives granted by the City also increases based on the number and type of affordable units to be constructed.</p> <p>The developer must enter into an Affordable Housing Agreement to secure the affordable units for a minimum of 30 years prior to issuance of building permits or prior to final map approval.  <i>(Policies 1, 2, and 4)</i></p>	<p>The City updated the Zoning Code to reflect changes to the Density Bonus Ordinance in 2008.</p> <p>Siena Apartments, a 156-unit, multi-family development, took advantage of a density bonus and received their Certificate of Occupancy in 2009.</p>	<p>Modified. The City’s Density Bonus Program was outdated and needed to be revised to be consistent with current state law. Rather than wait until after adoption of the 2021 Housing Element, the necessary Ordinance amendments were prepared and adopted in Spring 2021.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>3. Second Unit Ordinance</b> (Ongoing: 2008–2013)</p> <p>A second dwelling unit shall be as defined by Government Code Section 65852.2 and shall mean an attached or detached residential dwelling unit which provides complete independent living facilities for one (1) or more persons. It shall include permanent provisions for living, sleeping, eating, cooking and sanitation on the same parcel as the primary dwelling is situated. It also includes an efficiency unit and a manufactured home as defined in the Health and Safety Code.</p> <p>The floor area of the second dwelling unit for an attached unit shall not exceed 30% of the existing dwelling's living area. The floor area of the detached unit shall not exceed 1,200 square feet. Fees associated with the development of the second units are the same as those for new single family units. A second unit is permitted provided it complies with the applicable design and development standards identified in Chapter 19.60 of the Zoning Ordinance.</p> <p>The City currently supports and promotes the development of second units on the City's website and information is available at the City's Permit Center.</p> <p>(Policies 1, 2, and 9)</p>	<p>The City supports and promotes the accessory dwelling unit ordinance through the City's website and information is available at the City's Permit Center.</p> <p>The City has processed 46 second units since 2013.</p>	<p>Modified. The City's Accessory Dwelling Unit Ordinance has been updated multiple times to respond to changes in state law. The program in the Housing Element was revised to correctly reflect the City's existing Ordinance, which was updated in Spring 2021.</p>
<p><b>4. Condominium Conversion Ordinance</b> (Ongoing: 2008–2013)</p> <p>The City shall continue to enforce its Condominium Conversion Ordinance to define those conditions under which the conversion of rental units to condominiums would be permitted. Under the Ordinance, conversions cannot occur unless certain criteria is met, including: the City has established minimum City-wide vacancy rates for multifamily rental housing; a minimum percentage of multifamily rental units citywide; provision for affordable housing requirements and Community Benefit Fee; and tenant protections including a Tenant Relocation Plan, etc.</p> <p>If the conversion meets the required criteria, the developer must enter into an Affordable Housing Development Agreement to secure the affordable units provided as part of the conversion approval.</p> <p>(Policies 1, 2, 4, and 11)</p>	<p>There have not been any condominium conversions since 2008. Condominium conversions were popular statewide for a certain period, but over the last two decades interest has waned in suburban areas.</p>	<p>The City will continue to support this program.</p>
<p><b>5. Streamline Project Processing</b> (Ongoing: 2008–2013)</p> <p>To facilitate project approval and provide internal support to project applicants, the City established the Community Development Manager position within the Community Development Department. The Community Development Manager acts as a liaison between project applicants, development community, Chamber of Commerce and City staff to continually assess the City's existing project processing system and identify short-term and long-term areas for improvement of the plan check process.</p> <p>(Policies 1 and 2)</p>	<p>The Development Services Department implemented an Online Permitting Services (OPS) portal in 2018. OPS improves the delivery of permitting services for the City's internal and external customers by providing the following:</p> <ul style="list-style-type: none"> <li>• Internet access with a user friendly interface that is intuitive to the customer.</li> <li>• Online citizen access including online fee estimation, online permit submission, online permit tracking, online inspection</li> </ul>	<p>Modify to reflect the implementation of the OPS portal.</p>



Program	Accomplishments	Continue/Modify/Delete
	<p>scheduling, and permit management.</p> <ul style="list-style-type: none"> <li>• Single source for City permit tracking.</li> <li>• Enhancement of the reliability and consistency of development services while providing transparency of workflow to the customer.</li> <li>• Integrates with software systems supporting development with emphasis on the City's financial and GIS software.</li> </ul> <p>The City has created the Development Services Department to provide development services in a single location with a single point of contact for the customer. The organizational structure is developed around products delivered to the customer irrespective of current departmental lines of authority</p>	
<p><b>6. Review of Subdivision Improvement Standards and Zoning Ordinances</b>  <i>(Ongoing: 2008–2013)</i></p> <p>The City's intent is to ensure current standards represent the best means to achieve housing and other City objectives. The City, through the Public Works and Planning Divisions, shall continue to review and modify Subdivision Improvement Standards on an annual basis. Evaluation of the Zoning Ordinance occurs approximately every 2–5 years.</p> <p>Properly developed and updated standards can help reduce the costs of development while balancing basic environmental, health, safety and welfare needs.  <i>(Policies 1 and 2)</i></p>	<p>The City updated the Zoning Code in 2020 to address typos, errors and omissions; modify text for clarity and consistency and interpretation; and modify development processes to be consistent with the City's goals.</p>	<p>Modify. This program duplicates the program in the Governmental and Non-Governmental Constraints section so will be removed from this section.</p>
<p><b>7. Specific Plan Areas (SPA)</b>  <i>(Ongoing: 2013–2021)</i></p> <p>The City shall ensure that Specific Plans are consistent with the goals and policies of the General Plan. The primary purpose of the Specific Plan Area process is to guide the comprehensive urbanization of land use in a mix of residential neighborhoods, schools, parks, open spaces, supporting retail and public facilities, office uses, and an affordable housing component. The SPA's are the first step in implementing programs such as the 10% Affordable Housing Goal.</p> <p>Within each SPA, specific parcels are subject to certain affordable housing requirements. Agreements between the City and developers may include a variety of housing types, including mixed use, wherever applicable to help achieve the 10% Affordable Housing Goal.</p> <p>Specific Plans identify programs to meet the 10% Affordable Housing Goal. The type of units, targeted income categories, and parcel by parcel obligations</p>	<p>Since 2013, the City has approved the following Specific Plans:                      Amoruso Ranch Specific Plan (June 2016).</p>	<p>Continue.</p>

Program	Accomplishments	Continue/Modify/Delete
<p>are specified. Strategies, including City and landowner obligations, are described. A provision for the payment of in-lieu fees for affordable housing may be included, if appropriate. Development Agreements are utilized to secure implementation of the Affordable Housing Program. Projected subsidies and quantified objectives are outlined in Table X-8. Additional discussion regarding the City's SPA's is provided under the 10% Affordable Housing Goal in the Affordable Housing section of the Element.</p> <p><i>(Policies 1, 2, 3, 4, 8, and 10)</i></p>		
<p><b>8. Public/Private Partnerships</b> (Ongoing Roseville Specific Plan Process: 2013–2021)</p> <p>The provision of affordable housing is a societal goal, one that should be achieved through the efforts of the entire community. Within each of the adopted Specific Plans, the City has included a provision for a public/private partnership, between developers of housing and the City, to achieve the 10% Affordable Housing Goal. Roseville has identified the following specific roles in this partnership to provide affordable housing:</p> <p><b>City of Roseville</b> The City shall continue with an aggressive affordable housing program designed to maximize potential funds available through existing federal, state, and local programs. Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement. Prior to building permits being issued or recording of the final map, developers are required to enter into an Affordable Housing Development Agreement. The City of Roseville will assist all property owners in obtaining appropriate and available subsidies for construction of the affordable housing obligation. If adequate subsidies are unavailable, the affordable housing goal may be deferred to a later phase of the project to allow time to assemble the necessary financing.</p> <p><b>Development Community</b> Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement.</p> <p><i>(Policy 7)</i></p>	<p>Since 2008, the City has approved the following Specific Plans: Downtown (2009), Sierra Vista (May 2010), Westbrook Amendment to the Sierra Vista Specific Plan (March 2012), and Creekview Specific Plan (September 2012), and Amoruso Ranch Specific Plan (June 2016). All of these Specific Plans have included affordable housing units meeting the 10% requirement. Since 2013, the Amoruso Ranch Specific Plan included 283 affordable housing units and the Campus Oaks amendment to the HP Master Plan included 95 affordable housing units</p>	<p>Continue.</p>
<p><b>9. Affordable Housing Agreements</b> (Ongoing and Annual Monitoring: 2013–2021)</p> <p>The City shall require Affordable Housing Development Agreements for all housing projects subject to affordability requirements. Such agreements shall stipulate: 1) number of affordable units to be constructed; 2) the affordable purchase price or rental price; 3) the income group to whom the units will be affordable; and, 4) the length of time the units will remain affordable.</p> <p>Maximum rents and purchase prices will be</p>	<p>The City reviews all Affordable Housing Agreements for compliance with affordability provisions.</p> <p>Since 2013, the following multi-family complexes were completed and Agreements entered into:</p> <p>Pearl Creek Apartments – 23 units Campus Oaks Apartments Phase 1 – 42 units Lohse Apartments – 58 units Main Street Plaza – 65 units Campus Oaks Apartments Phase 2 – 45 units</p>	<p>Continue.</p>



Program	Accomplishments	Continue/Modify/Delete										
<p>determined based on unit size and occupancy levels as follows:</p> <table border="1" data-bbox="196 281 675 478"> <thead> <tr> <th>Unit Size</th> <th>Household Size</th> </tr> </thead> <tbody> <tr> <td>1 Bedroom</td> <td>1.5 Persons</td> </tr> <tr> <td>2 Bedroom</td> <td>3 Persons</td> </tr> <tr> <td>3 Bedrooms</td> <td>4.5 Persons</td> </tr> <tr> <td>4 Bedrooms</td> <td>6 Persons</td> </tr> </tbody> </table> <p>If adequate subsidies are not available to assist in achieving the 10% Affordable Housing Goal, the goal may be deferred to a future date agreed upon by the property owner and the City. Deferring the goal will give the City an opportunity to assemble the necessary financing.</p> <p>The City shall, on an annual basis, review all Developments Agreements for compliance with affordability provisions. Any property owner who fails to comply with the requirements of a Development Agreement may be found by the City Council to be in default of the Agreement.</p> <p><i>(Policies 1, 2, 3, 7, 9 and 10)</i></p>	Unit Size	Household Size	1 Bedroom	1.5 Persons	2 Bedroom	3 Persons	3 Bedrooms	4.5 Persons	4 Bedrooms	6 Persons		
Unit Size	Household Size											
1 Bedroom	1.5 Persons											
2 Bedroom	3 Persons											
3 Bedrooms	4.5 Persons											
4 Bedrooms	6 Persons											
<p><b>10. In-Lieu Fees</b> <i>(Available Development Funding Mechanism)</i></p> <p>The City prefers affordable housing be developed as specified under the 10% Affordable Housing Goal within each of the specific plan areas. The collection of in-lieu fees presents a challenge to the City, since the City does not control or own land to ensure the development of the affordable units. Therefore, the City has not established a formal in-lieu fee program and encourages the development of affordable housing. In-lieu fees may be considered on a case by case basis. In all cases where in-lieu fees are considered as an alternative to producing affordable units, the Housing Division staff will review the project based on: 1) a good faith effort by the owner to secure and utilize available subsidies; 2) the type of project and its ability to absorb the affordable units; 3) ability to use the in-lieu fees within the same specific plan or infill areas.</p> <p>Development Agreements shall be the mechanism utilized to secure implementation of the affordable housing program.</p> <p><i>(Policies 1, 2, and 3)</i></p>	<p>The City collects in-lieu fees for rezoned developments that provide purchase housing opportunities. Fees collected between 1/1/2013 and 1/31/21 equaled a total of \$1,036,410.53. The in lieu fee is used for rental housing opportunities, which are better suited than purchase housing for very low-income households. Funds collected during this time are part of the reservation of funds for the 80 affordable units at Junction Crossing project.</p>	<p>Continue.</p>										
<p><b>11. Non-Residential Construction Fee</b> <i>(Proposed)</i></p> <p>The City shall consider the establishment of a non-residential construction fee program, which would levy a fee on non-residential construction to assist in the development and retention of affordable housing. The rationale behind this fee is that new employment is a factor in the need for additional housing. The City expects to review the establishment of a non-residential construction fee by 2012–2013, at which time the City will determine if it will pursue a program and, if so, the specifics of the program.</p> <p><i>(Policy 7)</i></p>	<p>The City did not consider the establishment of a non-residential construction fee during the previous planning period, as the construction industry was just beginning to recover from a significant recession and additional fees were not being considered.</p>	<p>Modify. Work to establish a non-residential construction fee is ongoing at this time. The program is being modified to reflect that current status.</p>										

Program	Accomplishments	Continue/Modify/Delete
<p><b>12. Units at Risk</b></p> <p>As noted, the City does not have any projects at risk of conversion to market rate during the five year planning period of the Housing Element and subsequent five year planning period. However, the City has identified the following program for projects at risk of conversion in future years.</p> <ul style="list-style-type: none"> <li>• On an annual basis, the City will update its list of subsidized rental properties and identify those units at risk of converting to market rate units.</li> <li>• If the City identifies projects with affordable units at risk, the City will contact the owner regarding their interest in selling properties or maintaining the rental units as affordable.</li> <li>• The City will work with property owners to identify and apply for federal, state, and local subsidies to ensure the continued affordability of housing units.</li> <li>• The City will maintain a list of non-profit agencies interested in acquisition/rehabilitation of at risk units and inform them of the status of such units.</li> <li>• The City will work with non-profit agencies to identify and apply for federal, state, and local subsidies available to assist with providing funds for the acquisition and rehabilitation of at risk projects.</li> <li>• The City will make available to tenants of projects at risk of conversion, referral and contact information regarding tenant rights and conversion procedures, as well as information regarding other affordable housing opportunities within the City.</li> </ul>	<p>Both Colonial Village and Preserve at Creekside have units at risk of converting to market rate during this Housing Element cycle.</p>	<p>Modify to establish Preservation Coordinator and add additional program language.</p>
<p><b>13. Housing Successor Agency</b></p> <p>On 2/22/12 the City became the Housing Successor of the Former Redevelopment Agency and will be working with the Department of Finance, in order to approve 2 – 3 affordable rental housing projects which were slated for development, using 2006 Housing Bonds in the amount of \$5.5 million. After the expenditure of those funds, there will not be any further assistance for affordable housing development using Low/Moderate Income Housing Fund or bond funds generated through the former Redevelopment Agency's tax increment.</p>		
<b>Residential Land Inventory</b>		
<p><b>1. Monitor the City's Land Inventory</b> (Ongoing 2013–2021)</p> <p>The City will annually review its land inventory to ensure there is enough vacant residential land in the city to meet its RHNA allocation.</p>	<p>The City has reviewed the land inventory each time a new Specific Plan has been processed and maintained its allocation during the planning period.</p>	<p>Modify to provide continuous monitoring.</p>



Program	Accomplishments	Continue/Modify/Delete
<p><b>2. Downtown Specific Plan</b> (Ongoing 2013–2021) The City will implement the Downtown Specific Plan focusing on infill development, revitalization of older neighborhoods and commercial corridors, as well as encouraging the development of mixed use and high density residential units. The City offers various programs in the Downtown Specific Plan, which encourage and facilitate the development of high density and mixed use housing.</p>	<p>Three affordable residential developments have been approved in the Downtown Specific Plan since 2013. The Frederic Lohse Apartments (58 units, completed 2018), Junction Crossing Apartments (80 units, approved 2018), Main Street Plaza Apartments (65 units, under construction).</p>	<p>Revise to encompass the entire Infill designated area of the City.</p>
<p><b>Special Housing Needs</b></p>		
<p><b>1. Federal and State Programs</b> <i>(Annual Application)</i> The City shall pursue following state and federal sources that will assist the City in addressing the housing and supportive needs of special needs populations.</p> <p><b><u>Section 8 Housing Choice Voucher Program (Federal)</u></b> Administered by the Roseville Housing Authority, the Department of Housing and Urban Development (HUD) provides funding for rental subsidy payments for households earning 50% or less of the median income. <i>(Policy 1)</i></p> <p><b><u>Section 202 (Federal)</u></b> HUD provides long term, direct loans to private, non-profit sponsors to finance new construction of elderly and handicapped housing affordable to households earning 50% or less of the median income. The City will support applications by non-profit housing developers for Section 202 funding. <i>(Policy 1,2)</i></p> <p><b><u>HOME Investment Partnership Program (State)</u></b> The Housing Division utilizes State Administered Federal HOME funds for the First Time Homebuyer Program which provides down payment assistance to low-income first time homebuyers. The City's First Time Homebuyer Down Payment Assistance Program allows displaced homemakers to qualify as first time homebuyers. The City also uses HOME funds to leverage Community Development Block Grant funds for the Housing Rehabilitation Program described below. The City will pursue HOME funds for financing of affordable multifamily rental projects targeted to special needs groups such as seniors. <i>(Policies 1, 2, 3, 4)</i></p> <p><b><u>Community Development Block Grant (CDBG) (Federal)</u></b> The City will continue to set aside CDBG funds for the following programs which address the needs of special needs populations, including elderly, disabled and homeless individuals and families.</p> <p><b><u>Housing Rehabilitation Program</u></b> Deferred loans up to \$100,000 are available to low-income homeowners for health and safety repairs and general home improvements. Elderly and</p>	<p>The City applied in 2014 for HOME funds and was able to fund both the First Time Home Buyer and Housing Rehabilitation programs.</p> <p>Through the Housing Rehabilitation Program, a total of 44 loans were issued using HOME funds from 2013 to present. From 20013 to 2017, 22 FTHB program loans were funded.</p> <p>The Roseville Housing Authority issued the following number of vouchers during the designated year:</p> <ul style="list-style-type: none"> <li>• 2013: 117</li> <li>• 2014: 124</li> <li>• 2015: 95</li> <li>• 2016: 117</li> <li>• 2017: 122</li> <li>• 2018: 72</li> <li>• 2019: 129</li> <li>• 2020: 120</li> </ul> <p>Through the Housing Rehabilitation Program funded with both CDBG and HOME funds, a total of 76 loans were issued from 2013 to present.</p> <p><u>Handyperson Program:</u> A total of 417 households were assisted from 2013 2016. The program was unfunded in 2017.</p> <p><u>Paint Program:</u> A total of 47 Paint Vouchers were issued from 2013 to 2017. The program was rolled into the Owner-Occupied Rehab program in 2018.</p> <p>The following is a list of Public Services that have been funded since 2013:</p> <p><u>2013</u></p> <ul style="list-style-type: none"> <li>• Case Management and Temporary Assistance</li> <li>• The Gateway Resource Center</li> <li>• Youth Program Passport-Recreation Assistance</li> <li>• Case Management Services</li> </ul>	<p>Continue.</p>

disabled homeowners can also receive a \$5,000 grant for health and safety repairs.

**Roseville Handyperson Program**

The Roseville Handyperson Program provides grants to elderly and disabled homeowners for minor home repairs and handicapped accessible improvements.

**Public Service Funds**

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process.

*(Policies 1, 2,3, 4 and 5)*

- Domestic Violence Services Project
- Case Management Program
- Senior Nutrition Program
- BAGS Program

2014

- Senior Link – Information and Assistance
- SPARKS and Operation Swim
- Handyperson Program
- Supportive Housing Case Manager
- Transitional Housing for Families with Children
- Child and Family Therapy Program
- Roseville Victims' Services
- BAGS Program
- Case Management Temporary Rent/Utility and Transportation Assistance

2015

- Handyperson Program
- Child and Family Therapy Program
- Senior Nutrition Program
- BAGS Program
- Case Management Temporary Rent/Utility and Transportation Assistance
- Senior Link – Information and Referral Program

2016

- Transportation Services
- Case Management Services
- Handyperson Program
- Youth Swim Passport/Sparks
- Senior Nutrition Program
- Child and Family Therapy Program
- Roseville Victims' Services
- BAGS Program for Elderly and Disabled Adults
- Transitional Living for Homeless Families
- Emergency Homeless Shelter

2017

- Meals on Wheels
- Mental Health Clinician
- Emergency Overnight Homeless Shelter
- Roseville Victims' Services Project
- BAGS Program
- Family Mental Wellness Program



Program	Accomplishments	Continue/Modify/Delete
	<ul style="list-style-type: none"> <li>• Housing Supportive Services <u>2018</u></li> <li>• Meals on Wheels</li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Program</li> <li>• Family Mental Wellness Program</li> <li>• Housing Supportive Services <u>2019</u></li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Program</li> <li>• Family Mental Wellness Program</li> <li>• Meals on Wheels</li> <li>• Housing Supportive Services <u>2020</u></li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Food Home Delivery Program</li> <li>• Meals on Wheels</li> <li>• Fair Housing Services</li> <li>• Family Mental Wellness Program</li> <li>• Transitional Housing for Homeless Persons with Mental Illness</li> </ul>	
<p><b>2. Local Programs</b></p> <p>The City shall continue to utilize the following local financing programs to address the needs of special needs populations:</p> <p><b><u>Homeless Voucher Program</u></b></p> <p>The City Council has approved Roseville General Funds to assist Roseville homeless and those about to be homeless with grants up to \$1,500 for payment of past due rent, security deposits, first month's rent, past due utility bills, and emergency motel vouchers. The Salvation Army administers the Program and provides dollar for dollar matching funds. The program is promoted by the Salvation Army and by referrals from local non-profit organizations and/or advocates for the homeless. (<i>Policy 5</i>)</p> <p><b><u>Roseville Community Grant Funds</u></b></p> <p>The City has established the following community grants. The Grants Advisory Commission reviews grant applications and makes grant recommendations on an annual basis to the City Council.</p> <ul style="list-style-type: none"> <li>• <u>Citizens' Benefit Fund</u> - The Citizens' Benefit Fund utilizes interest payments on funds received from</li> </ul>	<p>From 2013 to 2021, 1,010 households were assisted as part of the Homeless Voucher Program.</p> <p>From 2013 to 2020, the City provided \$2,778,284 in funds between the Citizens' Benefit Trust and the REACH Fund.</p>	<p>Continue.</p>

Program	Accomplishments	Continue/Modify/Delete
<p>the sale of the City-owned Roseville Community Hospital to provide grants of up to \$30,000 to public agencies, schools and non-profit organizations serving citizens of Roseville are eligible to apply “to improve the quality of life for the citizens of Roseville.”</p> <ul style="list-style-type: none"> <li>• <b>REACH Fund</b> - The REACH FUND utilizes contributions by Roseville City employees, retirees and businesses to provide grants up to \$7,500 to public agencies, schools, and non-profit organizations that assist youth, families or seniors in Placer County.</li> </ul> <p><i>(Policies 2 and 5)</i></p>		
<p><b>3. Regional Housing Programs</b></p> <p>When feasible the City will address affordable housing issues on a regional basis.</p> <p><b>McKinney-Vento Act Funds</b></p> <p>The City’s Housing Division will continue to participate in the Placer Consortium on Homelessness with other jurisdictions, local organizations and service providers to establish and promote a network of facilities and resources to assist the homeless population and other special needs populations. The City will continue to participate in the preparation of the Placer County Continuum of Care annual application for McKinney-Vento Act funds.</p> <p><i>(Policy 5)</i></p>	<p>From 2008 to 2012, 916 households were assisted using Homeless Emergency Assistance and Rapid Transition to Housing Act Funds</p> <p>The Homeless Emergency Assistance and Rapid Transition to Housing Act (HEARTH) of 2009 amended the McKinney-Vento Homeless Assistance Act</p>	<p>Continue.</p>
<p><b>Governmental and Non-Governmental Constraints to Housing Production</b></p>		
<p><b>1. Process and Fee Structure Review</b></p> <p>Permit Process – To expedite project facilitation and provide internal support to project applicants, the City established the Development Advisory Committee to function as a liaison building relationships between the City and development community, providing input into delivery of development services, cost of services, construction standards, development impact fees, and other development service policy areas.</p> <p>Fee Structure – The City will continue to review its fee system and work toward graduated fees as a means of reducing the cost of housing development.</p> <p>Development Services Department will work with the Development advisory committee.</p> <p><i>(Policy 1)</i></p>	<p>The City reviews the permit process and fee structure on an annual basis. Fees are updated annually. The City’s fee booklet and calculation worksheets are available online. Certain fees—particularly those supporting services that vary depending on building size and type—are graduated. This includes the building permit fee, which is based on a combination of square footage and occupancy group (valuation), and the public facilities fee, water connection fee, electric backbone fee, solid waste impact fee, and traffic mitigation fee, which are based on type and density of residential housing (the fee is reduced as density increases).</p> <p>In September of 2010 the City created a Development Advisory Committee (now known as the Economic Development Advisory Committee). Its purpose is to provide a forum for the public and staff to introduce and discuss suggestions, comments, and concerns regarding the City’s development services function. The Committee functions as a liaison</p>	<p>Continue.</p>



Program	Accomplishments	Continue/Modify/Delete
	<p>building relationships between the City and development community to foster and support development investment.</p> <p>The Committee adopts a five-year plan to focus their efforts, called the Economic Development Strategy (EDS). The 2017 to 2022 EDS was adopted in 2017 and includes implementation of the City's fee deferral program as a key action. Fees which can be deferred include the Fire Construction Tax, Public Facilities Fee, Traffic Mitigation Fee, and Electric Backbone Fee.</p>	
<p><b>2. Review of Subdivision Improvement Standards and Zoning Ordinances</b></p> <p>The City will continue to review the Subdivision Improvement Standards and Ordinances. <i>(Policy 2)</i></p>	<p>The City has not made any changes to the subdivision improvement standards. The City updated the Zoning Ordinance in 2020 to address typos, errors and omissions; modify text for clarity and consistency and interpretation; and modify development processes to be consistent with the City's goals.</p>	<p>Modify to include the purpose of the review.</p>
<p><b>3. Public Education Program</b></p> <p>The City will continue to educate its citizens regarding the necessity of providing the affordable housing needed to support the job growth occurring in Roseville. Specifically, this information will focus on the need to provide affordable housing in close proximity to jobs in an effort to reduce the traffic and air quality impacts that result from long commutes. In addition, the City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions. Education will occur through public hearings, presentations to various service organizations, and other community groups, articles published in the local newspaper, the City's newsletter. <i>(Policy 3)</i></p>	<p>The City has continued to educate the public at neighborhood meetings involving rezones and at neighborhood association meetings, as well as during the rezone process.</p>	<p>Modify to reflect an emphasis on equity and establish an evaluation component.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>4. Public Participation</b></p> <p>The Planning Division will continue to encourage developers to meet with interested parties before the public decision making process begins. Preliminary neighborhood forums allow persons directly affected by the project to have their questions and concerns addressed early in the planning process. (Policy 3)</p>	<p>The City meets with developers on a daily basis. For specific plans, the City has standing biweekly staff meetings and weekly technical meetings.</p> <p>The public has many opportunities to be notified of proposed development projects including:</p> <ul style="list-style-type: none"> <li>• Uploading initial notices that an application was received to the Roseville Coalition of Neighborhood Associations (RCONA) website.</li> <li>• Maintenance of the City's Development Activity website, which includes a list of all new applications received during the previous week, a description of all active development proposals in the City, and interactive maps displaying the location of current and upcoming construction in the City.</li> <li>• Maintenance of the City's Planning Projects of Interest website, where project details and documents are uploaded for projects generating significant community interest.</li> <li>• Maintenance of the City's Online Permitting Services portal, which allows the public to look up documents and details for all active applications in the City.</li> <li>• For General Plan Amendments, physically posting a notice of the project application on the project site.</li> <li>• Encouraging applicants to hold neighborhood meetings before the public decision-making process begins. Preliminary neighborhood forums allow persons directly affected by the project to have their questions and concerns addressed early in the planning process.</li> <li>• Uploading public hearing notices and notices of intent to approve a project to the RCONA website, in addition to the direct mailing of such notices to properties within 300 feet of the project.</li> </ul>	<p>Modify to include the various ways the public is notified of projects.</p>
<p><b>5. Fair Housing</b> (Ongoing 2013–2021)</p> <p>The City will continue to provide assistance regarding equal housing opportunities through its Housing Division and Housing Authority.</p> <p>The City of Roseville will continue its collaborative Housing Education Campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners,</p>	<p>The City continues to provide Fair Housing Counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Legal Services of Northern California through the City's Fair Housing Education Program.</p>	<p>Modify by moving this program into the Special Housing Needs section (which is being renamed Equitable and Inclusive Housing Choice) and completely updating. Also add and track quantified objectives, to better evaluate success over time.</p>



Program	Accomplishments	Continue/Modify/Delete
<p>and tenants, with counseling provided by Legal Services of Northern California through the City's Fair Housing Education Program.</p> <p>In addition to the provision of workshops and one-on-one counseling, the City's website includes fair housing information and referral service data with links to other Fair housing resources.</p>		
<b>Residential Energy Efficiency and Conservation</b>		
<p><b>1. Roseville Electric Program Peak Load Management Program</b> (Current Available Program)</p> <p>Roseville Electric will continue to implement the peak load management program. This program cycles off customer equipment when City load approaches its resource limits. (Policy 1)</p> <p><b>Energy Audits</b> (Current Available Program)</p> <p>Roseville Electric will continue to offer energy audits to aid the customers in reducing home energy costs. In addition to free mail-in and web-based customer assisted energy audits, at the customer's request, a trained energy auditor will inspect residences and advise the best way to achieve energy efficiency and save money. Roseville Electric will also offer web site or mail in energy audits. The audit includes a utility bill analysis to show the customer where the energy is being used. Also included are suggested low and no cost conservation practices and an analysis of recommended conservation measures. (Policies 1 and 2)</p>	<p>3,300 customers are currently enrolled in the Power Partners program.</p> <p>Over 38,000 households receive Home Energy Reports and all Roseville Residents have access to the online energy audit tools provided by Roseville Electric.</p>	Continue.
<p><b>Energy Efficiency Rebates and Renewable Energy Rebates</b> (Current Available Program)</p> <p>Roseville Electric will continue to offer rebates to all electric customers who install or upgrade their homes with energy efficiency appliances and equipment. Examples include energy efficient air conditioners, programmable thermostats, sunscreens, energy efficient windows, floors, and attic insulation and renewable energy systems such as photovoltaics. (Policies 1 and 2)</p>	Over 3,300 residents participated in retrofit energy efficiency programs in fiscal year 2020.	Continue energy efficiency rebates.
<p><b>Electric Rate Assistance Programs</b>(Current Available Program)</p> <p>Roseville Electric offers a discount to residential customers whose income is no greater than specified by the US Department of Housing and Urban Development as "very low" for Placer County. Roseville Electric also offers Medical Support Rate Reductions for customers who have medical devices in their homes.</p> <p>Roseville Electric closed the Senior Low-Income Rate Reduction to new applicants effective July 1, 1998. Electric customers receiving the Senior Low-Income Rate may either continue receiving the senior discount or apply for the Electric Rate Assistance Program discount. (Policy 3)</p>	Currently, Roseville Electric is assisting 1700 households with the Electric Rate Assistance programs.	Continue.
<b>Roseville Utility Exploration Center</b>	This program is still in operation and is working with local schools to	Continue.

Program	Accomplishments	Continue/Modify/Delete
<p><i>(Current Available Program)</i>  Roseville's Utility Exploration Center is an interdepartmental project spearheaded by Roseville Electric and the Environmental Utilities Department with support from the Parks, Recreation and Libraries Department and City Manager's Office. The Exploration Center is a key component of the site and will be a one-of-a-kind center offering an exciting new take on preserving our natural resources and protecting our environment through new technologies and conservation measures in energy efficiency, water conservation, recycling, and water quality and environmentally sustainable building materials making the center an exhibit in itself. When completed, the Exploration Center will offer children and adults fun and interactive tools for learning</p>	<p>provide state recognized education on environmental awareness and sustainability.</p>	
<p><b>Green Roseville</b>  <i>(Ongoing)</i>  Green Roseville offers residential and commercial customers a way to contribute to Roseville Electric's purchase of renewable energy. The minimum amounts of renewables that must be purchased by Roseville Electric are set by state law.</p>	<p>This program changed to allow customers to contribute to Roseville Electric's efforts to include a set percentage of renewable resources in the utility's overall portfolio. The percentage is set by state law.</p>	<p>Delete. Roseville Electric now has a Community Solar program.</p>
<p><b>BEST Homes Project</b>  <i>(Project)</i>  The BEST Homes Project incorporates rooftop solar generation, as well as other energy-saving features in up to 20% of new homes built in Roseville. Partnership with Lennar resulted in the company's commitment to build 635 new BEST homes in Roseville.</p>	<p>Builders have included solar systems on over 860 homes through the BEST Homes program.</p>	<p>Delete. Solar is now required by the building code.</p>
<p><b>2. New Construction Efficiency</b>  <i>(Routine Daily Operation)</i>  The Roseville Building Department will continue to enforce Title 24 of the Building Code. Title 24 is the state residential energy conservation standard, which defines construction standards for energy requirements to promote energy efficiency and conservation.  <i>(Policy 1)</i></p>	<p>Roseville Electric provides incentives to home builders who design and build homes that exceed state building standards.</p>	<p>Continue.</p>



## Appendix B Regional Analysis of Impediments (Fair Housing)

The Analysis of Impediments to Fair Housing Choice is a planning process for local governments and public housing agencies to understand and take meaningful actions to overcome historic patterns of segregation, promote fair housing choice, and foster inclusive communities free from discrimination. The 2020 Analysis of Impediments was completed by the Sacramento Valley Fair Housing Collaborative, consisting of the agencies listed below:

- City of Citrus Heights
- City of Davis
- City of Elk Grove
- City of Folsom
- City of Galt
- City of Isleton
- City of Rancho Cordova
- City of Rocklin
- City of Roseville
- City of Sacramento
- Housing Authority of Sacramento
- Sacramento County
- Sacramento County Housing and Redevelopment Agency
- City of West Sacramento
- City of Woodland
- Yolo County Housing

A copy of the entire Analysis of Impediments is available for review online on the City's Housing Element website at [https://www.roseville.ca.us/housing\\_element\\_update](https://www.roseville.ca.us/housing_element_update), on the Documents page. The direct link to the document is:

[https://www.roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Development%20Services/Planning/Housing%20Element%202021-2029/Sacramento%20Valley%20Analysis%20of%20Impediments%202020.pdf](https://www.roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Development%20Services/Planning/Housing%20Element%202021-2029/Sacramento%20Valley%20Analysis%20of%20Impediments%202020.pdf).

## Appendix C Detailed Sites Inventory









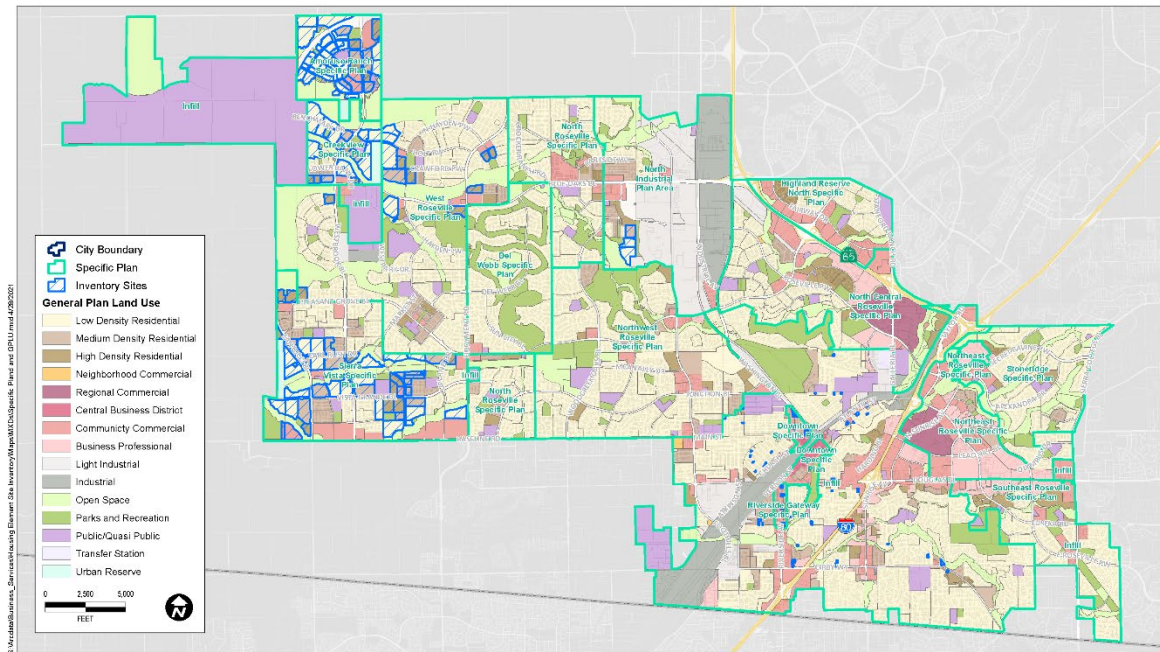
**Table C: Land Use, Table Starts in A2**

<p style="text-align: center;"><b>Zoning Designation (From Table A, Column G)</b></p>	<p style="text-align: center;"><b>General Land Uses Allowed</b></p>
Small Lot Residential	Detached or attached single-family dwellings
Single-Family Residential	Detached single-family dwellings, halfplex
Two-Family Residential	Two dwellings per lot, detached or attached
Multi-Family Residential	Three or more dwellings per lot, attached or detached
Commercial Mixed Use	Retail, restaurant, other typical commercial, residential
Old Town Historic District	Historic district guidelines for development
Planned Development-66	Multi-Family Residential-20
Neighborhood Commercial	Retail, personal service, neighborhood-serving uses
General Commercial	Service or heavy commercial character uses,
Development Standards	Establishes project-specific standards (e.g. setbacks); does not establish use.
Special Area	Use established by base zone; SA establishes design
Special Area-Downtown Specific Plan	Neighborhood commercial, office, multi-family
Special Area-Riverside Gateway Specific Plan	Use established by base zone; SA establishes design

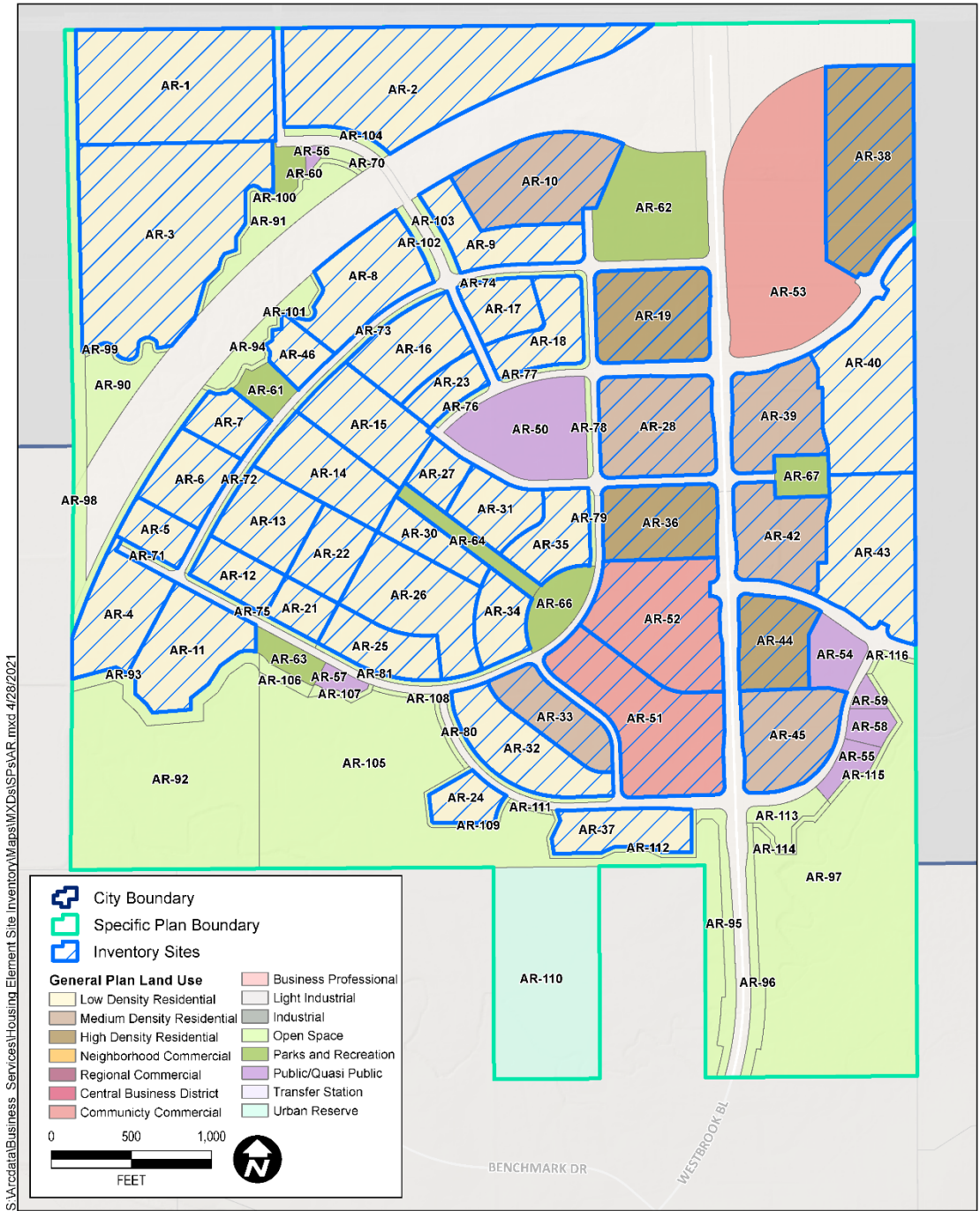


# Appendix D Maps of Sites Inventory

## Map 1: Citywide

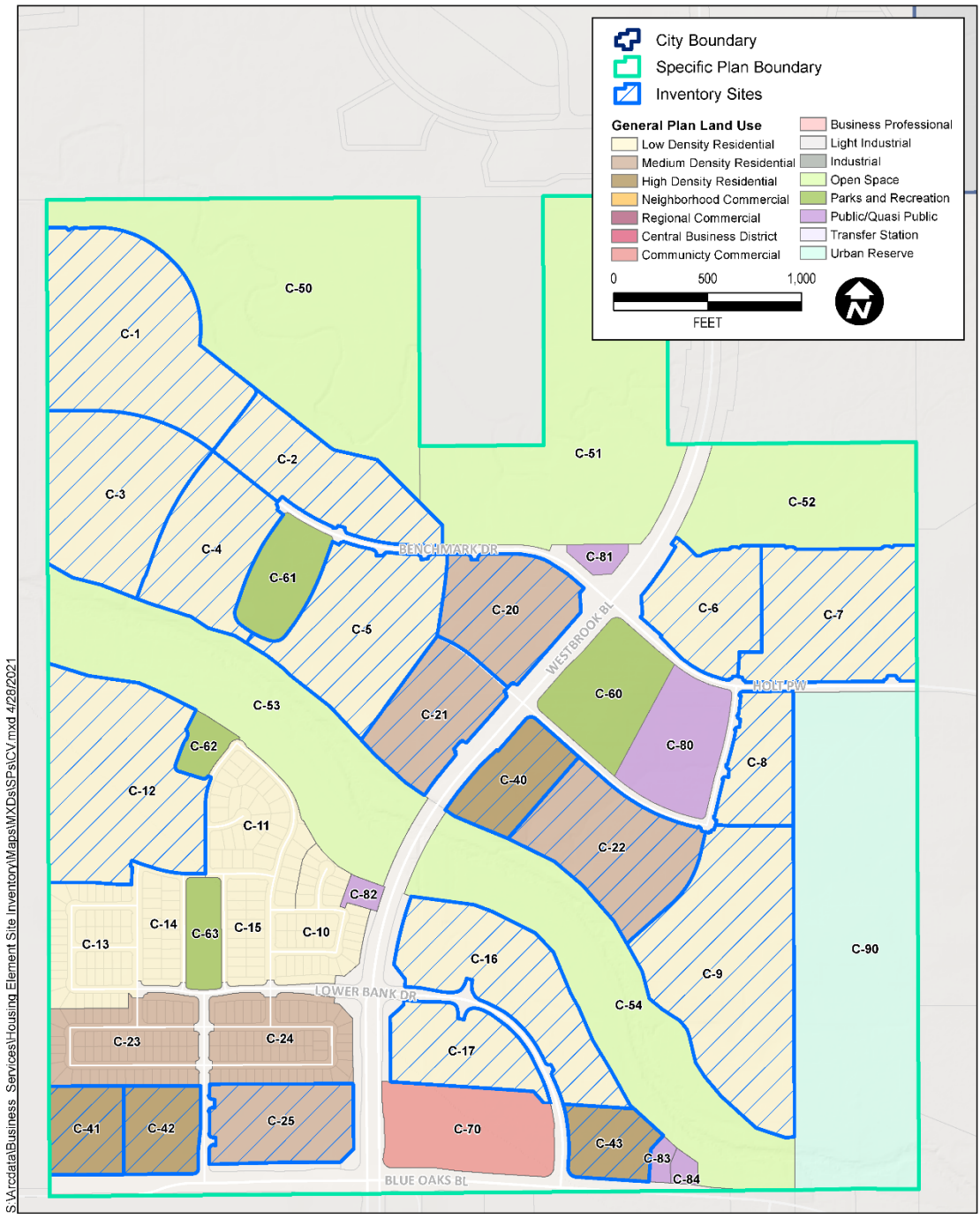


## Map 2: Amoruso Ranch (AR)



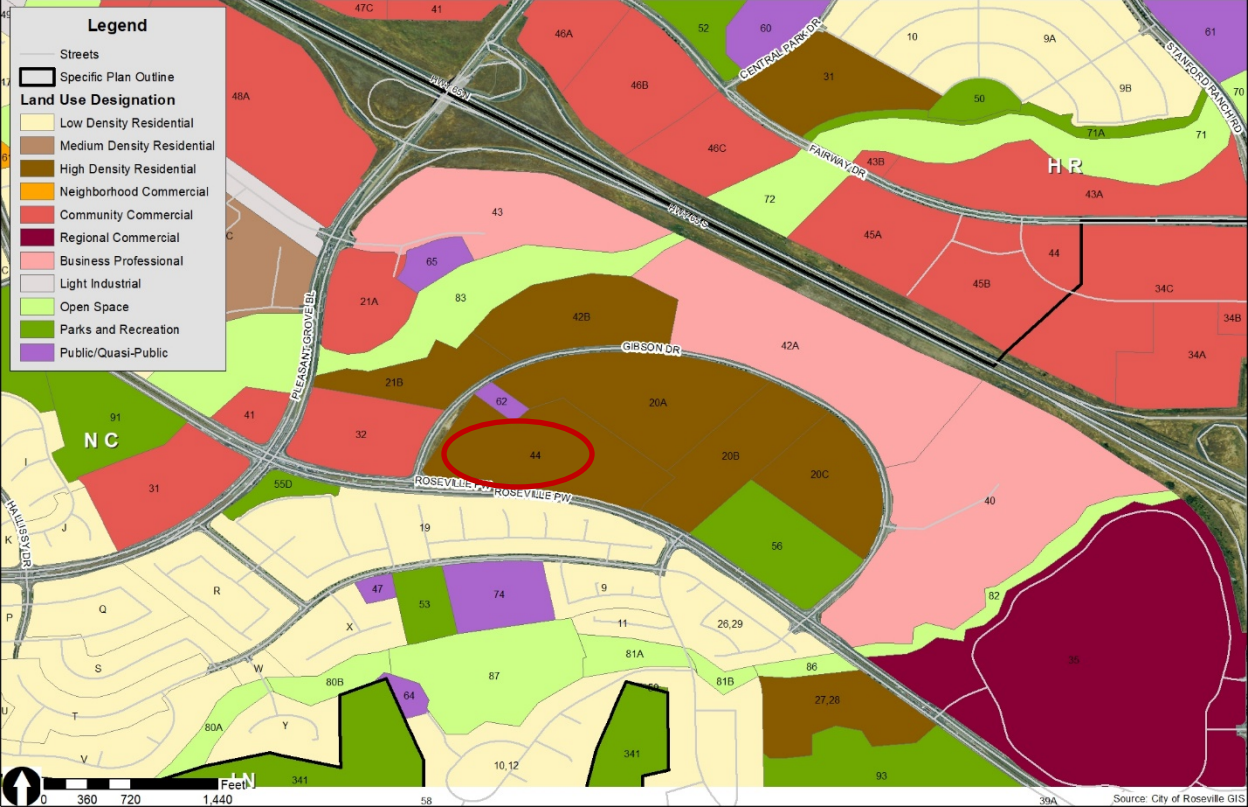


Map 3: Creekview (CV)



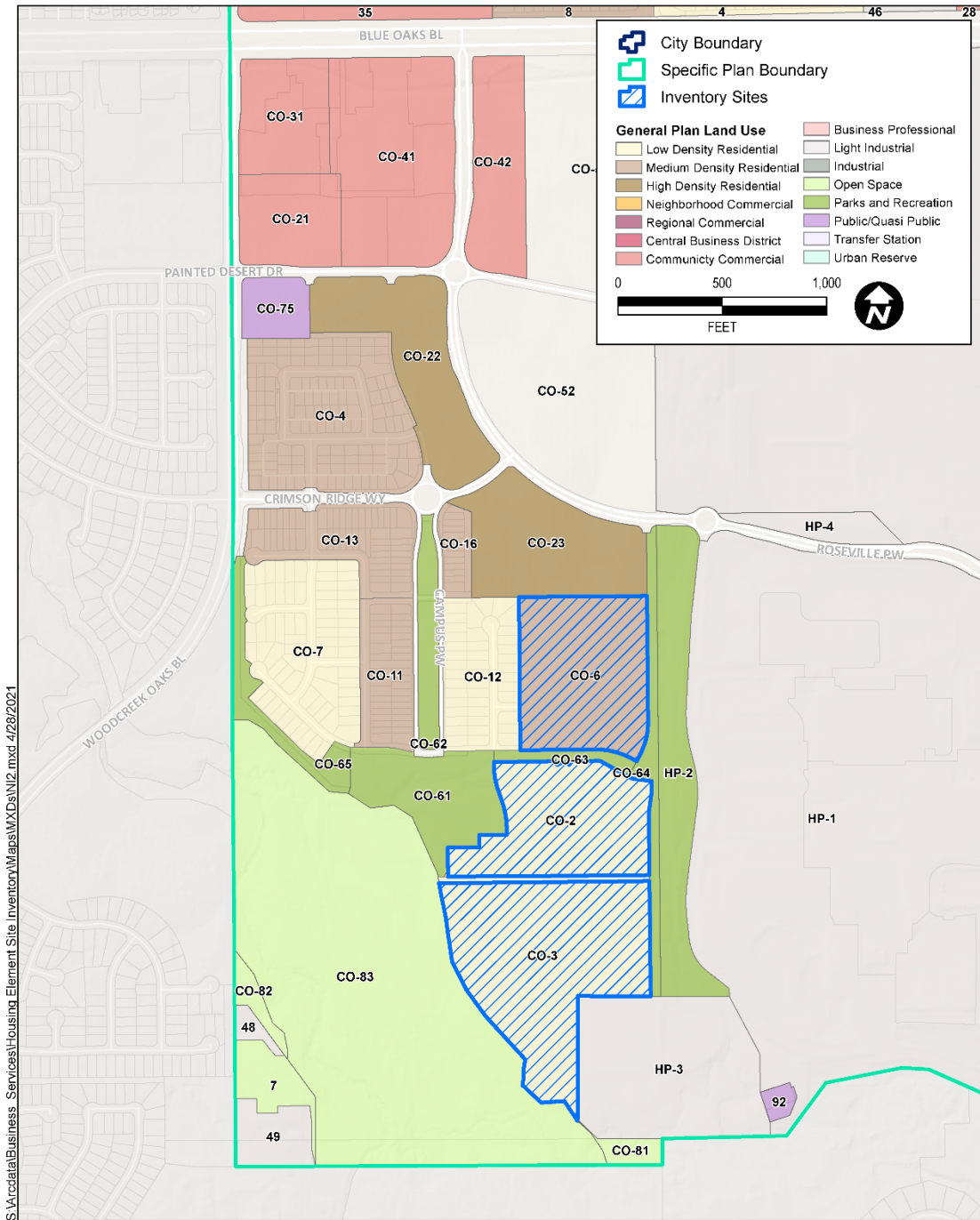
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Map 4: North Central Roseville (NC), Parcel 44

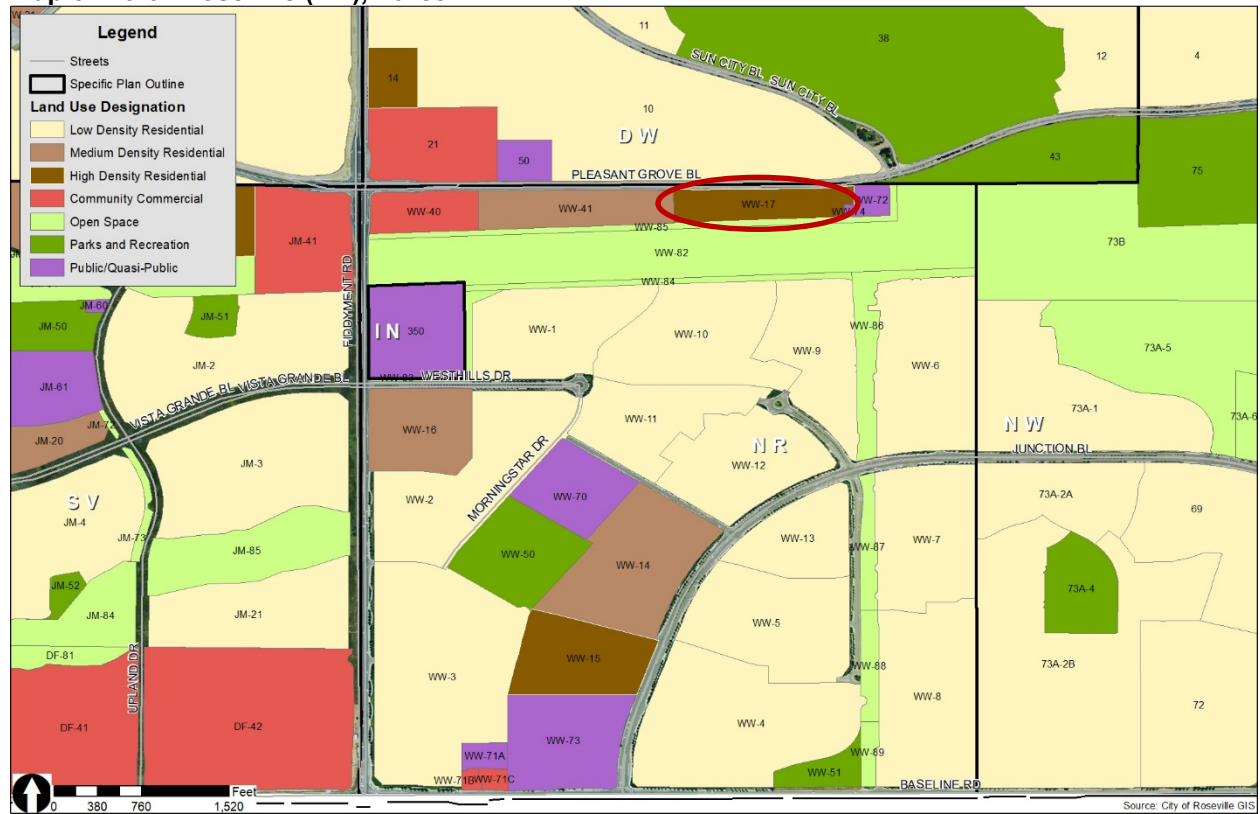




Map 5: North Industrial (NI)

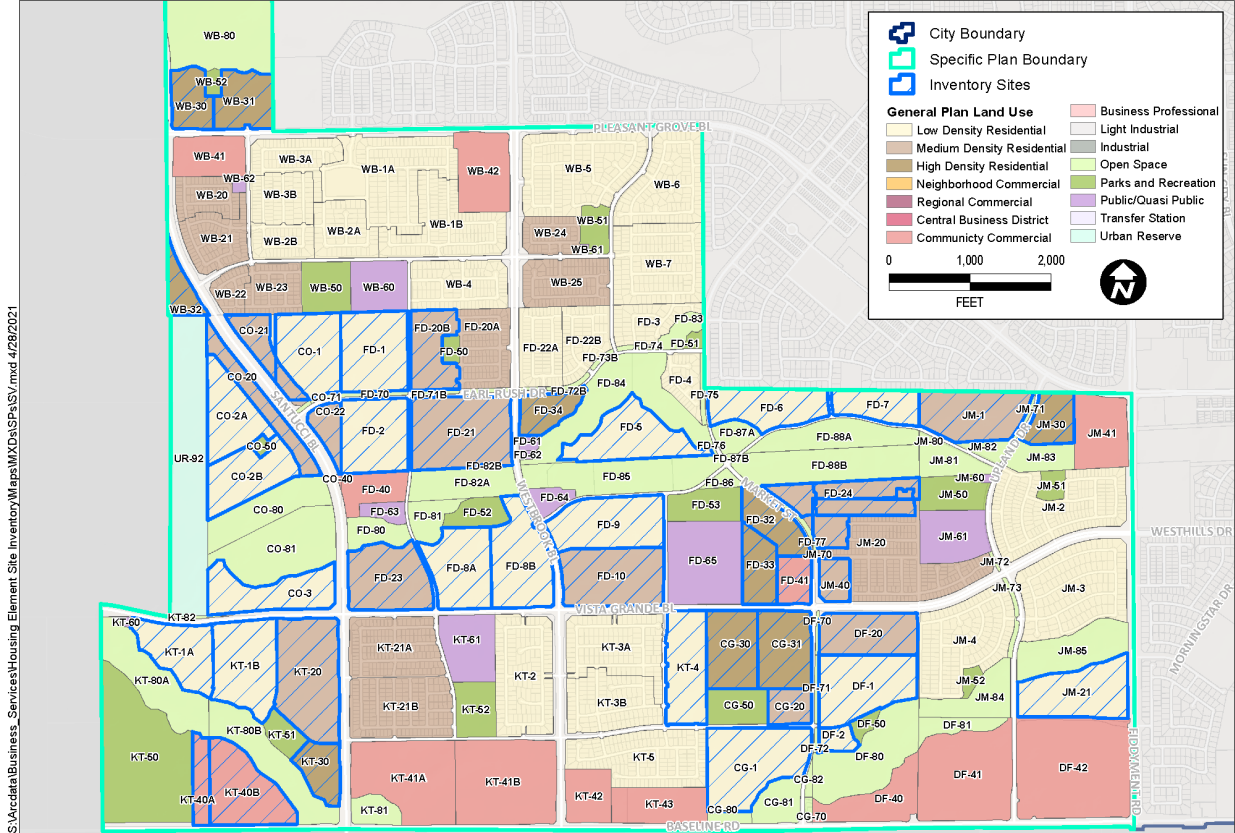


**Map 6: North Roseville (NR), Parcel WW-17**



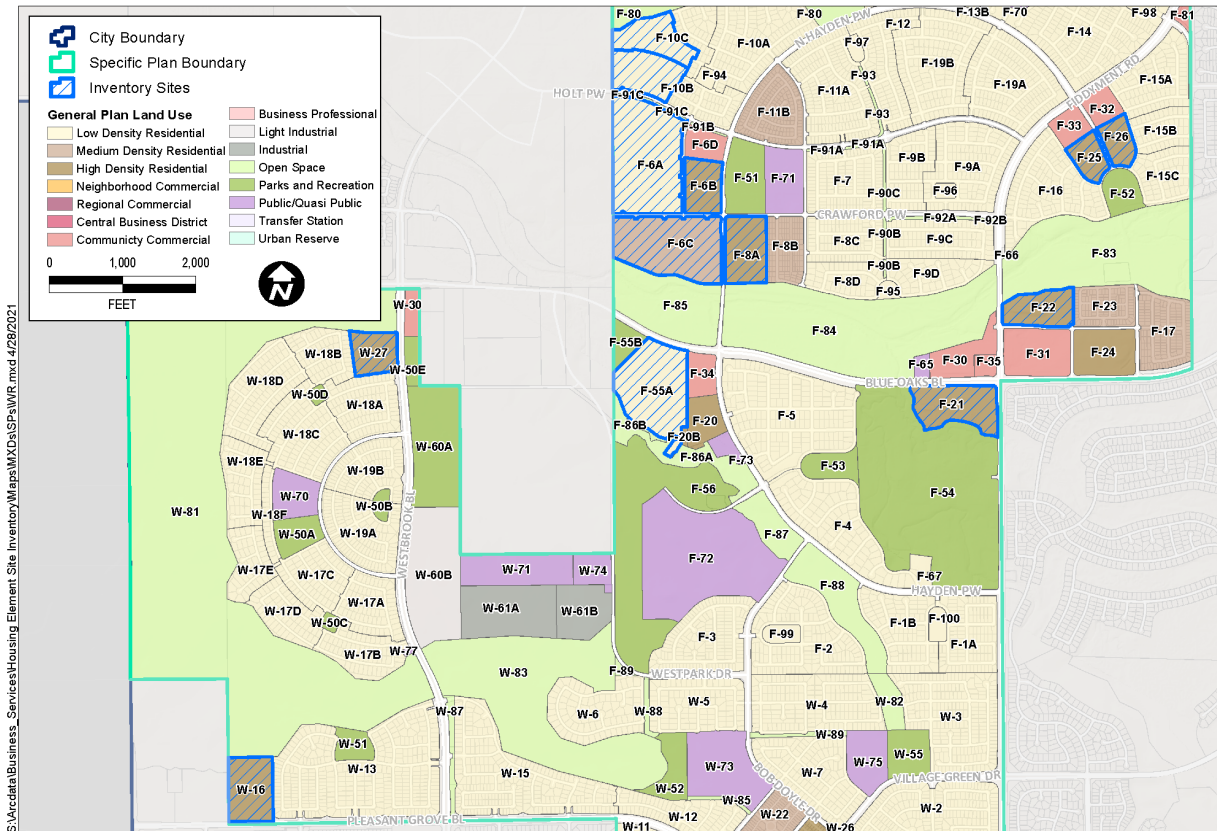


Map 7: Sierra Vista (SV)



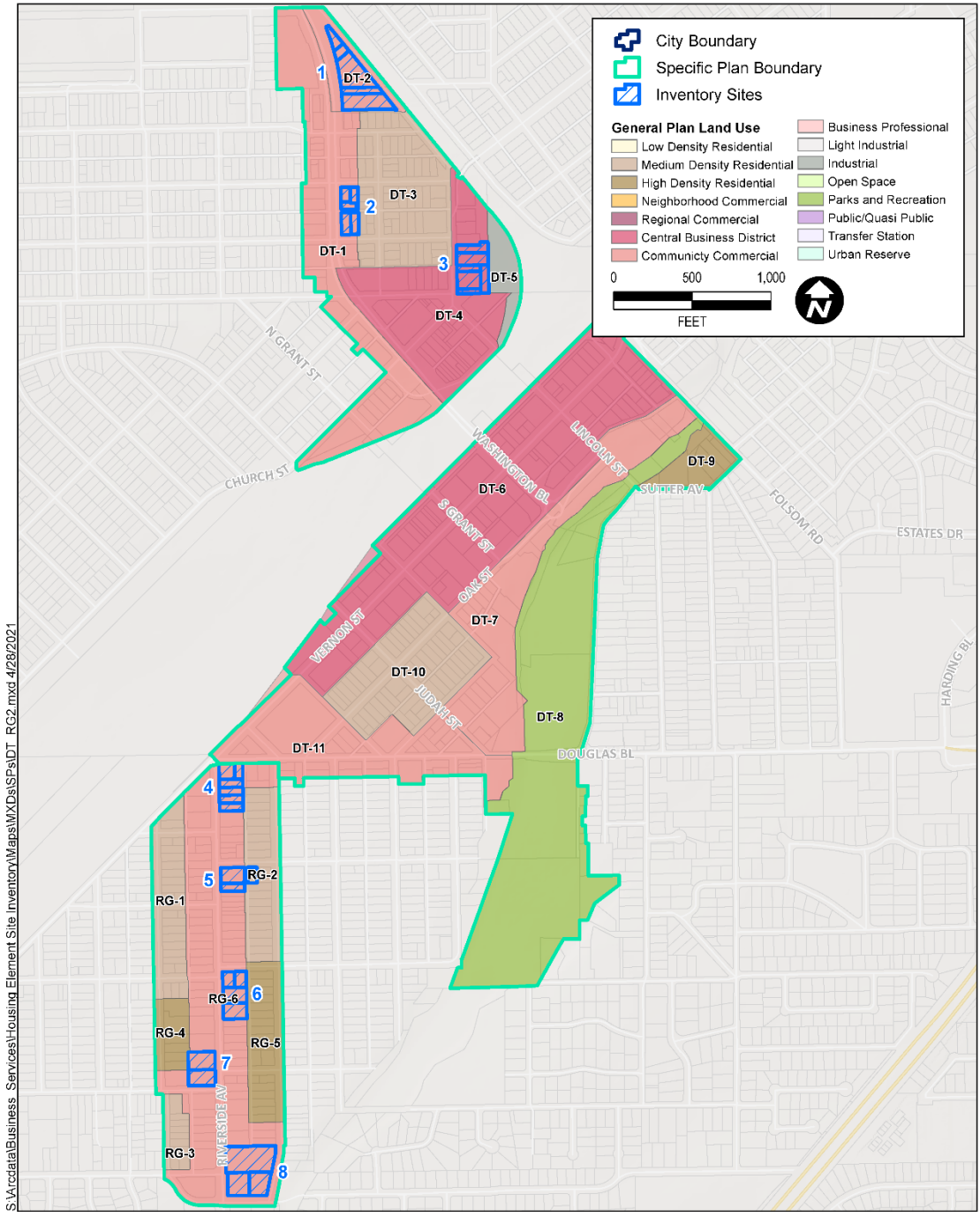
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# Map 8: West Roseville (WR)



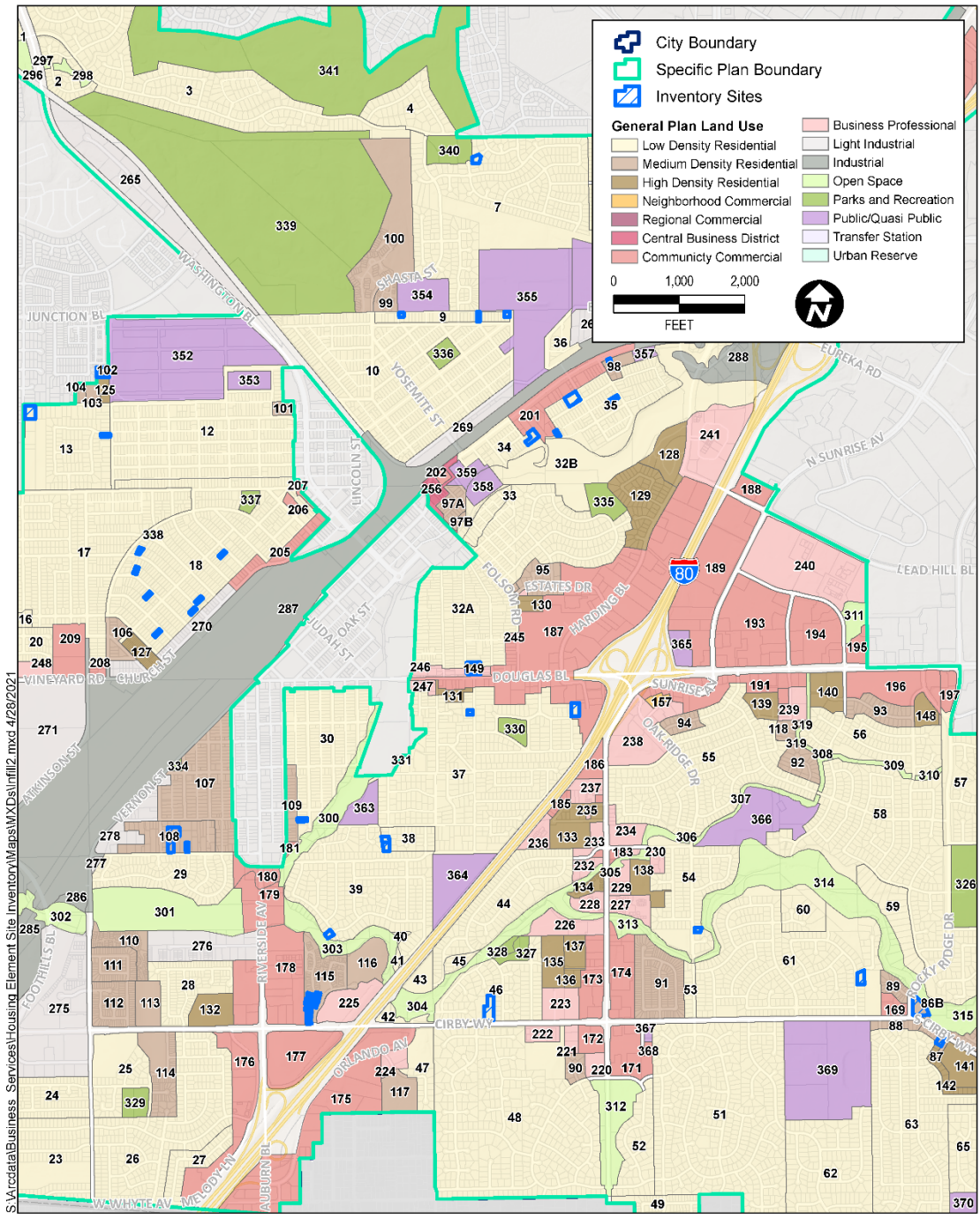


Map 9: Downtown and Riverside Gateway



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Map 10: Infill



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## Appendix E Rezone Program

### COMMERCIAL CORRIDORS

#### Development Standards and Regulatory Incentives

Each Commercial Corridor will include development standards and regulatory incentives to encourage pedestrian-friendly design, public amenities, streetscape beautification, appropriate parking, access to transit, flexible and mixed uses, and affordable housing. Regulatory incentives are envisioned to include reduced standards for on-site parking, park dedication, park in-lieu fees, and streamlined entitlement and development processes. Standards included in the City's existing Downtown Specific Plan which are anticipated within the Commercial Corridor Specific Plans include:

- **Parking:** Off-street parking requirements reduced to a 1:500 ratio for the majority of uses, public parking may be used to satisfy private off-street parking requirements, on-street parking credit is available, parcel aggregation credit is granted when consolidating parcels; permitted uses rehabilitating existing buildings do not require off-street parking when a discretionary action is not required.
- **Fees:** No park land dedication fees or in lieu fees are required for new residential units and a reduced parking in-lieu fee is available for projects to meet off-street parking obligations
- **Process:** An Administrative Design Review Permit (Administrative DRP) is available in lieu of the Design Review Permit process (DRP). The Administrative DRP is a staff-level process with a flat fee of \$219, while a DRP requires a public hearing, is billed on a time-and-materials basis, and requires a deposit of \$8,000 (based on fees for the 20/21 fiscal year). The Administrative DRP process represents a significant time and cost savings.
- **Design Amenities:** Providing art in public spaces allows for a 10% decrease in required parking (five spaces maximum).

Within the Commercial Corridors use of the Residential Mixed Use and Commercial Mixed Use zones is anticipated. The City's Residential Mixed Use (RMU) zone is intended to allow either attached or detached residential dwellings, as well as other compatible land use types. Residential conversions to live-work spaces, where the homeowner may maintain an office and living space, is also a compatible use. This zone will be combined with the City's High Density Residential (HDR) land use. The HDR land use designation is defined as housing with a minimum density of 13 units per acre, but each HDR site is also assigned a maximum density (e.g. HDR-20 is capped at 20 units per acre). However, to provide flexibility in the Commercial Corridors the City does not envision applying a maximum density.

The City's Commercial Mixed Use (CMU) zone is intended to promote a variety of commercial and higher intensity residential uses and the flexible siting of other uses that are typically considered to be compatible with commercial development. It is the intent of the CMU zoning district to establish a mix of uses to ensure that commercial and higher intensity residential uses will be successfully integrated into desirable, cohesive mixed use districts. The CMU zone will allow existing underused commercial properties to be redeveloped with residential uses without the need to amend the land use or zoning designations.

#### Atlantic Street Corridor

As shown in Figure X-29, below, the majority of this planning area has a land use designation of Low Density Residential (LDR). However, substantial portions have a zoning designation of Attached Housing (R3) and many of the properties in this area have multiple dwelling units on each parcel of land. This zoning inconsistency also occurs for the areas with a Medium Density Residential land use designation, where the property has a zoning designation of R3, Two-Family, or General Commercial. This Specific Plan is envisioned to include the following (also see Figure X-30):

- Community Commercial land use and Commercial Mixed Use zoning designation for the existing commercial properties on the Atlantic Street frontage.
- High Density Residential land use and Attached Housing zoning designation for the residential property along the Atlantic Street frontage, for the land immediately behind the commercial properties, and for the land between Folsom Road and Adelante High School.
- Medium Density Residential land use and small-lot residential zoning designations for the land immediately behind the new High Density Residential land use.

- Low Density Residential land use and small-lot residential zoning designations for the land immediately behind the new Medium Density Residential land use.
- Open Space land use designation and zoning over Dry Creek and its floodplain.

The Planning Division and Building Divisions regularly handle inquiries related to redevelopment of the properties within the existing commercial areas along the Atlantic Street frontage and the adjacent residential areas. Customers are most often investigating the potential to improve a residential lot or add additional units, or to change or intensify a commercial use. These customers are individual property owners or prospective buyers of smaller properties, and are not associated with firms or development companies with the benefit of significant resources. The cost of entitlements needed to rectify land use and zoning inconsistencies and/or change the land use or zoning designations of a small property to allow the proposed use has been a significant barrier. To process entitlements for a General Plan Amendment and Rezone requires a deposit of nearly \$20,000 along with a public hearing process and commitments of time and other financial resources. The customer has typically decided not to pursue the project as a result. The adoption of the Atlantic Street Corridor will remove redevelopment barriers by eliminating the need for costly entitlements and will add incentives and streamline the development process. The City's rezone program inventory lists all of the properties with the potential for added units, but has identified two vacant or substantially underutilized sites

The City has evaluated all of the individual parcels within the planning area which could accommodate additional units. The majority of sites evaluated would be able to add one additional unit, which would most likely be an accessory dwelling unit. These are sites with detached garages which are alley loaded, or with room on the rear of the lot by the alley. However, there are also two sites with the potential for more units. One is a 0.69-acre parcel which could accommodate a minimum of 15 units at a density of 23 units per acre and the other is a 0.54-acre parcel which could accommodate 35 units at a density of 23 units per acre.

The 0.54-acre parcel has frontage on two roadways and an alley, giving it access on three sides. The site is unpaved, contains a small metal shed, and is used to store junk and a few vehicles. The site currently has a land use designation of Low Density Residential and is surrounded on three sides by residential uses; to the north, across the alley, are commercial uses. The Specific Plan would include redesignating this site High Density Residential and providing the capacity analyses needed to allow the site to be developed with high density residential through the over-the-counter Minor Design Review Permit and an exemption from CEQA.

The 0.69-acre parcel is a parking lot located adjacent to two single-family homes and a church, and is overflow church parking. Although the site is improved, rather than vacant, the parcel has been the subject of multiple inquiries over the years for development potential. The parking is not required for the church and the site has a land use designation of Low Density Residential. The primary barrier has been the need for costly land use entitlements and supporting studies for development. The Specific Plan would include redesignating this site High Density Residential and providing the capacity analyses needed to allow the site to be developed with high density residential through the over-the-counter Minor Design Review Permit and an exemption from CEQA. This also responds to comments we received from several churches as part of Housing Element outreach requesting the City take steps to make it easier to allow churches to provide housing on their properties. The proposed densities are consistent with the minimum densities for lower income housing.



Figure X-29 | Existing Land Use Atlantic Street Corridor

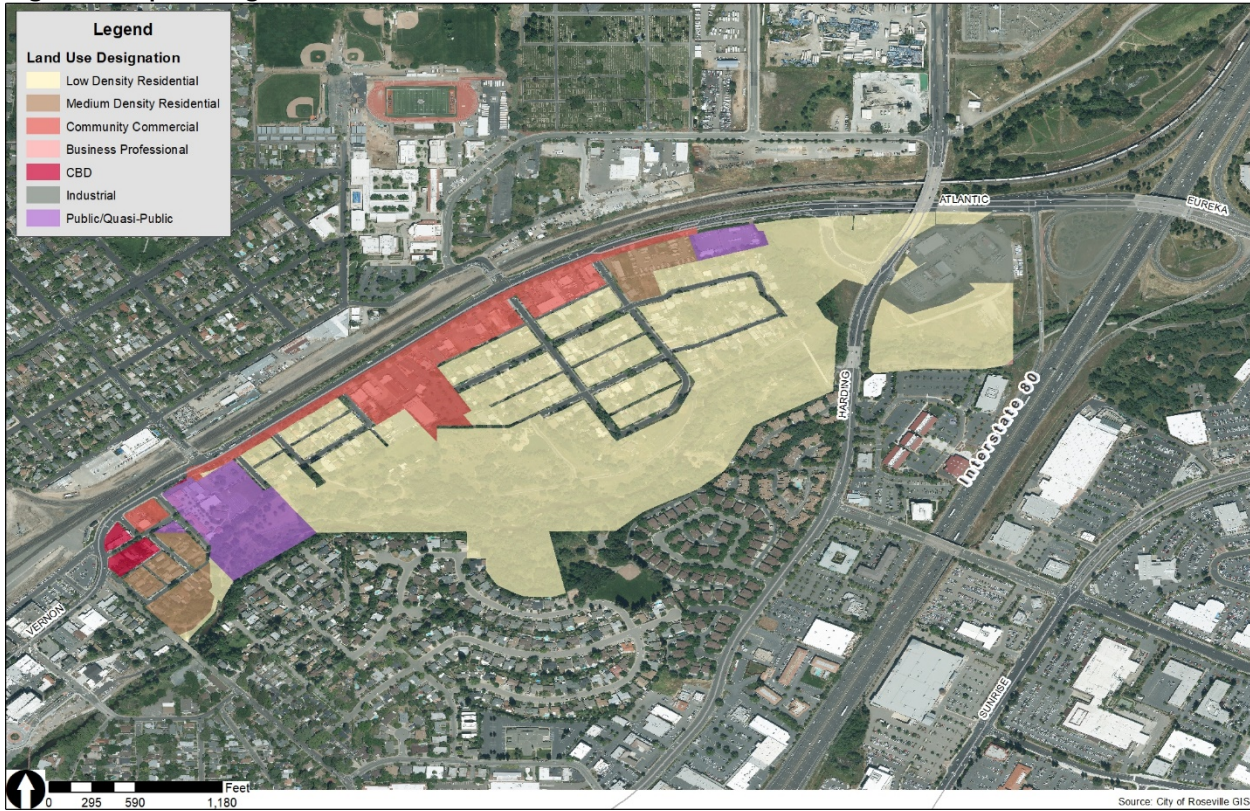


Figure X-30 | Conceptual Proposed Land Use Atlantic Street Corridor



## Douglas-Harding Corridor

As shown in Figure X-31, below, most of this planning area has a Community Commercial land use designation. However, there are single-family residential properties on Douglas Boulevard and homes which have been converted to businesses. There are also multiple properties with three or more housing units per parcel (considered multi-family), but a land use or zoning designation for commercial uses or single-family uses. In addition, there are many older commercial properties and a hotel property with large parking fields. This Specific Plan is envisioned to include correcting inconsistencies between land use and zoning designations, designating additional High Density Residential land (with a Residential Mixed Use zoning designation), and amending the commercial-use land in the Planning area to the Community Commercial land use designation and Commercial Mixed Use zone (see Figure X-32).

There are multiple vacant properties in the Douglas-Harding Corridor which have been difficult to develop because the parcels are small and would require land use amendments to consolidate and approve. In addition, there are access and infrastructure constraints to development which have also proven to be a barrier to development or redevelopment of vacant and underdeveloped properties in this area. City Planning Division and Building Division staff receive regular inquiries about some of the long-standing vacant properties and several key commercial properties, but the entitlement processes and access/infrastructure issues have usually resulted in a withdrawal of interest. The City recently approved the development of a long-vacant parcel with townhomes, and this project is representative of the types of existing barriers which must currently be overcome. Approval of the project required an access study by a qualified engineering firm and a significant investment of time and resources on the engineering plans for the site. The project also required a General Plan Amendment and a Design Review Permit and final entitlement costs of nearly \$40,000. The Corridor Plan would remove the need for both of these entitlements and would also include environmental documentation and technical studies to identify and resolve development barriers.

The City has evaluated all of the individual parcels within the planning area which could accommodate additional units. There are several large sites which have the potential to be developed or redeveloped with high density residential units. This includes multiple sites on the eastern side of Harding Boulevard and one site at the terminus of South Harding Boulevard. Harding Boulevard includes multiple commercial properties with large parking lots that are oversized and underused, with buildings located at the rear of the property. All of these sites are more than 0.5 acres and less than 10 acres, have roadway frontage, and access to utility connections. The current land use and zoning does not permit housing of any kind. The Specific Plan would include establishing a mixed use zoning designation which would allow high density residential uses on these commercial properties. The City has had inquiries in the past about developing some of these sites with residential units, and currently has one active inquiry from an owner investigating building apartments on a property along Harding Boulevard. The City is currently working with this property owner to ensure the corridor plan will accommodate the prospective project. The City also has a second active site, where the Heritage Inn is located. The City has been negotiating with the property owner to convert the 100-room motel into permanent housing. The Heritage Inn site and one of these other sites could, combined, result in an additional 150 units.

The site on South Harding Boulevard is approximately 3.5 acres and is used as a Christmas tree lot each year. The bulk of the site is undeveloped dirt and grasses, but there are multiple storage pods on the site, a small concrete pad, and a small area of old asphalt and gravel. The property has two points of access, one on South Harding Boulevard and one on Wayne Drive, both of which provide points of utility connection. This vacant site has excellent redevelopment potential once the barriers of entitlements, studies, and environmental documentation are removed by the Specific Plan. At a density of 30 units per acre this site could accommodate 100 units.

For all of these sites, the Specific Plan would include redesignating the sites to allow high density residential uses and providing the capacity analyses needed for development through the over-the-counter Minor Design Review Permit and an exemption from CEQA. The proposed densities are consistent with the minimum densities for lower income housing, and would add 250 lower income units.



Figure X-31 | Existing Land Use Douglas-Harding Corridor

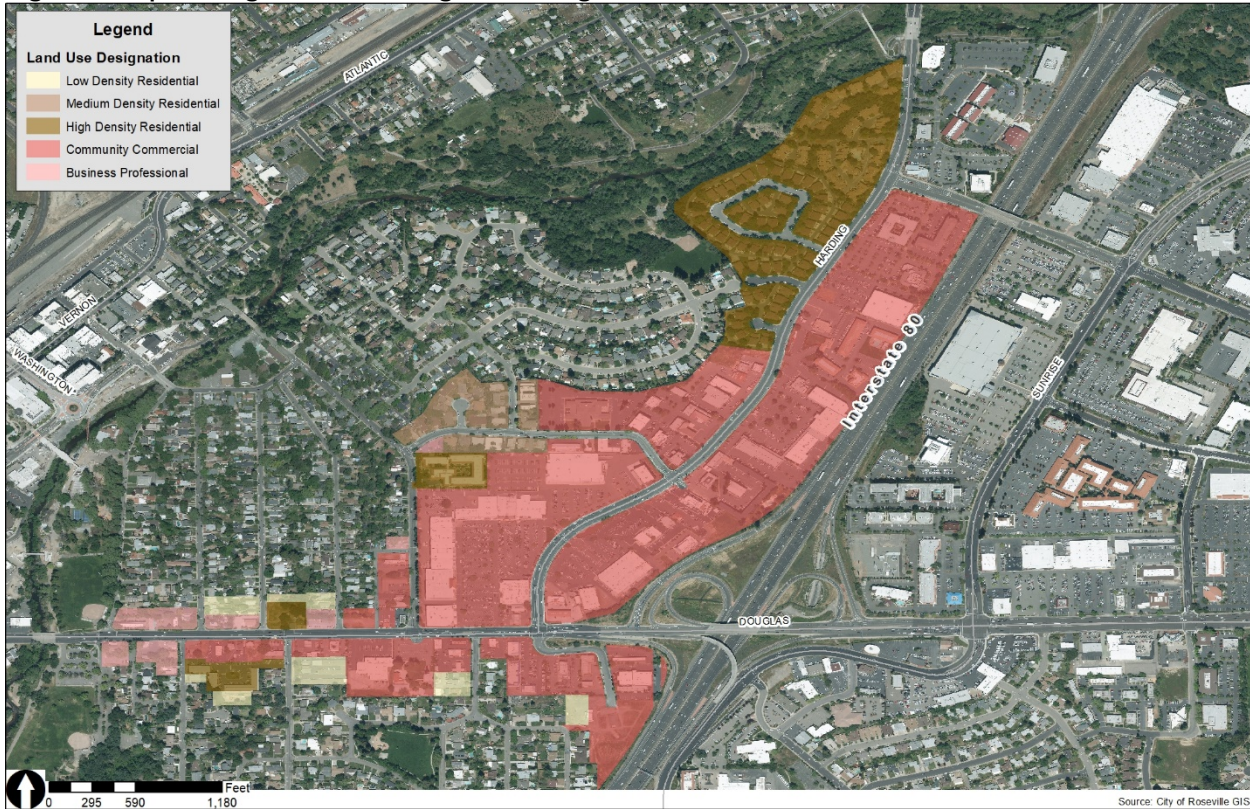
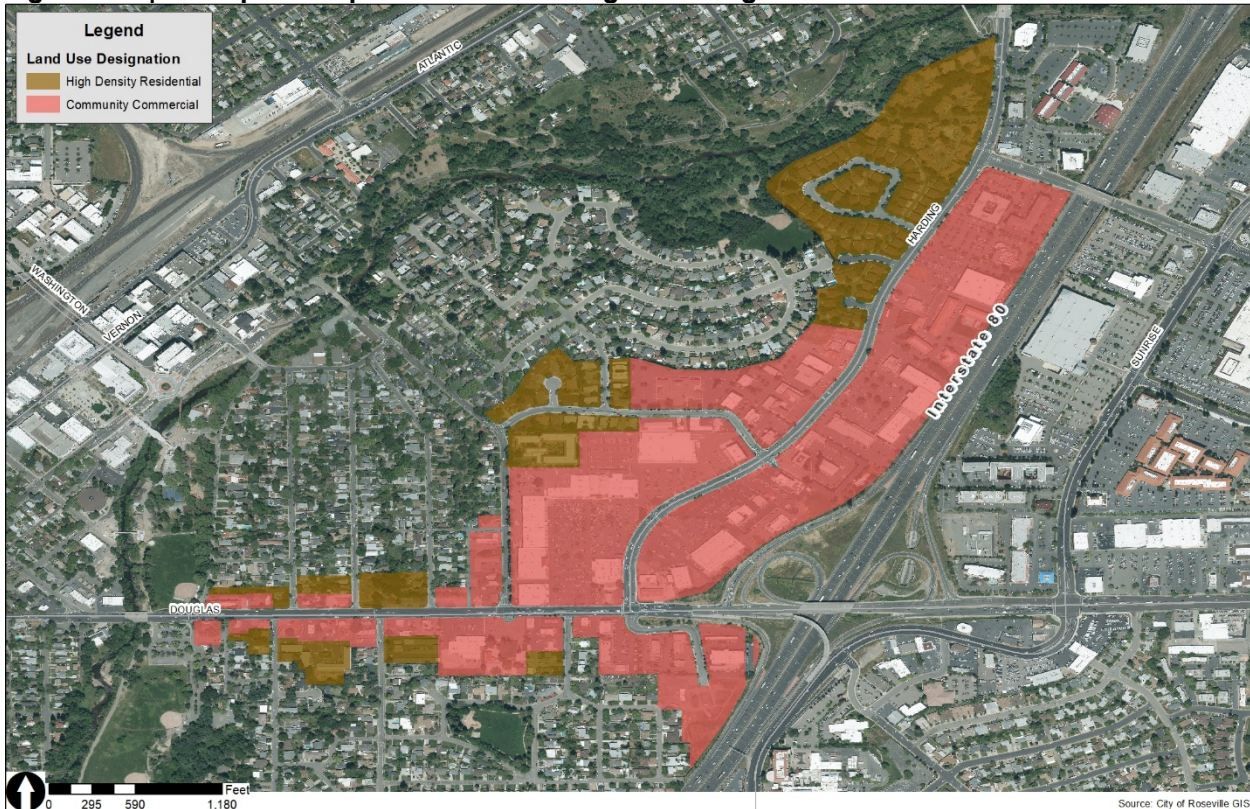


Figure X-32 | Conceptual Proposed Land Use Douglas-Harding Corridor



Douglas-Sunrise Corridor

This planning area includes a mix of land use designations, including Community Commercial, Business Professional, Neighborhood Commercial, High Density Residential, Medium Density Residential, and Low Density Residential (see Figure X-33). This Specific Plan is envisioned to include rezoning most of the planning area to the Commercial Mixed Use designation, and creating a transition between the commercial district and the single-family residential district on the southern boundary by applying a High Density Residential land use to the existing residential properties (see Figure X-34). Compared to the other corridors, Planning Division and Building Division staff have received fewer inquiries and less overall interest in redeveloping this area. This corridor is developed with more established and thriving commercial businesses, including large-format retail businesses such as Fry's Electronics. However, there is a large office building on the southeastern corner of Lead Hill Boulevard and Sunrise Avenue which has been vacant for several years and there are some older commercial properties with large, minimally-landscaped parking fields where redevelopment inquiries have been received.

Redevelopment inquiries to propose mixed use have been received for the large commercial site on the northeastern corner of Douglas Boulevard and Sunrise Avenue. The center consists of several different parcels, the largest and most likely of which is 2.4 acres and includes frontage on both Douglas Boulevard and Sunrise Boulevard. The parking lot for this commercial center is in poor repair, includes very little landscaping, and is oversized/underused. There is sufficient room for a mixed use development or small multifamily project on the site, and the City has received tentative plans and inquiries to build a project of this kind in the recent past. However the costs of entitlements, capacity studies, and environmental documentation have been a significant deterrent. The City has no current inquiries for the site but removing the development barriers is anticipated to renew interest.

The vacant office complex is located on the corner of Sunrise Avenue and Lead Hill Boulevard. The parcel is 15.3 acres and includes two separate single-story office buildings and large parking lots. The second building is partially occupied by the United States Post Office. The northernmost building on the site has been vacant for more than five years, and given the increasing vacancies in office spaces resulting from companies moving to permanent work-from-home options, it is unlikely that an office use will resume in this building. If needed, a parcel map could easily separate the two office buildings and create two parcels; a map was submitted in 2016 for this purpose, but was not recorded. The site has frontage on two roadways and multiple driveways and access points, as well as proximity to walkable commercial centers with restaurants, services, and a grocery store. The existing land use and zoning currently do not allow residential uses. The Specific Plan would include designating this site for commercial mixed use, and would allow a residential or mixed-use residential project to be built on the site through the over-the-counter Minor Design Review Permit. The project would remove multiple barriers, including the cost and time for entitlements, capacity studies, and environmental documentation.

The City anticipates at least one multi-family project of 100 units at a density of 30 units per acre as a result of the Specific Plan. The proposed densities are consistent with the minimum densities for lower income housing and would add 100 lower income units.



Figure X-33 | Existing Land Use Douglas-Sunrise Corridor

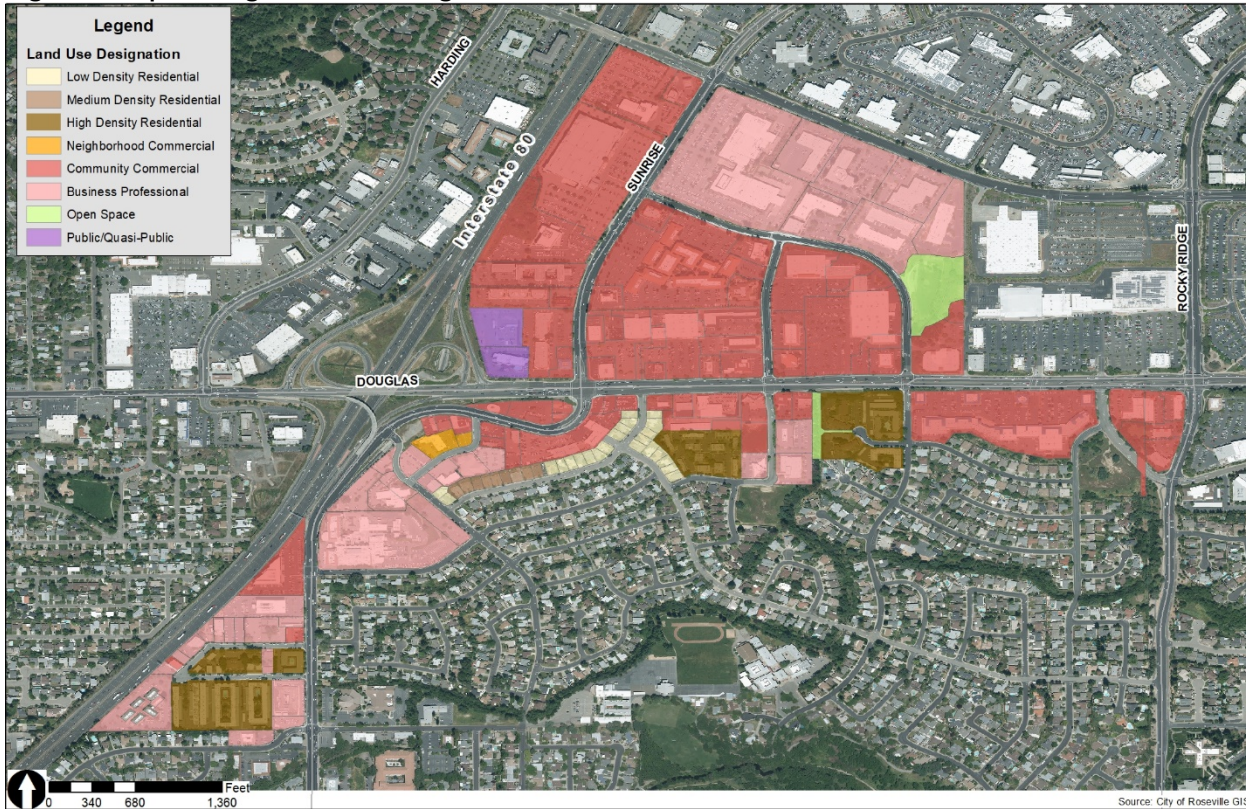
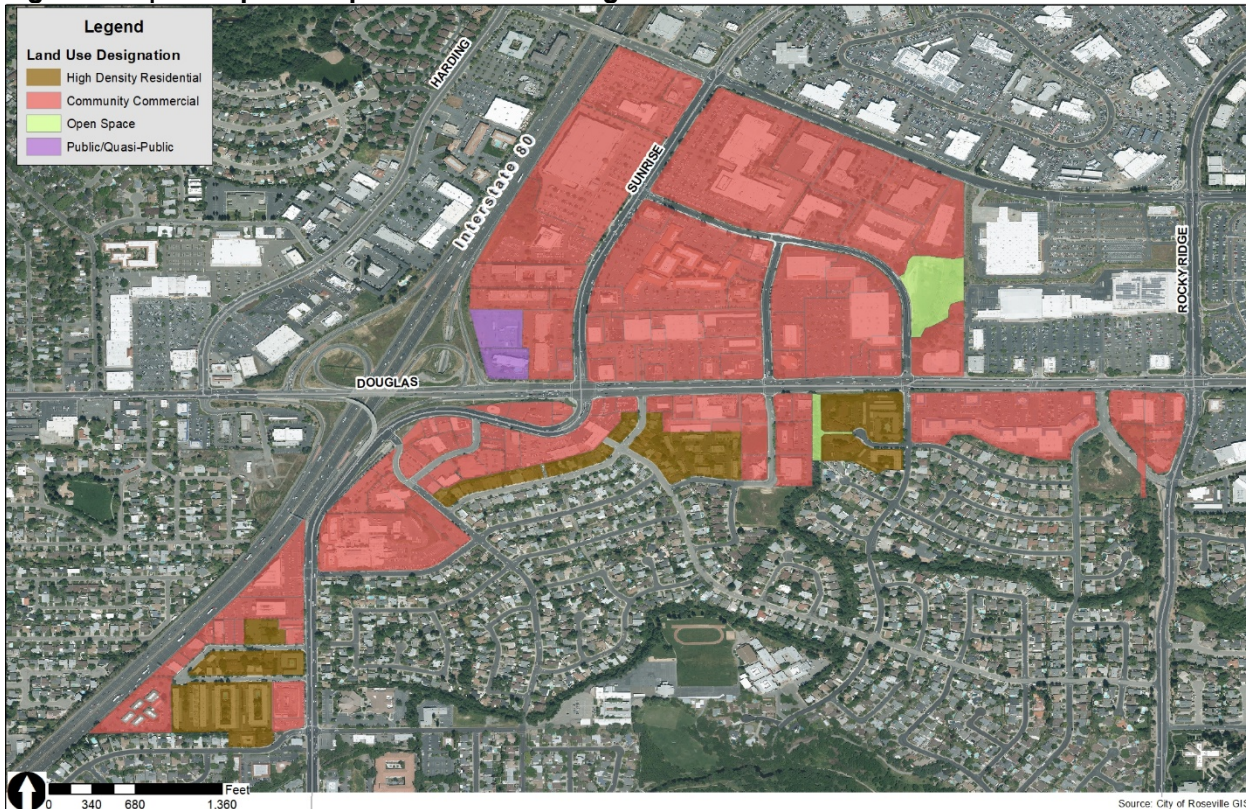


Figure X-34 | Conceptual Proposed Land Use Douglas-Sunrise Corridor



Summary Evaluation

The City has evaluated the parcels within the proposed Specific Plan areas and identified those predicted to be most likely to support development or redevelopment. These parcels are listed within the City's detailed inventory (Appendix C) along with the amount of lower income capacity assumed for each site. Together, the three planning areas will add 400 units of lower income capacity. Although sites have been identified for the purposes of the detailed inventory, there are other sites which could be redeveloped in lieu of or in addition to the sites identified. In identifying the sites in this Rezone Program and in Appendix C the City is demonstrating capacity, not designating only those sites and precluding others.

The City's experience with the Downtown Specific Plan, on which these corridor plans are proposed to be modeled, has demonstrated that incentives and streamlining will result in housing. In the past five years, the City has successfully approved three 100% affordable housing projects (two of which are now constructed) in the Downtown Specific Plan. Two of these were on sites where housing had been identified and one was on a site the City did not expect would be developed with housing. One of the sites was an existing parking lot and another included a restaurant and parking area. Housing projects were successful on these sites despite these existing improvements. All of the proposed corridor plans are connected to the Downtown Specific Plan and have similar market dynamics. The evidence shows that the City's anticipation of 400 lower income units is achievable over the 8-year planning period.

### INFILL INTENSIFICATION

The central core of Roseville where development occurred prior to the 1980s is known as the City's "Infill Area," and is approximately 8,500 acres. This older area of the City is not within a Specific Plan and much of the development occurred prior to the adoption of the City's General Plan or Zoning regulations. As a consequence, inconsistencies between a property's land use and zoning designations are relatively common, and the land use designation maximum density typically reflects the built conditions rather than planned future conditions. These factors have presented regulatory barriers to development and redevelopment.

This strategy focuses on properties which already have either a multi-family zoning designation (R3), a Medium Density Residential (MDR) land use designation, or a High Density Residential (HDR) land use designation. The strategy is envisioned to include amending the zoning and land use designations of these sites to R3 and HDR-30 (density of 30 units per acre), or potentially to HDR with no maximum density specified. Many of these sites are currently developed with small multi-family developments such as fourplexes, sixplexes, and single-story or two-story apartment developments with fewer than 30 units. City Planning Division and Building Division staff receive regular inquiries about adding units to these properties, but because the General Plan land use density includes a maximum density (i.e. HDR 13.8) based on built conditions, a General Plan Amendment would be required to add *any* additional units. The cost and complication of the entitlement processes have usually resulted in a withdrawal of interest. The Infill Intensification strategy would remove this barrier.

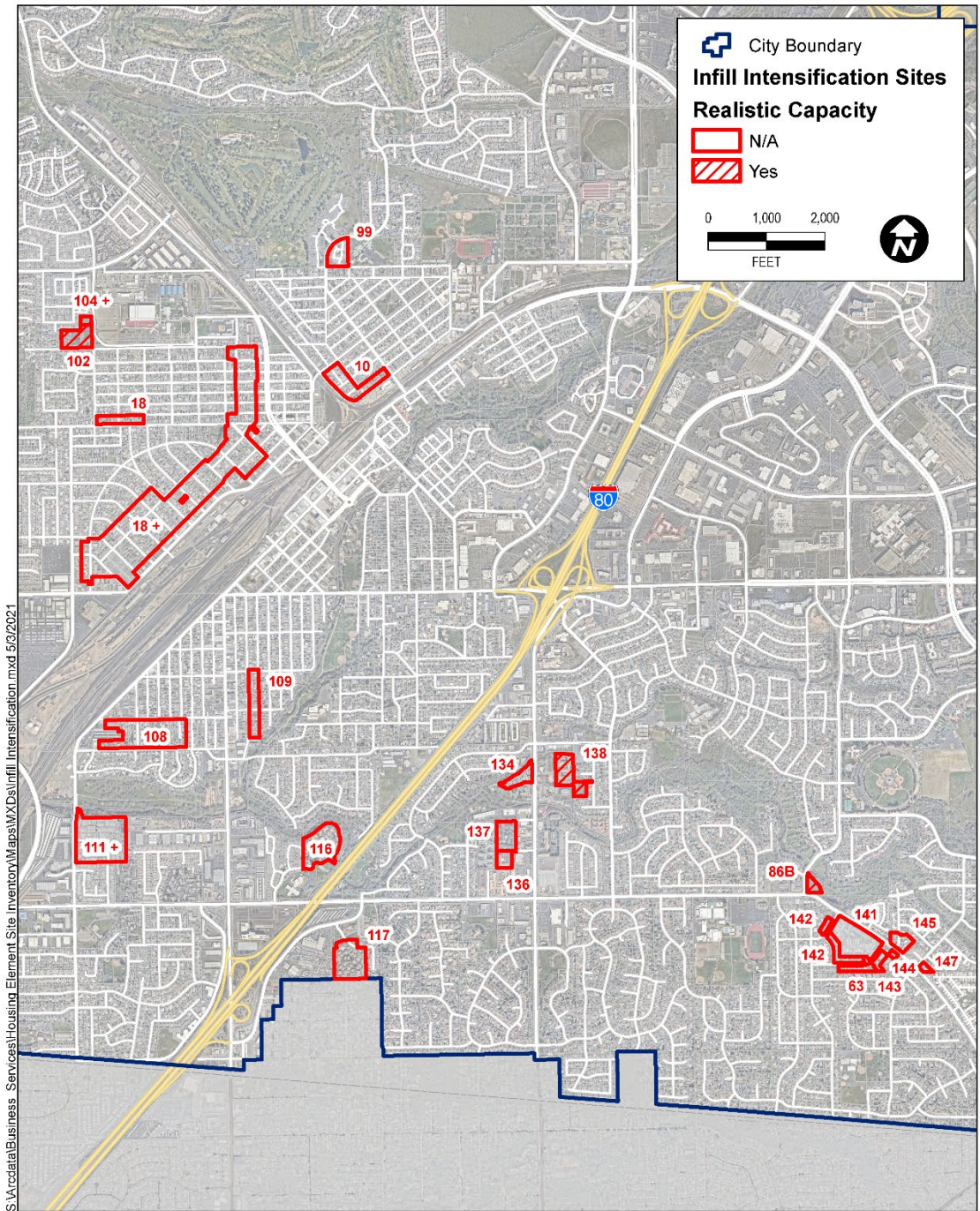
Table X-41 below shows the parcels currently identified as potential rezone and General Plan Amendment sites as part of this strategy. The locations of these parcels are shown in Figure X-35. The table lists the existing units on the site, the potential capacity if the sites were developed/redeveloped at their maximum potential and the realistic capacity. The total potential capacity is 832 units. The realistic capacity is based on a parcel-specific analysis, including site constraints and market forces. The sites with the greatest potential for development at densities of 30 units to the acre or greater are those which are vacant, have vacant potential (a large portion of the site is undeveloped), or are large parcels with only one or two units. These are the sites assumed to be most likely to meet the City's lower income obligation and result in a realistic capacity of 186 units. Figure X-35 displays the sites with realistic additional capacity with a solid (filled) color which other sites have a colored border. All of the sites in the figure list the Specific Plan Parcel Number, consistent with Table X-41.

Table X-41   Potential Infill Intensification Sites						
Specific Plan Parcel #	Zoning Designation	Land Use Designation	Acres	Existing Units	Potential Capacity	Realistic Additional Capacity
10	R3	LDR	6.43	62	97	0
18	R3	LDR	2.59	29	39	0
18 +	R3	LDR	69.23	575	900	0
63	R3	LDR	1.58	10	24	0
86B	R3	MDR	1.18	0	35	35
99	R3/DS	MDR	3.41	26	26	0



102	R1	MDR	0.67	0	20	20
104 +	R3	MDR	3.98	28	120	92
108	R3	MDR	14.26	106	213	0
109	R3	MDR	4.57	36	69	0
111 +	R3	MDR	15.28	158	229	0
116	R3	MDR	8.2	128	128	0
117	R3	MDR	7.62	124	124	0
134	R3	HDR	2.49	62	62	0
136	R3	HDR	1.76	63	63	0
137	R3	HDR	3.83	92	92	0
138	R3	HDR	5.06	200	239	39
141	R3	HDR	8.7	168	168	0
142	R3	HDR	0.66	16	20	0
142	R3	HDR	2.3	37	69	0
143	R3	HDR	1.12	11	34	0
144	R3	HDR	0.32	8	10	0
145	R3	HDR	2	24	60	0
147	R3	HDR	0.49	8	15	0
<b>TOTAL</b>				<b>2,024</b>	<b>2,856</b>	<b>186</b>

**Figure X-35 | Potential Infill Intensification Sites Map**



This strategy will include amending the zoning and land use designations of all of the sites in the table, regardless of whether they are listed as having realistic capacity. The realistic capacity reflects those sites the City has identified in Appendix C (detailed inventory) as contributing to the City’s lower income capacity through the Rezone Program. The City is demonstrating capacity, not designating only those sites and precluding others. An assessment of the realistic capacity sites is below.

Parcel 86B – This vacant 1.18-acre site is on the corner of Rocky Ridge and Cirby Way and has access to utilities. An application for a condominium project (with a General Plan Amendment to High Density Residential) was received by the City in 2007 for this property, but as the economic downturn intensified the application was withdrawn. The site currently has a Medium Density



Residential land use designation, but the shape and location of the site are not conducive to single-family residential product. Changing the land use and zoning of the site through this strategy will streamline the approval process for a high density residential project on this site. During the past several years the City has seen significant interest in developing sites such as this, which have been vacant for an extended time. An example is the Huntington Senior Apartments project located at the corner of Strauch Drive and Rocky Ridge Drive, approximately  $\frac{3}{4}$ -mile to the north of this site. The senior apartments project included land use amendments, a Mitigated Negative Declaration, several specialized studies, the removal of many oak trees, and the leveling of a large hill. Despite these hurdles, the apartment project is underway and rough grading is complete. Removing many of these barriers from Parcel 86B can be expected to result in development of the site within the 8-year planning period.

Parcel 102 and 104 – These two Specific Plan Parcels include six adjacent assessor's parcels next to The Grounds, which is the remodeled Placer County fairgrounds. Two of the six parcels are owned by the same entity and are the properties most likely to be developed with units, though in identifying all six underutilized parcels the City is acknowledging the potential for site consolidation. One of the two parcels under the same ownership is 0.7 acres and is vacant while the other is 1.54 acres and includes 12 small apartment units and a parking area on the frontage of Lawton Avenue; the rear half of the property remains undeveloped. The City has received inquiries about expanding and building additional apartments on this site and the adjacent vacant site in the past, but the existing land use designations. Adjacent to these parcels, and also with frontage on Lawton Avenue, is a 1.19-acre parcel with only one home developed on it. This site could be consolidated with the properties discussed above or could be developed with a separate project. The Rezone Program would remove development barriers by adjusting the land use to allow additional units. Removing these barriers can be expected to result in development of the site within the 8-year planning period.

Parcel 138 – This is a single parcel of 5.4 acres, a portion of which is developed with The Terraces, an assisted living facility. However, the site includes a large 1.2-acre undeveloped portion. The undeveloped area includes a small area of frontage on Trimble Way, a residential street, and has reciprocal access agreements granting access to an existing driveway on Sunrise Boulevard. The Terraces site is partially within a shallow floodplain, with the undeveloped portion actually closest to the floodplain edge. The site would either need to be built up with soil slightly or developed with podium parking (elevation standards apply to living space not parking or drive aisles). The undeveloped portion is surrounded on three sides by single-family residential. Developing this area with a small apartment complex would be ideal as a complementary use to the adjacent residential neighborhood and the assisted living facility. Removing the current unit cap on the site through the Rezone Program would make site development feasible and can be expected to result in development of the site within the 8-year planning period.

## OPPORTUNITY SITES

Staff examined vacant sites throughout the City to find properties with the potential to be converted to high density residential use. After screening out sites due to the presence of approved entitlements, Development Agreements, or significant environmental constraints (floodplain, wetland preserves, etc), the City has identified potential sites for evaluation as part of this rezone program shown in Figure X-36. Additional sites may be identified as the City develops this option and sites on this list may be removed due to unforeseen constraints. The sites are described below.

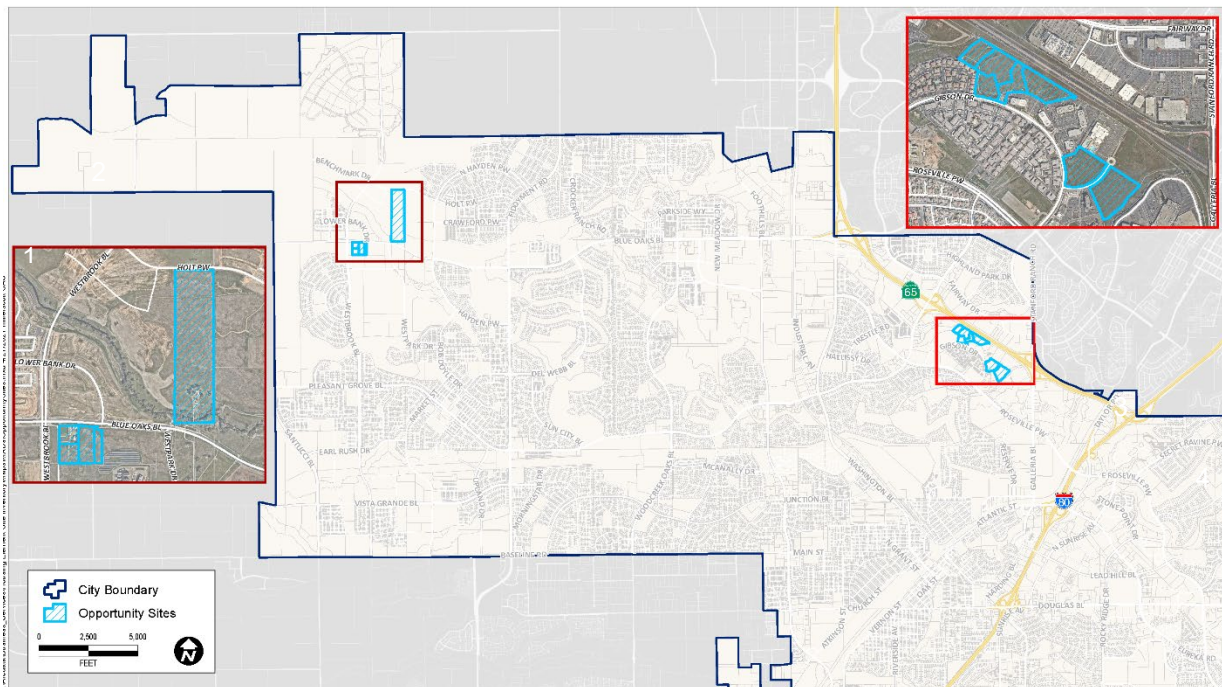
1. City Property: This 13.5-acre property is owned by the City and has a Community Commercial zoning and land use designation. Constraints include adjacency to the City's wastewater treatment plant and Roseville Electric Energy Plant. The property includes frontage on both Blue Oaks Boulevard and Westbrook Boulevard (under construction). This is also adjacent to the future Regional Sports Facility. Due to these challenges and because the City owns the property this site might be best suited as a demonstration site. The City could seek out a public-private partnership to develop an emerging or innovative housing product on this site, paired with commercial or other non-residential uses. The site is within an approved Specific Plan for which all utilities, services, and infrastructure have been planned. Though the strategy would introduce 150 units which had not been anticipated, it would also reduce the amount of commercial uses which had been planned. The net impact of this rezone will be negligible and is anticipated to be covered by the existing Specific Plan and Environmental Impact Report. Assuming 5 net-acres developed at a density of 30 units to the acre, this property could provide **150 units**.
2. Harris Property: This 40-acre property is designated Urban Reserve. The property owner was a non-participant in the Creekview Specific Plan and is therefore not covered by the Development Agreement. A portion of this land is unavailable due to the presence of a creek, floodplain, and an occupied single-family home, and there would be additional land loss due to the need for major connecting roads, parks, and other public facilities. Though not a participant in the Specific Plan, the site was designated as Urban Reserve in order to recognize the site as a future development area. The Environmental Impact Report for the Creekview Specific Plan states "it is assumed for purposes of this EIR that that the 39.9 acre [Urban Reserve] parcel will ultimately be developed with a mix and density

of land uses similar to that in the balance of the Plan Area.” The Circulation chapter of the Creekview Specific Plan notes points of connection between the balance of the Specific Plan and the Urban Reserve property. In short, development of this site has been assumed in the Creekview Specific Plan, including access to roadways and utilities. This property is so large that the rezone of the site is anticipated to include two separate high density residential sites in appropriate locations. Conservatively assuming 20 acres is developable with housing at 30 units/acre (two 10-acre sites), this property could provide **600 units**.

3. **Shea Property:** This includes multiple parcels totaling 20 acres, all under the same ownership, and is designated Business Professional (BP). Staff is aware of interest in developing this site with residential uses due to decreased interest in office uses. The proximity to Highway 65 and the onramp adds environmental constraints. This area has a BP land use designation specifically to provide a non-residential buffer between Highway 65 and the residential uses along Gibson Drive. The design would need to be sensitive to these constraints, including buffering area, and an outdoor activity area protected from noise. The rezone would focus the housing along Gibson Drive, retaining land for buffering and other complementary use nearest to Highway 65. Conservatively assuming 10 acres is developable with housing at 30 units/acre, this property could provide **300 units**.
4. **Conference Center Drive Property:** This includes two parcels of 6.7 and 7.9 acres, both designated BP. As with the previous property, this land has a BP land use designation to provide a non-residential buffer between Highway 65 and the residential uses along Gibson Drive. These properties are also surrounded by non-residential uses (a conference center, a luxury gym with large outdoor recreation area, and the Galleria). In addition Gibson Drive already supports nearly 100 acres of high density residential land use. However, assuming that 10 acres is developable with housing at 30 units/acre, this property could provide **300 units**.

If all four sites were selected, this strategy could provide 1,350 units at 30 units per acre in total capacity. All four sites are listed in Appendix C with their maximum realistic capacity and therefore the Rezone Program includes 1,350 units from this strategy. However, not all four will be selected because the potential additional units added exceeds the City’s deficit; all four are included in order to provide flexibility in the implementation of this portion of the program. The realistic capacity is estimated as 600 units. Furthermore, this program could include sites not currently on this list, as the intent of the City is to negotiate with property owners on voluntary rezone proposals. In implementing this portion of the program, the City anticipates rezoning sufficient land at densities of at least 25 units per acre to generate as many lower income units as needed to ensure this strategy, in combination with the other strategies, achieves the minimum lower income RHNA obligation.

**Figure X-36 | Opportunity Sites Map**





## VACANT SITES – RESIDENTIAL INTENSIFICATION

The western areas of the City include multiple vacant sites with High Density Residential land uses at densities below 25 units per acre. Increasing the land use density of these sites to 25–30 units per acre would yield additional units. This strategy proposes that the City would develop and adopt a Land Use Amendment Policy requiring Specific Plan Amendment projects involving land use changes to also amend the land use of High Density Residential sites the applicant/property owner controls to between 25 and 30 units to the acre. A proposed draft of the policy is included below:

### **Intent**

In response to the statewide housing crisis and to ensure the City fulfills its obligation to provide sufficient high density housing the City has developed the Specific Plan Amendment Policy. The intent of the policy is to articulate the City's expectations for Specific Plan Amendment proposals affecting or proposing residential land uses. The Policy is not intended to be inclusive of all City development requirements, but supplements those requirements. The purpose of the policy is to increase the Citywide unit capacity of High Density Residential at densities of 25 units per acre or greater.

### **Applicability**

The policy applies to a Specific Plan Amendment project meeting one or more of the following criteria:

- The project would amend 10 or more acres of land currently designated for residential uses (i.e. Low Density Residential, including age-restricted; Medium Density Residential, or High Density Residential). If the project will result in a net increase of 150 units of High Density Residential units within the Specific Plan at minimum densities of 30 units per acre (HDR-30), the policy does not apply.
- The project would amend land currently designated for non-residential uses to residential uses. If a minimum of five acres of non-residential land will be amended to High Density Residential at a minimum density of 30 units per acre (HDR-30), the policy does not apply. This policy does not apply to land with a Public/Quasi Public land use designation.

### **Policy**

If the City currently does not have sufficient lower income units to meet its RHNA obligation or has a 5% surplus of lower income units or less, this policy applies. The property owner(s) (Owner) of a Specific Plan Amendment application subject to this policy (Project) shall be required to include an application to amend to HDR-25 or greater any land owned or controlled by the Owner within the City which has a land use designation of between HDR-13 and HDR-24 (using standard rounding) at the time of Project application, and to amend to HDR-30 or greater any land owned or controlled by the Owner within the City which has a land use designation of between HDR-25 and HDR-29 (using standard rounding) at the time of Project application. The application may be included as part of the Project or may be a separate application, but shall be approved prior to or concurrently with the Project. This policy does not apply to HDR land which has already been developed and has zero remaining allocated, undeveloped units.

Table X-42 below lists all of the vacant HDR parcels in the City which have the potential to be affected by this policy and Figure X-37 shows their locations. However, many of the sites listed on the table are currently credited toward the moderate income allocation instead of lower income due to low densities. For those parcels the total site units would be added to lower income capacity, not just the amount of increased units. As shown, this could increase the City's lower income capacity by 1,880 units of total capacity.

**Table X-42 | Potential Residential Intensification Sites**

Specific Plan Parcel	HDR Density	Acreage	Existing Capacity	Capacity at HDR-30*	Existing Credited Income Category	Potential Added Lower Income Capacity
AR-36	15.3	7.5	113	220	Moderate	220
FD-33	20	8.6	172	250	Moderate	250
FD-32	20.5	8.7	178	260	Moderate	260

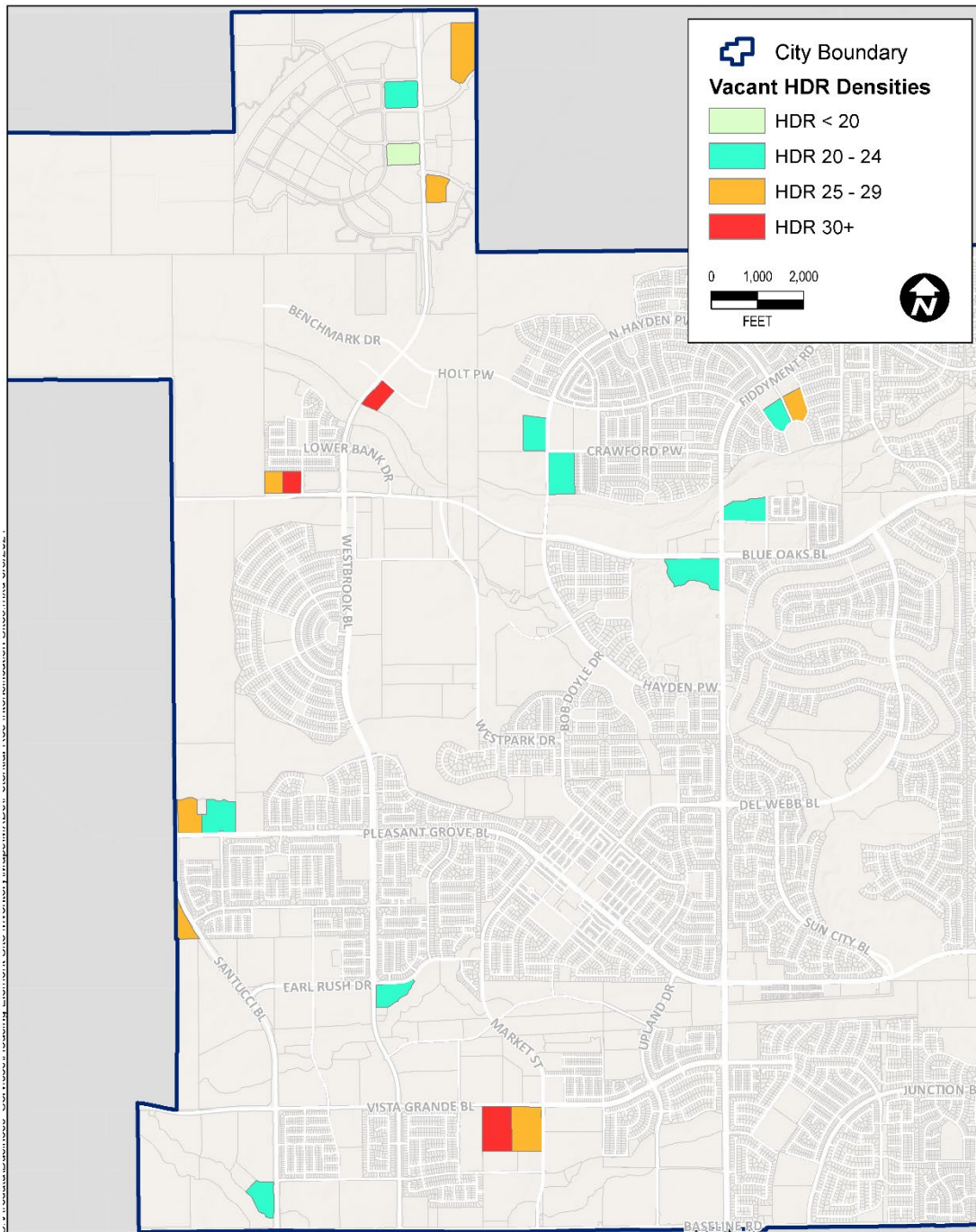
W-16	20.5	12.2	250	360	Moderate	360
W-27	21.5	7.9	20	230	Moderate	0
			150		Lower	80
KT-30	23.1	7.4	171	220	Lower	49
F-6B	23.2	8.4	195	250	Lower	55
JM-30 <sup>a</sup>	23.5	7.5	30	225	Moderate	0
			146		Lower	79
WB-31	23.7	11.1	263	330	Lower	67
F-21	23.7	14.5	343	430	Lower	87
F-8A	23.7	11.7	277	350	Lower	73
FD-34	24.6	7	172	210	Lower	38
AR-19	24.7	9.3	230	270	Lower	40
F-22	24.9	9.8	244	290	Lower	46
F-25	24.9	5.5	137	160	Lower	23
F-26	25	5.6	140	160	Lower	20
WB-32	25.1	5.1	128	150	Lower	22
AR-38	25.2	15.1	380	450	Lower	70
AR-44	25.4	5.9	150	170	Lower	20
CG-31	29	14.5	420	435	Lower	15
WB-30	29.3	8.1	237	243	Lower	6
<b>Total Capacity</b>			<b>4,546</b>	<b>5,663</b>	<b>Increased Capacity</b>	<b>1,880</b>

\*rounded down

a. JM-30 and W-27 include an affordable housing obligation, so the units are divided between obligated lower income and market rate (moderate).



Figure X-37 | Potential Residential Intensification Sites



To determine the realistic capacity of this strategy staff compiled a list of all Specific Plan Amendments approved during the past eight years (2012 to 2020) which could have been subject to this policy. The City received 15 such applications in the prior eight years. Of the properties listed in Table X-42, only two property owners were not involved in one or more Specific Plan Amendments during the past eight years. This demonstrates that most large land owners in the City actively shape and modify the land use and design of their holdings to respond to market changes, and it is reasonable to expect these owners will continue to do so in the future. While the data support a conclusion that nearly all of the properties in Table X-42 will be affected by the land use policy, the City is assuming the strategy has a realistic capacity of 900 lower income units.

All of the sites in Table X-42 are listed in Appendix C. However, it is not anticipated that all of these sites will be affected by the policy, because the potential additional units added exceeds the City's deficit. In implementing this portion of the program, the City anticipates rezoning sufficient land at densities of at least 25 units per acre to generate as many lower income units as needed to ensure this strategy, in combination with the other strategies, achieves the minimum lower income RHNA obligation.

### **Rezone Program Summary**

The above rezone program has the potential to add up to 2,086 units of realistic lower income capacity. In adopting this program the City is approving a menu of strategies which may be pursued, and providing evidence for the realistic capacity which could be added by each. In implementing the rezone program, the City may choose to implement one, all, or portions of these, based on need and to the extent necessary to ensure the City achieves the minimum required RHNA capacity, which currently requires the addition of 1,791 units of lower income capacity. The City's rezone program, in combination with other programs, shall result in the City's achievement and maintenance of the minimum required capacity of 6,178 lower income units.



## Appendix F Accessory Dwelling Unit Affordability Study

### INTRODUCTION

Government Code section 65583.1 details how local governments can consider alternate means of accommodating the RHNA beyond vacant and underutilized sites. The potential for Accessory Dwelling Units (ADUs) within the planning period is one of these available alternative means. Since the location and rents of projected ADUs are unknown, local governments must make assumptions about which RHNA income categories they should be counted towards. The purpose of this advisory is to provide local governments in the SACOG region with an assumption for ADU affordability that can be used to assign ADUs to RHNA income categories in Cycle 6 (2021-2029) Housing Elements.

The results of this analysis have been reviewed by the State Department for Housing and Community Development (HCD) and have been found to be satisfactory. There are a number of ways to conduct this analysis. This guidance relies on a survey of existing ADU rents throughout the region in January and February 2020. However, there are other ways to conduct this analysis. For example, local governments could consider square footage, number of bedrooms, amenities, age of the structure, general location. Another method could examine current market rents for reasonably comparable rental properties to determine an average price per square foot in the community. Given the variety of potential approaches, jurisdictions are free to provide their own analysis and assumptions should they choose.

The table below provides the results of the analysis, which can be used to make assumptions about ADU affordability in the SACOG region. The analysis provides separate assumptions for three areas within the region. The affordability differences reflect the relative difference in household income, according to 2019 State income limits. The following pages include a detailed, step-by-step walkthrough of how the assumptions below were derived.

ADU Affordability by County			
Category	Sacramento, Placer, and El Dorado Counties	Yuba and Sutter Counties	Yolo County
Extremely Low	15%	15%	15%
Very Low	6%	1%	10%
Low	35%	14%	44%
Moderate	43%	49%	30%
Above Moderate	1%	21%	1%

## STEP-BY-STEP SUMMARY

1. Affordability Breakdown of Rented ADUs in Sacramento Region
  - a. Calculate maximum rent limits for RHNA income categories for both one-person and two-person households in each county
  - b. Conduct survey of rents for ADUs in the Sacramento region
  - c. Use above survey to determine proportion of ADUs within each income category for both one-person and two-person households
  - d. Make assumption for what percentage of ADUs will be occupied by one-person households and two-person households
  - e. Use (d) to combine proportions from (c) into single breakdown of rented ADUs by income category by county
2. Affordability Breakdown of non-rented ADUs in Sacramento Region
  - a. Make assumption for what % of ADUs are rented for free based on existing literature and allocate those towards ELI
3. Combine rented and free ADUs into single affordability breakdown by county

### 1. AFFORDABILITY BREAKDOWN OF RENTED ADUS

- A) Calculate maximum rent limits for RHNA income categories for both one-person and two-person households by county

Sacramento, Placer, and El Dorado Counties Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$17,600	\$440	\$20,100	\$503
Very Low	30%-50% of area median income	\$29,300	\$733	\$33,450	\$836
Low	50%-80% of area median income	\$46,850	\$1,171	\$53,550	\$1,339
Moderate	80%-120% of area median income	\$70,200	\$1,755	\$80,250	\$2,006
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent



Yuba and Sutter Counties Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$13,650	\$341	\$16,910	\$423
Very Low	30%-50% of area median income	\$22,700	\$568	\$25,950	\$649
Low	50%-80% of area median income	\$36,300	\$908	\$41,500	\$1,038
Moderate	80%-120% of area median income	\$54,450	\$1,361	\$62,200	\$1,555
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent

Yolo County Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$18,450	\$461	\$21,100	\$528
Very Low	30%-50% of area median income	\$30,800	\$770	\$35,200	\$880
Low	50%-80% of area median income	\$49,250	\$1,231	\$56,250	\$1,406
Moderate	80%-120% of area median income	\$73,850	\$1,846	\$84,400	\$2,110
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent

### **B) Conduct survey of rents for ADUs in the Sacramento region**

The survey, included as appendix A, includes location, rent, square footage (if available), and a link for 49 accessory dwelling units across the Sacramento region. SACOG used key word searches (ADU, backyard cottage, in-law, granny flat, carriage unit, etc) across a variety of rental housing search engines. ADUs were found across 14 of the region's jurisdictions. Prices ranged from \$600 to \$2,000 per month and from 250 to 1,500 square feet. The median ADU was approximately 600 sqft and rented for just over \$1,200.

### **C) Use regional survey to determine proportion of ADUs within each income category for both one-person and two-person households**

Sacramento, Placer, and El Dorado Counties Surveyed ADU Income Categories		
	One Person Household	Two Person Household

Category	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	2	4%	5	10%
Low	14	29%	26	53%
Moderate	32	65%	18	37%
Above Moderate	1	2%	0	0%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

Yuba and Sutter Counties Surveyed ADU Income Categories				
Category	One Person Household		Two Person Household	
	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	0	0%	1	2%
Low	6	12%	10	20%
Moderate	25	51%	32	65%
Above Moderate	18	37%	6	12%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

Yolo County Surveyed ADU Income Categories				
Category	One Person Household		Two Person Household	
	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	5	10%	6	12%
Low	22	45%	29	59%
Moderate	21	43%	14	29%
Above Moderate	1	2%	0	0%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

**D) Make assumption for what percentage of ADUs will be occupied by one-person households and two-person households**

Based on the survey results below from Portland, we will assume that ADU residents are split 50% as one-person households and 50% as two-person households. Assuming household sizes greater than two would increase the assumed affordability of ADUs because these households have higher median incomes. Using only one- and two-person households yields a more conservative estimation of ADU affordability.



Number of Adults	Number of Households	Percent of Total
1	72	51%
2	61	43%
More than 2	8	6%
Total	141	
*Based on <a href="#">survey</a> done of Portland ADU residents in 2018		

**E) Use (D) to combine proportions from (C) into single breakdown of rented ADUs by income category**

Sacramento, Placer, and El Dorado Counties Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	4%	10%	7%
Low	29%	53%	41%
Moderate	65%	37%	51%
Above Moderate	2%	0%	1%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

Yuba and Sutter Counties Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	0%	2%	1%
Low	12%	20%	16%
Moderate	51%	65%	58%
Above Moderate	37%	12%	24%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

Yolo County Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	10%	12%	11%
Low	45%	59%	52%
Moderate	43%	29%	36%
Above Moderate	2%	0%	1%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

**2. AFFORDABILITY BREAKDOWN OF NON-RENTED ADUS**

Accessory Dwelling Units are sometimes rented for free, usually to family members. It is difficult to estimate exactly how many ADUs will be rented for free, but there have been surveys that attempt to estimate the proportion:

- A 2012 UC Berkeley publication entitled “Scaling up Secondary Unit Production in the East Bay” indicates that approximately half of all secondary dwelling units are unpaid.<sup>6</sup>
- A 2018 report entitled “Jumpstarting the market for ADUs” surveyed ADUs in Portland, Seattle, and Vancouver and found that approximately 17% of ADUs were occupied by a friend or family member for free.<sup>7</sup>
- A 2014 analysis entitled “Accessory dwelling units in Portland, Oregon: evaluation and interpretation of a survey of ADU owners” found that “18% of Portland ADUs are occupied for free or extremely low cost.”<sup>8</sup>

Based on these surveys, this analysis will conservatively assume that 15% of ADUs will be available at rents affordable to Extremely Low Income households.

**3. COMBINE RENTED AND NON-RENTED ADUS INTO CONSOLIDATED AFFORDABILITY BREAKDOWN**

Sacramento, Placer, and El Dorado Counties Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	7%	0%	6%
Low	41%	0%	35%

<sup>6</sup> [https://communityinnovation.berkeley.edu/sites/default/files/scaling\\_up\\_secondary\\_unit\\_production\\_in\\_the\\_east\\_bay.pdf?width=1200&height=800&iframe=true](https://communityinnovation.berkeley.edu/sites/default/files/scaling_up_secondary_unit_production_in_the_east_bay.pdf?width=1200&height=800&iframe=true)

<sup>7</sup> [http://turnercenter.berkeley.edu/uploads/ADU\\_report\\_4.18.pdf](http://turnercenter.berkeley.edu/uploads/ADU_report_4.18.pdf)

<sup>8</sup> <https://accessorydwellings.files.wordpress.com/2014/06/adusurveyinterpret.pdf>



Moderate	51%	0%	43%
Above Moderate	1%	0%	1%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

Yuba and Sutter Counties Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	1%	0%	1%
Low	16%	0%	14%
Moderate	58%	0%	49%
Above Moderate	24%	0%	21%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

Yolo County Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	11%	0%	10%
Low	52%	0%	44%
Moderate	36%	0%	30%
Above Moderate	1%	0%	1%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

#### APPENDIX A: SACRAMENTO REGION ACCESSORY DWELLING UNIT SURVEY

County	Jurisdiction	Address	General Location	Price	Sq Ft	Price/Sqft	Date Found
Sacramento	Sacramento		Land Park	\$ 1,000	250	\$4.00	1/29/2020
Sacramento	Sacramento		South Sacramento	\$700	270	\$2.59	1/29/2020
Yolo	West Sacramento	1520 Virginia Ave		\$ 1,000	400	\$2.50	1/29/2020

Sacramento	Sacramento		Colonial Heights	\$750	450	\$1.67	1/29/2020
Placer	Lincoln		Saint Tropez Ln,	\$ 1,200	450	\$2.67	1/29/2020
Sacramento	Sacramento		Land Park	\$ 1,150	500	\$2.30	1/29/2020
Sacramento	Sacramento County	2143 Bircher Way	Carmichael	\$ 1,197	500	\$2.39	1/29/2020
Sacramento	Sacramento	2848 Marshall Way	Curtis Park	\$ 1,200	550	\$2.18	1/29/2020
Sacramento	Sacramento	1314 Q St APT 2	Midtown	\$ 1,195	571	\$2.09	1/29/2020
Yolo	Woodland	1255 East Oak #C		\$975	600	\$1.63	1/29/2020
Sacramento	Sacramento County		Fair Oaks	\$ 1,100	600	\$1.83	1/29/2020
Sacramento	Elk Grove		Near Sheldon	\$ 1,200	600		1/29/2020
Sacramento	Sacramento		Alhambra Triangle	\$ 1,395	650	\$2.15	1/29/2020
Sacramento	Sacramento	4157 6th Ave	Oak Park	\$ 1,250	700	\$1.79	1/29/2020
Sacramento	Sacramento	4311 21st St	Land Park	\$ 1,650	700	\$2.36	1/29/2020
Placer	Placer County		Newcastle	\$ 1,150	725	\$1.59	1/29/2020
Sacramento	Sacramento		South Natomas	\$ 1,250	800	\$1.56	1/29/2020
Sacramento	Sacramento		Oak Park	\$ 1,500	820	\$1.83	1/29/2020
Sacramento	Sacramento County		Arden-Arcade	\$ 1,400	900	\$1.56	1/29/2020
Sacramento	Folsom		Historic Folsom	\$ 1,975	1000	\$1.98	1/29/2020
Placer	Loomis		King Road near Penryn	\$ 1,500	1100	\$1.36	1/29/2020
Sacramento	Folsom		Historic Folsom	\$ 1,275	1500	\$0.85	1/29/2020
Sacramento	Sacramento	4201 53rd St	Colonial Heights	\$ 1,075	1br		1/29/2020
Placer	Placer County		Granite Bay	\$ 1,395			1/29/2020
El Dorado	El Dorado County		El Dorado Hills	\$ 1,500			1/29/2020
Placer	Lincoln			\$ 1,200	450	\$2.67	2/3/2020
Yolo	Davis	1044 Strawberry Ter	Cannery	\$ 1,500	455	\$3.30	2/3/2020
Sacramento	Sacramento	3556 Folsom Blvd	East Sacramento	\$ 1,300	550	\$2.36	2/3/2020
Placer	Roseville		West Roseville	\$ 1,595	550	\$2.90	2/3/2020
Sacramento	Sacramento		Midtown	\$950	700	\$1.36	2/3/2020
Placer	Lincoln		Lyles near 193	\$ 1,200	1br		2/3/2020
Sacramento	Folsom		American River Canyon	\$ 1,700	550	\$3.09	2/7/2020
Sacramento	Sacramento County	7619 Blue Bell Cir	Vineyard	\$ 1,200	600	\$2.00	2/7/2020
El Dorado	El Dorado County		West of Placerville	\$ 1,500	600	\$2.50	2/7/2020
Sacramento	Sacramento		Natomas	\$ 1,200	650	\$1.85	2/7/2020
Sacramento	Sacramento County		North Highlands	\$750	1br		2/7/2020
County	Jurisdiction	Address	General Location	Price	Sq Ft	Price/Sqft	Date Found
Sacramento	Sacramento	1740 39th Street	East Sacramento	\$871	1br		2/7/2020
Sacramento	Sacramento	5351 B Street	East Sacramento	\$ 1,211	1br		2/7/2020
Yolo	West Sacramento		Southport	\$ 1,550			2/7/2020



Sacramento	Galt	134 Oak Avenue	Central Galt	\$750	1br		2/13/2020
Sacramento	Sacramento	2418 28th St	Midtown	\$ 1,500	1br		2/13/2020
Sacramento	Sacramento			\$600			2/13/2020
Sacramento	Sacramento		Elmhurst	\$950			2/13/2020
Yolo	Woodland		Central Woodland	\$ 1,200	300	\$4.00	2/28/2020
Sacramento	Sacramento	1310 P St	Downtown	\$ 1,395	500	\$2.79	2/28/2020
Sacramento	Sacramento County		Fair Oaks	\$ 1,580	600	\$2.63	2/28/2020
El Dorado	Placerville		Placerville	\$ 1,600	700	\$2.29	2/28/2020
Sacramento	Sacramento		Natomas	\$ 1,100	720	\$1.53	2/28/2020
Sacramento	Sacramento	2418 28th St	Midtown	\$ 1,500	1br		2/28/2020

## Appendix G Homeless Resources

### HOMELESS RESOURCES/FOOD BANKS

#### **Abundant Life Fellowship**

[www.alfchurch.org](http://www.alfchurch.org)

706 Atlantic Street, Roseville (916) 783-1989

Hours: Wed. 10 am – 12: 00 pm

Food and clothes closet services available. Food can be obtained once per month, and more on an emergency basis. Need photo ID.

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#### **Antelope Springs Church Food Closet**

4555 PFE Rd, Roseville (916) 773-7727

Hours: Mon. – Fri and the last Sat of each month. 10am – 2pm, with the exception of December. Closed on all Federal holidays.

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#### **Auburn Interfaith Food Closet**

[www.auburnfoodcloset.com](http://www.auburnfoodcloset.com)

21972 Earhart Ave #301, Auburn (530) 885-1921

Hours: Mon-Fri 10:00 a.m. – 2:00 pm and the last Saturday of the month (except in December). Closed on all Federal Holidays.

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#### **Bridgeway Christian Church Food Bank**

3735 Placer Corporate Dr, Rocklin (916) 768-1030

Hours: Thurs. 10:00 am – 12:00 pm

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#### **Elijah's Jar Food Closet and Emergency Clothes**

[www.elijahsjar.org](http://www.elijahsjar.org)

24617 Foresthill Road, Foresthill (530) 367-3085

Hours: Wed 10:30 am – 12:30 pm / Fri 1:30 – 3:30 pm / 3<sup>rd</sup> Thurs of month 8:00 – 10:00 am

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#### **The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children's services and more.

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#### **Francis House Center**

[www.francishousecenter.org](http://www.francishousecenter.org)

1422 C Street, Sacramento, CA (916) 443-2646

Emergency shelter for families with children, homeless housing, job development center, Social Security Disability Advocate, anger management, assistance for veterans.

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#### **Gathering Inn**

[www.thegatheringinn.com](http://www.thegatheringinn.com)

201 Berkeley Avenue, Roseville, CA 95678 (916) 791-9355

Programs include a shelter, showers, community health clinic, 12-step support group, clothing closet and case management referrals. Up to 50 beds available nightly on a revolving basis. Year-round availability. Must have a current T.B. test.

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#### **Harvest Community Church Food Bank**

1376 Blue Oaks Blvd, Roseville (916) 771-4781

Tuesdays 4:30 – 5:30 pm

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#### **Lazarus Project, Inc.**

[www.lazarusprojectinc.org](http://www.lazarusprojectinc.org)



P.O. Box 1241, Roseville, CA 95678 (916) 772-6833

Housing and comprehensive support services

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**Lighthouse Rescue Mission**

[www.lighthouserescue.org/info/](http://www.lighthouserescue.org/info/)

Tulare, CA (559) 687-8317

Faith-based shelter for women and children.

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**Loomis Basin Food Bank**

[www.loomisfumc.org](http://www.loomisfumc.org)

First United Methodist Church of Loomis

6414 Brace Rd, Loomis (916) 652-0469

Mon-Fri 9:00 a.m. – 1:00 p.m.

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**Lutheran Social Services of Northern California**

[www.lssnorcal.org](http://www.lssnorcal.org)

4390 47<sup>th</sup> Ave, Sacramento, CA (916) 453-2900

Housing programs for homeless families, individuals and youth.

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**Mather Community Campus**

[www.voa-sac.org](http://www.voa-sac.org)

3587 Bleckley Street, Mather (AFB) CA (916) 228-3100

10626 Shirra Ave, Mather, (AFB) CA 95655

Provides up to a two year transitional living program for homeless individuals and families with additional training and employment referrals. There are eligibility requirements, waiting list, and a referral process that you must complete through a Social Worker. Intake by referral, usually by an emergency homeless shelter. Operated by Volunteers of America.

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**Mosaic Christian Church Food Bank**

4430 Granite Dr, Rocklin (916)632-8600

Hours: Wed 8:30 am – 12:00 pm / Fri 2:00 pm – 5:00 pm

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**Next Move Sacramento**

Email: [info@nextmovesacramento.org](mailto:info@nextmovesacramento.org)

[www.nextmovesacramento.org](http://www.nextmovesacramento.org)

2925 34<sup>th</sup> St., Sacramento, CA 95817 (916) 454-2120

Provides services to Sacramento County homeless families (with children). Temporary emergency shelter, meals, transportation, health services, clothing. Maximum stay 60 days.

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**Placer Food Bank**

[www.placerfoodbank.org](http://www.placerfoodbank.org)

8284 Industrial Ave, Roseville (916) 783-0481 FAX (916) 783-4013

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**Placer County Food Bank (Second Harvest)**

Seventh Day Adventist Church, 12225 Rock Creek, Auburn (916) 783-0482

Hours: third Monday of each month 8:00 am – 10:00 am

OR

24601 Harrison, Foresthill (916) 783-0482

Hours: third Thursday of each month 8:30 am – 10:00 am

OR

McBean Park, 4<sup>th</sup> & D Streets, Lincoln (916) 783-0482

Hours: First Wednesday of each month 8:30 am – 10:30 am

OR

Rocklin Community Center 5400 5<sup>th</sup> Street, Rocklin (916) 783-0482

Hours: Thurs. 8:30 am – 10:30 am

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**Placer County Food Bank**

Seniors:

Warehouse 1125 Circuit Ave, Roseville (916) 783-0482

Hours: First Monday of each month 8:00 am – 10:00 am

Non-Seniors

First Methodist Church, 109 Washington, Roseville (916) 783-0482

Hours: First Thursday of each month 8:30 am – 10:30 am

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**Powerhouse Transition Center (Powerhouse Ministries)**

311 Market Street, Folsom (916) 983-0658 FAX (916) 984-9912

Homeless transition center for women and children. Faith-based.

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**Project MANA Food Bank**

(530) 582-4079 or (775) 298-0008

Truckee - Tues 3:00 pm / Kings Beach - Wed 3:00 pm

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**Roseville Home Start**

Email : [info@RosevilleHomeStart.org](mailto:info@RosevilleHomeStart.org)

[www.rosevillehomestart.org](http://www.rosevillehomestart.org)

Transitional Housing Facility: 410 Riverside Ave., Roseville (916) 782-6667

Therapeutic Client Service Office : 426 Riverside Ave., Roseville

Program includes transitional housing for homeless families for up to one year. Father and/or mother with children. Includes drug and alcohol support groups, financial education, family violence, parenting classes, case management and health clinic. Priority given to Placer County residents and there is usually a waiting list. Also offers emergency housing for homeless.

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**The Salt Mine**

[www.thesaltmine.org](http://www.thesaltmine.org)

590 Lincoln Blvd., Lincoln (916) 645-3778

Programs include transitional housing, food bank (Lincoln and Sheridan residents only), bus tickets, transportation to and from job interviews, emergency auto repairs and prescriptions for the elderly. Hot meals, clothing and showers also available.

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**The Salvation Army**

286 Sutter Street, Auburn (530) 889-3990 (Mon, Wed, Fri, seniors only Thur 10:00 am – 2:00 pm)

233 S. Auburn, Ste. 110, Colfax (530) 346-2722 (food service only, Wed 10am-4pm)

320 S. Canyon Way #A, Colfax (530) 346-2722 (Tues, Wed 10:00 am – 3:00 pm)

100 Lincoln Street, Roseville (916) 784-3233 (Mon-Thur 10:00 am – 3:00 pm / Fri 1:00 – 3:00 pm)

Programs include shelter, food, clothing, prescriptions, emergency bus tickets, meal vouchers, showers, residential treatment and transitional housing programs. \*Bring ID and Social Security card

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**Seventh Day Adventist Church**

[www.aubsda.net](http://www.aubsda.net)

12225 Rock Creek Road, Auburn (530) 823-0345

Homeless people can receive a bag of groceries every week, while other people can only receive food once a month. Spanish speaking services are available. Hot meals on Sat. 8:00 – 9:00 am. Also showers and clothing. Tuesdays 9:00 a.m. – 1:00 p.m.

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**Sierra First Baptist Church Food Bank**

33990 Alta Bonnybrook Rd, Alta (530) 389-2168

Hours: Mon, Wed, Thur, Fri 8:30 a.m. – 12:00 p.m.

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**Sierra Reach Ministries**

[www.sierrareach.org](http://www.sierrareach.org)

18015 Applegate Road, Applegate (530) 878-2705



Hours: Thurs. 9:00 am – 12:00 pm

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**Food, clothing, and referrals available**

**St. Vincent DePaul**

[www.placersvdp.com](http://www.placersvdp.com)

503 Guisepe Court, Roseville (916) 781-3303

Hours: Mon. – Fri. 9:00 am – 4:00 pm      Food Bank: Mon–Fri 9:00 a.m. - 11:00 am

Hot meals: Served at the dining room (105 Bonita, Roseville) Tues – Thurs 12:00 pm -1:30 pm /

Sat & Sun 2:30 pm – 4:00 pm

Clothing and other services also available. Shelter program for families. 14 units, single families with children, food locker, clothing vouchers, medical clinic. Priority waiting list, call on Mondays. No cost to enter the program.

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**Stand Up Placer (Formerly Peace for Families)**

[www.standupplacer.org](http://www.standupplacer.org)

11985 Heritage Oaks Place, Suite 200, Auburn, CA 95603 (530) 885-0443

775 Sunrise Ave Suite 160, Roseville, CA 95661 (916) 773-7273

24-Hour Crisis Line for emergency housing and assistance (800) 575-5352

A private, non-profit community-based organization that provides services to victims of domestic violence and sexual assault in Placer County. Services include: emergency housing, 12-24 month supportive housing, crisis intervention, social and legal services, support groups and counseling.

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**Union Gospel Mission**

[www.ugmsac.com](http://www.ugmsac.com)

400 Bannon Street, Sacramento (916) 447-3268

Homeless resources including women's clothes closet, food bank. Other services include a drug and alcohol treatment program, vocational training and employment assistance.

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**Volunteers of America – Northern California & Northern Nevada**

[www.voa.org](http://www.voa.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 442-3691

A variety of services available including: substance abuse treatment, youth services, transitional housing for former foster youth, senior services, veterans services and housing assistance.

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**Welcome Center**

[www.placer.ca.gov/departments/hhs/adult/welcome-center](http://www.placer.ca.gov/departments/hhs/adult/welcome-center)

11522 B Avenue, Auburn (530) 889-7200

Hours of Operation: Monday - Thursday 10 am - 4 pm      Fun Fridays - 10 am – 2 pm

“Getting Started” Housing Assistance Program every Tuesday 10:00 am – 12:30 p.m.

The Welcome Center is a fun place where anyone can drop-in to enjoy a safe, warm, friendly atmosphere. A consumer run program that is structured by the needs/wants of the community. The programs available are created by the participants for people to enjoy and learn. Programs include community resource referrals for homeless persons, free activity and support groups. Free food is offered on occasion.

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**What Would Jesus Do Ministry**

[www.wwjidinc.org](http://www.wwjidinc.org) (916) 786-9953

Auburn: Tuesdays at 7<sup>th</sup> Day Adventist Church 8:30 – 9:45 am / Thursdays at 1<sup>st</sup> St and Bell Rd, DeWitt Center 8:00 – 9:30 am

Colfax: Tuesdays at Methodist Church, 59 Church St, 8:00 – 9:30 am

Foresthill: Fridays in midtown 7:30 – 8:30 am

**Roseville:** Monday – Friday 8:00 – 9:00 am at Abundant Life Fellowship, 706 Atlantic St. / Sundays at Saugstad Park 8:30 – 9:00 am

WWJD is a mobile van service that provides meals at various locations in Placer County to homeless persons. Once individuals make contact with WWJD personnel, they can request blankets, tarps, sleeping bags, toiletries, laundry soap and other sundries. They have volunteer doctors and nurses to attend to immediate medical needs and provide assistance obtaining authorized medical services. Social work volunteers help with referrals to other homeless services, SSI assistance, transportation to medical appointments and court appearances, Employment Development Department, veterans agencies, disability services and burial arrangements.

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**Women's Empowerment**

[www.womens-empowerment.org](http://www.womens-empowerment.org)

1590 North A Street, Sacramento, CA 95811 (916) 669-2307

A non-profit organization that works with homeless women to help them build the skills they need to go back to work and maintain stable housing. 8 week free program. Daycare and transportation assistance provided. Women receive health education, nutrition, smoking cessation, and relapse prevention. Access to healthcare including eye exams, dental visits, access to care from a private physician, child development assessments, yoga, fitness, and more.

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**SUBSTANCE ABUSE TREATMENT**

**Aegis Medical Systems, Inc.**

Email: [roseville@aegismed.com](mailto:roseville@aegismed.com)

[www.aegismed.com](http://www.aegismed.com)

1133 Coloma Way, Suite C, Roseville, CA (916) 774-6647

Methadone maintenance and detox dependency clinic. Individual and group counseling, anger management, relapse prevention, peer support and perinatal services.

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**Acres of Hope**

[www.acresofhopeonline.org](http://www.acresofhopeonline.org)

P.O. Box 238, Auburn, CA 95604 (530) 878-8030

A spiritually based renewal center that serves homeless women and children by providing them with a home and an environment of structured programming.

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**Alpha Oaks**

Email: [alphaoaks@sbcglobal.net](mailto:alphaoaks@sbcglobal.net)

[www.recoverywomen.com](http://www.recoverywomen.com)

8400 Fair Oaks Blvd. Carmichael, CA (916) 944-3920

2 residential treatment facilities and 1 sober living home for women.

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**Bi Valley Medical Clinic**

[www.bivalley.com](http://www.bivalley.com)

6127 Fair Oaks Blvd. Sacramento (916) 974-8090

310 Harris Ave. Sacramento (916) 649-6793

Methadone program, outpatient detox.

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**Buddy's House**

Email: [buddyshouse@comcast.net](mailto:buddyshouse@comcast.net)

[www.buddyshouse.org](http://www.buddyshouse.org)

1770 Magnolia Drive, Yuba City (530)674-1049 Cell (530) 933-4156 FAX (530) 674-5572

Clean and sober adult transitional living.

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**Center Point**

[www.cpinc.org](http://www.cpinc.org)

11228 Fair Oaks Blvd., Fair Oaks (916) 962-2800 FAX (916) 962-2824



Outpatient substance abuse treatment and residential for men. Social rehabilitation and training services for high risk families, men, women, and women with children, veterans, and ex-offenders. Address issues of homelessness, unemployment, substance abuse disorders, mental illness and medical problems. Outpatient suboxone and methadone detox and maintenance program.

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**Chapa De Indian Health Program**

[www.chapa-de.org](http://www.chapa-de.org)

11670 Atwood Road, Auburn (530) 887-2840 FAX (530) 887-2819

Outpatient substance abuse program including behavioral health, co-occurring, support services, counseling, prevention programs, information and referrals, perinatal services, sliding fee schedule. Free for Native Americans.

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**Chico Rescue Mission**

[www.chicorescuemission.org](http://www.chicorescuemission.org)

2612 Esplanade, Chico, CA 95973 (530) 343-1935

12-month faith based residential treatment program for men.

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**Clean & Sober Detox**

[www.cleanandsoberdetox.org](http://www.cleanandsoberdetox.org)

Sacramento (916) 965-3386

Residential detox for adults; clients may stay up to 14 days.

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**Clean & Sober Recovery Services**

[www.candsrecovery.com](http://www.candsrecovery.com)

5820 Chestnut Ave, Orangevale, CA (916) 990-0190

Complete detox program, residential treatment and transitional housing for men and women (adults).

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**Clean & Sober Transitional Living**

[www.cleanandsobersacramento.com](http://www.cleanandsobersacramento.com)

8934 Madison Ave, Fair Oaks, CA (916) 961-2691 (916) 990-0190

Transitional housing, detox, intervention and recovery services.

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**C.O.R.E. Medical Clinic**

[www.coremedicalclinic.com](http://www.coremedicalclinic.com)

2100 Capital Ave, Sacramento (916) 442-4985 FAX (916) 442-1029

Outpatient suboxone and methadone detox and maintenance program. Opiate addiction treatment and counseling.

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**CORR- Community Recovery Resources**

[www.corr.us](http://www.corr.us)

180 Sierra College Dr, Grass Valley (residential, transitional, outpatient)

(530) 273-9541 FAX (530) 273-7740

12525 Shale Ridge Rd, Auburn (residential)

(530) 885-1961 FAX (530) 885-0713

12183 Locksley Ln, Auburn (DUI, outpatient, Mothers in Recovery)

1530 Third St #212, Lincoln

(916) 434-8927

730 Sunrise Ave #200, Roseville

(916) 782-3737

8491 North Lake Blvd., Kings Beach (Tahoe) (530) 889-8701

Residential and outpatient substance abuse treatment, transitional housing, detox, mental health and recovery services, family services, intervention services, adolescent programs, DUI and PC1000 programs. Medi-Cal and private insurance accepted, sliding fee scale.

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**D & A Detox**

[www.dandadetox.net](http://www.dandadetox.net)

2721 Barbera Way, Rancho Cordova, CA (916) 364- 7660(888) 595-9709

Non-profit organization licensed by the CA Dept of Alcohol and Drug Programs. 5-10 day residential detox, 28, 60 and 90 day men's residential treatment, outpatient, clean and sober living homes and counseling available. Self-help meetings on site and community service activities.

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**Delancey Street**

[www.delanceystreetfoundation.org](http://www.delanceystreetfoundation.org)

600 Embarcadero Street, San Francisco, CA (415) 512-5104 FAX (415) 512-5141

Long-term, free residential treatment program with vocational training. Must be in good health, no sex offenders, "dual-diagnosis" or psychiatric medications.

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**Drug Abuse Hotline**

[www.samhsa.gov/treatment](http://www.samhsa.gov/treatment)

(800) 662-HELP (4357)

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**The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children's services and more.

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**Gateway Foundation**

[www.gatewayforwomen.org](http://www.gatewayforwomen.org)

4049 Miller Way, Sacramento, CA (916) 451-9312 FAX (916) 451-4018

Women only. Residential treatment, counseling, family program, transitional living, support groups, information and referrals.

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**Good News Rescue Mission**

[www.gnrm.org](http://www.gnrm.org)

2842 S. Market Street, Redding, CA (530) 242-5920 FAX (530) 541-8745

*Men's New Life Recovery Program:* 12-18 month Christian-based residential treatment. Program includes bible study, relapse prevention, anger management, vocational training. Contact (530) 244-6800.

*Women's and Children's Ministries / House of Hope:* 12-24 month Christian-based residential treatment. Program includes bible study, relapse prevention, transitional, post-graduate programs and assistance. Contact (530) 241-3608.

*In-Step Dual Diagnosis Program (Mental Illness + Substance Abuse):* Co-case management with Shasta Co. Mental Health. Substance abuse treatment. Contact (530) 241-5754.

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**Harbor Light Center Recovery Home (Salvation Army)**

[www.tsagoldenstate.org/goldenstate/harbor\\_light](http://www.tsagoldenstate.org/goldenstate/harbor_light)

1275 Harrison St. San Francisco, CA (415) 503-3006

Comprehensive chemical dependency treatment for men, women and families. Detox and 6-12 month residential treatment program. Free.

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**Hope House / Serenity House**

[www.corr.us](http://www.corr.us)

303 Bennett Street, Grass Valley (530) 271-1140 FAX (530) 273-7036

Intensive 90 day men's and women's residential treatment programs operated by CORR. Participants in the program may have up to 2 of their young children with them. Multiple funding sources available based on qualifications.

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**Hope, Help and Healing**

[www.irecover.org](http://www.irecover.org)

Email: [office@hhhine.com](mailto:office@hhhine.com)



11960 Heritage Oak Place #20, Auburn (530) 885-4249

State licensed and certified drug and alcohol residential treatment facility and sober living environment for men and women. Also has men's and women's transitional living homes. Services include four homes in Auburn with 30 beds for men and women that are homeless, recovering from substance abuse or recently released from jail or prison. Outpatient services also available (anger management, domestic violence, etc.)

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**House of Metamorphosis**

[www.houseofmetamorphosis.org](http://www.houseofmetamorphosis.org)

2970 Market Street, San Diego, CA 92102 (619) 236-9492

Free residential treatment program. Non-profit organization.

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**Jericho Project**

[www.jericho-project.org](http://www.jericho-project.org)

470 Valley Drive, Brisbane, Ca. 94005 (415) 656-1700 FAX (415) 467-9011

State-licensed 12 month residential treatment program for men.

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**Kaiser Permanente – Alcohol and Drug Programs**

[www.kp.org](http://www.kp.org)

2829 Watt Ave. #150, Sacramento, CA (916) 482-1132 FAX (916) 979-3501

8247 E. Bruceville Rd, Sacramento (916) 525-6790

2155 Iron Point Rd, Folsom (916) 817-5646

For Kaiser members only. Residential treatment, outpatient counseling, detox, support groups, information and referrals. Services for adults and adolescents.

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**K.I.S.S. House (Keep it Simple Sister)**

9370 Eckerman Rd. Roseville (916) 532-1757 FAX (916) 791-0699

Contact: Barbara Weaver

Women and children only. 4 houses located in Placer County. Services include parenting classes, 12 step programs. Cost is \$450 per month per adult, \$100 per child. No food is provided.

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**Madison House**

[www.clean-and-sober-living.com](http://www.clean-and-sober-living.com)

8938 Madison Ave, Fair Oaks, CA (916) 961-2691

Long-term clean and sober living environment, detox and residential treatment. 12 step program and many other resources. 13 homes in the Sacramento area.

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**Mercy Multiplied**

[www.mercymultiplied.com/about-our-residential-program](http://www.mercymultiplied.com/about-our-residential-program)

Corporate Office: P.O. Box 111060, Nashville, TN 37222

(615) 831-6987 Admissions FAX (615) 831-9953

One location in Lincoln, CA; other locations in Tennessee, Louisiana and Missouri. A free Christian-based, 6 month residential treatment program for young women to age 28. Voluntary basis only, residents can have no pending legal matters and must be in good health.

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**Mexican-American Alcoholism Program (MAAP)**

[www.maap.org](http://www.maap.org)

4241 Florin Rd #65, Sacramento, CA (916) 394-2323

3612 Madison Ave #29, North Highlands, CA (916) 338-6835

2515 48<sup>th</sup> Ave. Sacramento (Mi Casa Recovery Home)

DUI programs, Hispanic AIDS/HIV education, prevention project, out-patient youth program, bilingual staff. \*Mi Casa is a social model 30, 60 or 90 day residential substance abuse treatment facility for both men and women. 12 week aftercare offered and encouraged.

**National Council on Alcohol and Drug Dependence (NCADD) (Options for Recovery)**

[www.ncaddsac.org](http://www.ncaddsac.org)

2143 Hurley #101, Sacramento (916) 922-5121

Outpatient treatment for adults and adolescents, residential treatment for pregnant or parenting mothers, support groups, drug diversion programs, information and referrals, Sliding fee scale.

**Nevada County Behavioral Health**

[www.mynevadacounty.com](http://www.mynevadacounty.com)

500 Crown Point Circle #120, Grass Valley

(530) 265-1437 FAX (530) 271-0257

Outpatient substance abuse counseling, Drug Court, perinatal services, dual-diagnoses group, screening and assessment.

**New Dawn**

<http://www.newdawntreatmentcenters.com/>

Sacramento (866) 969-4300

Treatment for substance abuse and eating disorders for teens and adults. Outpatient, residential and detox.

**New Directions Counseling Association**

[www.newdirectionsca.com](http://www.newdirectionsca.com)

7996 Old Winding Way #300, Fair Oaks, CA

(916) 966-4523 FAX (916) 966-4599

3294 Royal Dr., Suite 204-C, Cameron Park

(916) 966-4523

Outpatient treatment includes drug court, perinatal and co-occurring. Programs for adolescents, teens, young adults and adults and families with substance abuse issues.

**New Leaf Counseling**

Main office: 1254 High Street, Auburn

(530) 889-9195 FAX (530) 889-9197

Residential treatment: 11835 Lorenson Rd. Auburn

(530) 823-9827

Women with or without children. 1 year maximum program, limit of 2 children (flexible). Services include transitional housing, residential and out-patient substance abuse treatment programs. 2 residential houses in the Auburn area. Medi-Cal accepted

**Oak House**

6060 Sunrise Vista Rd. Citrus Heights, CA

(916) 721-9699 toll-free (866) 301-9699

Outpatient and aftercare services. Licensed and certified residential drug and alcohol treatment program for men. Detox and intensive outpatient for men, women and adolescents. Transitional living and intervention specialists.

**Pacific Educational Services -PES-eps, Inc.**

[www.pesprograms.com](http://www.pesprograms.com)

Corporate Office: 11837 Kemper Road Ste. 2, Auburn

(800) 346-5891 (530) 888-1010

Satellite Office: 901 H St., Suite #103, Sacramento

(916) 447-1010

Outpatient counseling services available in Roseville and Auburn. Moral Recognition Therapy (MRT) Program, relapse prevention, substance abuse treatment, DUI programs. Services are provided in individual and group counseling.

**Pathways**

[www.yspathways.net](http://www.yspathways.net)

430 Teagarden Ave. Yuba City, CA

2 9<sup>th</sup> Street, Marysville

Main Office: (530) 674-4530

Treatment: (530) 742-6670

DUI: (530) 674-4530

Prevention: (530) 674-4530

FAX: (530) 674-4544



DUI program, youth program, support groups, information and referrals, residential treatment for men and women, day treatment, evening and outpatient programs.

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**Placer County Substance Use Services**

11522 B Ave, Auburn, CA (in the Welcome Center) (530) 889-7240

Adult outpatient treatment for the indigent and uninsured, information and referrals. Provides services to all eligible Placer County residents including those in Drug Court or Prop 36.

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**Placer Mothers in Recovery**

Email: [grassvalley@corr.us](mailto:grassvalley@corr.us) [www.corr.us](http://www.corr.us)

(First 5 Placer Children and Families Commission)

12183 Locksley Ln, Auburn, CA (530) 889-8701 FAX (530) 889-8794

Services include family recovery plans, individual sessions, group counseling sessions, child care, parenting and life skills, anger management, money management, literacy classes. Assist in addressing issues in depression and anxiety, parenting, abuse, drug/alcohol relapse, etc. Fees are based on a sliding scale.

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**Powerhouse Transition Center**

[www.phmfolsom.org/programs/powerhouse-transformation-center/](http://www.phmfolsom.org/programs/powerhouse-transformation-center/)

311 Market St, Folsom, CA (916) 983-0658

Program is up to 2 years, free of charge, women only, children allowed. Residential treatment program includes substance abuse treatment, parenting classes, life skills, financial skills and education.

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**Progress House**

[www.progresshouseinc.org](http://www.progresshouseinc.org)

Corporate Office: 2844 Coloma Street (PO Box 1666), Placerville, CA 95667 (530) 626-9240

Twelve residential treatment facilities located throughout the region. Facilities for men and women with or without children. Outpatient treatment and transitional living houses in El Dorado County. Medi-Cal accepted.

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**Recovery Happens**

Email: [info@recoveryhappens.com](mailto:info@recoveryhappens.com)

[www.recoveryhappens.com](http://www.recoveryhappens.com)

7996 Old Winding Way #210, Fair Oaks, CA (916) 276-0626 FAX (916) 241-9836

204 F Street #E, Davis, CA

3017 Douglas Blvd, 3<sup>rd</sup> Floor, Roseville CA

Locations in Fair Oaks, Davis and Roseville. Weekly individual, group or family counseling. Outpatient treatment with mental health component for adults and adolescents.

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**Recovery Now**

[www.recoverynow.net](http://www.recoverynow.net)

433A 5<sup>th</sup> Street, Roseville (916) 868-2207

Clean and sober living for men/women who are committed to working a program. Several houses in Roseville.

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**Redwood Gospel Mission**

[www.srmission.org](http://www.srmission.org)

101 6<sup>th</sup> Street, Santa Rosa, CA 95401 (707) 542-4817

10-18 month faith-based residential treatment program. Program includes a 12-step program, relapse prevention, anger management, living skills, counseling and bible study. Men and women.

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**Sacramento Recovery House**

Email: [sacrec@pacbell.net](mailto:sacrec@pacbell.net)

[www.sacramentorecoveryhouse.org](http://www.sacramentorecoveryhouse.org)

1914 22<sup>nd</sup> Street, Sacramento (916) 455-6258 FAX (916) 455-5667

Residential treatment program and transitional housing for men. Sliding fee scale for Sacramento County residents.

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**Sacramento County Alcohol and Drug Services**

3321 Power Inn Rd. Ste. 120, Sacramento, CA (916) 874-9754

Resource agency for substance abuse services in Sacramento County.

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**The Salvation Army**

**Adult Rehabilitation Center**

1615 D Street, Sacramento, CA (916) 441-5267 FAX (916) 441-1758

Free faith-based 6-month residential drug treatment program, 85 beds. Other locations throughout the area.

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**Screening Clinic (Placer County HHS ASOC)**

(530) 889-7240

Free screening clinic for all Placer County residents to screen for substance abuse issues and make recommendations regarding resources, services and treatment options. First come, first served basis.

Monday: 10 – 11 am at 101 Cirby Hills Dr. Roseville

Tuesday: 1 – 2 pm at 11522 B Ave Auburn (Welcome Center)

Wednesday: 1 -2 pm at 10810 Justice Center Drive, Roseville (PREP Center)

Thursday: 4 – 5 pm at 101 Cirby Hills Dr. Roseville

Friday: 10 -11 am at 11522 B Ave Auburn, CA (Welcome Center)

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**Serenity House**

1196 Arcade Blvd. Sacramento (916) 927-7728

Clean and sober living environment for women including substance abuse treatment.

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**Sierra Mental Wellness**

[www.sierramentallowellness.org](http://www.sierramentallowellness.org)

333 Sunrise Ave #701, Roseville (916) 783-5207

560 Wall Street #D, Auburn (530) 885-0441

2690 Lake Forest Road #B, Tahoe City, CA (530) 581-4054

A variety of classes and programs offered including: mental health counseling, individual/family therapy, support groups, 52 week domestic violence, parenting classes, DUI program, outpatient drug treatment. Sliding fee scale.

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**Sierra Native Alliance**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

610 Auburn Ravine Road, Suite G, Auburn (530) 888-8767 FAX (530) 888-8757

A variety of services, including: outpatient treatment, parenting classes, family services, cultural education and youth programs, with a Native American perspective.

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**Strategies for Change**

[www.strategies4change.org](http://www.strategies4change.org)

4441 Auburn Blvd Suite E, Sacramento (916) 473-5764 FAX (916) 473-5766

4343 Williamsborough Dr., Sacramento (916) 395-3552 FAX (916) 395-3683

Substance abuse counseling, domestic violence, anger management, co-occurring, parenting classes, runaway substance-abusing teens, mental health screening, services for HIV positive individuals and their families. Medi-Cal and private insurance accepted, sliding fee scale.

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**Teen Challenge**

[www.teenchallengeusa.com](http://www.teenchallengeusa.com)

Administrative Office: 10017 Folsom Blvd. #100, Sacramento (916) 362-2800 FAX (916) 362-3700

Twin Rivers Center – Crisis Center for Women: 560 Cooper Ave, Yuba City CA (530) 751-9511



Sacramento Crisis Center for Men: 1613 18<sup>th</sup> Street, Sacramento (916) 443-3049  
 Alpha-Henson Women's Center: 300 Stardust Lane, Lincoln CA (916) 645-3807  
 Email: [svtc@teenchallenge.ws](mailto:svtc@teenchallenge.ws) or [ahwc@teenchallenge.ws](mailto:ahwc@teenchallenge.ws)

Free faith-based residential treatment programs for men and women. Long-term, free-of-charge.

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**Union Gospel Mission**

[www.ugmsac.com](http://www.ugmsac.com)

400 Bannon Street, Sacramento (916) 447-3268

Homeless resources including women's clothes closet, food bank. Other services include a drug and alcohol treatment program, vocational training and employment assistance.

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**Vitality Lake Tahoe**

[www.vitalityunlimited.org](http://www.vitalityunlimited.org)

1137 Emerald Bay Rd, South Lake Tahoe, CA (775) 738-8004

Outpatient: (530) 541-5190 Residential: (530) 541-5440

Residential treatment, outpatient, detox, transitional housing, support groups, co-occurring, DUI and PC 1000 programs. Medi-Cal and private insurance accepted. Sliding fee scale.

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**Volunteers of America – Northern California & Northern Nevada**

[www.voan-cnn.org](http://www.voan-cnn.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 228-3153 or (916) 448-1236

A variety of services available including: substance abuse treatment, youth services, transitional housing for former foster youth, senior services, veteran's services and housing assistance.

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**Well Space Health (Formerly The Effort)**

[www.wellspacehealth.org](http://www.wellspacehealth.org)

Roseville, Folsom, Sacramento (916) 737-5555

Substance abuse treatment and counseling, mental health services, and AIDS education and prevention. Co-ed. Medi-Cal and Medicare accepted.

## SUPPORT PROGRAMS

**AA – Alcoholics Anonymous**

[www.aasacramento.org](http://www.aasacramento.org) and [www.acypaa.org](http://www.acypaa.org)

Central Office: 9960 Business Park Dr. #110, Sacramento, CA (916) 454-1771

24 hour hotline – (916) 454-1100

Roseville – (916) 624-6807

Auburn – (530) 888-3607

Tahoe – (530) 546-1126 or (530) 541-1243

Grass Valley / Nevada City – (530) 272-6287

Support groups for anyone concerned about their alcohol use, 12-step program.

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**Al-Anon / Alateen**

[www.al-anon.org](http://www.al-anon.org)

Sacramento: (916) 454-1100

Roseville: (916) 624-6807

Tahoe area: (530) 546-1126 or (530) 541-1243 Info Center: (916) 334-2970

Support groups for people concerned about another's drug or alcohol use. 24/7 phone coverage.

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**Celebrate Recovery at Bayside Church**

[www.baysideonline.com](http://www.baysideonline.com)

8191 Sierra College Blvd, Roseville, CA Building B, Room B-121

Faith-based, open to all. Every Friday night year 'round. Dinner 6:00 – 7:00 p.m. for \$5.00. Large group session 7:00 – 8:00 p.m. Small groups 8:00 – 9:00 p.m. Conversation, coffee and deserts 9:00 – 10:00 p.m. for \$1.00.

Men's and women's groups in a variety of topics.

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**CODA**

[www.codependents.org](http://www.codependents.org)

Toll free (888) 444-2359

Spanish: (888) 444-2379

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Co-dependency, anonymous.

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**NA – Narcotics Anonymous**

[www.na.org](http://www.na.org) or [www.sfana.org](http://www.sfana.org)

(800) 600-4673 or (800) 477-6291 or (916) 732-2299 or (530) 546-1116 Help line (530) 645-1635

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Support groups throughout the area for anyone concerned about their drug use. Information and referrals.

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**Rational Recovery**

[www.rationalrecovery.org](http://www.rationalrecovery.org)

P.O. Box 800, Lotus, CA 95651 (530) 621-4374 or (530) 621-2667

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Planned abstinence from substance abuse, using addictive voice recognition technique. Non 12 Step program, online program.

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**Road 2 Recovery**

[www.facebook.com/pages/Road-to-Recovery/271719042919157](https://www.facebook.com/pages/Road-to-Recovery/271719042919157)

Parkside Church - 3885 Richardson Dr. Auburn (across from Regional Park, by Chana H.S.)

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Christian-based twelve step program. Dinner included, child care available. Every Friday at 6:30 p.m.

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**White Bison / Warrior Down**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

3885 Richardson Drive, Auburn (530) 363-8526

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Native American recovery groups at Sierra Native Alliance. Tuesdays and Thursdays 6:00 – 7:30 p.m.

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**PUBLIC ASSISTANCE**

**Auburn at DeWitt Center**

11542 B Avenue, Auburn CA (530) 889-7610

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

**Rocklin**

1000 Sunset Blvd. #220, Rocklin, CA (916) 784-6000

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

**North Lake Tahoe at Carnelian Bay**

5225 North Lake Blvd. Carnelian Bay, CA 96140 (530) 546-1900

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

Programs include food stamps, Medi-Cal health insurance, Medical Care Services Program (MCSP), CalWORKS/TANF, Housing Choice Voucher Program and General Relief / Assistance. To apply, applicant must bring the following:

- Photo ID
- Social Security / Alien Status / Temporary Residency Card
- Verification of Placer County residency (rent/lease agreement in applicants name, note from landlord or roommate, or utility bill in applicants name)
- Verification of income (pay stub, benefits, tax return or log of cash receipts or other miscellaneous income)



- Verification of Assets
- Applicant may also be asked for proof of free services attained (housing, utilities, food, etc), vehicle registration, life or health insurance policies, medical application documents, or other documents determined necessary by the eligibility worker.

### **Placer County Health and Human Services**

[www.placer.ca.gov/departments/hhs.aspx](http://www.placer.ca.gov/departments/hhs.aspx)

3091 County Center Dr. #290, Auburn (530) 886-1870 FAX (530)745-3135  
 5225 North Lake Blvd., Carnelian Bay, CA (Tahoe)(530) 546-1900 FAX (530) 546-1912

**Medical clinics:** 11583 C Ave, Auburn (530) 889-7215  
 8665 Salmon Ave, Kings Beach (530) 546-1970

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### **Social Security Office**

11855 Edgewood Road, Auburn (866) 931-6087 National toll-free (800) 772-1213  
 Hours: Monday – Friday 9:30 a.m. – 4:30 p.m. Closed on federal holidays.

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## **YOUTH AND FAMILY SERVICES**

### **Above All Adventures**

[www.facebook.com/abovealladventures/?fref=ts](https://www.facebook.com/abovealladventures/?fref=ts) and [www.abovealladventures.org](http://www.abovealladventures.org)

Mike Pugh (530)852-2128 or Rhonda Olsen (707)529-2361 Email: [abovealladventures@gmail.com](mailto:abovealladventures@gmail.com)

Non-profit organization that provides an Experiential Seminar and Outdoor Adventure program for teens based in and around Auburn, California. Provides teens with opportunities to challenge themselves and learn life skills, and to build team and leadership skills.

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### **Auburn Hip Hop Congress**

[www.facebook.com/HHC530/](https://www.facebook.com/HHC530/) and [www.auburnhiphopcongress.strikingly.com](http://www.auburnhiphopcongress.strikingly.com)

808 Lincoln Way, Auburn, CA 95603 (530) 368-4455

Non-profit organization for teens and young adults that offers positive events, concerts, and open mics, arts and music workshops, youth ambassador programs, leadership trainings, community service opportunities.

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### **Boys & Girls Club**

[www.bgcplacercounty.org](http://www.bgcplacercounty.org)

679 Lincoln Way, Auburn CA 95603 (530) 889-2273

Non-profit organization for ages 13-18. Homework assistance, sports, arts, dance, nutrition, games, safety/prevention programs, computers, career programs and more.

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### **California Conservation Corps**

[www.ccc.ca.gov](http://www.ccc.ca.gov)

(800) 952-JOBS (5627)

Non-profit organization for young men and women ages 18-25. Cannot be on probation or parole. Participants work outdoors to protect and restore California' natural environment, and respond to disasters. Classes in career planning, specialized training courses and more.

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### **California Friday Night Live Partnership**

[www.fridaynightlive.org](http://www.fridaynightlive.org)

Placer County Regional Liason – Kara Sutter (530) 889-7179

Encourages youth-adult partnerships and facilitate positive drug-free events for teens. Local chapters throughout the state.

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**California Youth Crisis Line (CA Coalition for Youth)**

[www.youthcrisisline.org](http://www.youthcrisisline.org)

24 hour hotline (800) 843-5200

Crisis counseling, information and referrals, connection to services, confidential. For youth and families. Multiple languages.

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**Child Advocates of Placer County**

[www.casaplacer.org](http://www.casaplacer.org)

3715 Atherton Rd #1, Rocklin CA 95765 (530)887-1006

Non-profit organization that provides foster children with Court Appointed Special Advocates (CASAs), at-risk youth with dedicated A2Y (Adult-to-Youth) mentors, and at-risk parents with family mentors.

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**Crisis Resolution Center**

[www.kfh.org/services/crc.cfm](http://www.kfh.org/services/crc.cfm)

Loomis, CA 24-hour toll-free (866) 251-7584

Free and confidential services for teens and their families in crisis. 6-bed co-ed short-term group home facility for ages 12-17, provides counseling and reunification services, conflict resolution, referrals and more. The minor cannot currently be on formal probation, in foster care, or suicidal.

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**iFoster**

[www.ifoster.org](http://www.ifoster.org)

(855) 936-7837

Hundreds of free or greatly discounted products and services available through iFoster's corporate, government, and non-profit partners to help with school, youth employment, recreational activities, parenting child care, health, household expenses, food, clothing, and other personal needs. To qualify, must be one of the following: transition-age foster, kinship or probation youth (16-24); foster family; kinship family or relative caregiver; legal guardian; adoptive family; or an agency serving of these.

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**K.E.Y.S.**

1000 Sunset Blvd. #140, Rocklin CA 95677

(916) 784-6437 (contact Michelle Graf)

Collaborative program with the Placer County Office of Education, Department of Rehabilitation and PRIDE Industries that provides pre-vocational training and job placement to youth ages 16-19, who are or have been in out-of-home placement, reside in or attend school in Placer County, and have a disability.

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**Kids First**

[www.kidsfirstnow.org](http://www.kidsfirstnow.org)

124 Main Street, Roseville (916) 774-6802

11960 Heritage Oaks Place, #3 Auburn (530) 887-3536

Parenting classes, family counseling, healing therapy for child victims of abuse and neglect. Enrollment of children in low/no-cost health insurance. After school activities for kids. Parent education, training and coaching. Sliding fee scale.

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**KidZKount**

[www.kidzkount.com](http://www.kidzkount.com)

Main Office – 1166 High St, Auburn, CA (530) 885-KIDS (5437) Toll free (800) 655-0432

Application line – (530) 886-4122

Free programs for infants and toddlers, preschool, Prenatal – age 5, Head Start, supportive home visiting program. Sites throughout Placer and Nevada Counties. Non-profit agency funded by the Department of Health and Human Services.

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**K.I.N.D. – Kids in Need Of Diversion Program / Golden Sierra Life Skills**

[www.goldenlifeskills.org](http://www.goldenlifeskills.org)

3240 Professional Dr. #A, Auburn CA 95603

(530) 887-9245

FAX (530) 887-1379



Non-Profit organization that provides an education-based intervention and diversion program for youth 11-17 years old. Topics include: anger management, bullying, gangs, communication, conflict resolution, drugs/alcohol, smoking, cheating, fighting, theft, truancy, stress, and more. Other programs include: Co-Parenting and Men, Infants, and Children (MIC)

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**Latino Leadership Council**

[www.latinoleadershipcouncil.org](http://www.latinoleadershipcouncil.org)

2945 Bell Road, Auburn #274 (530) 333-9230

Non-profit organization. Provides a wide variety of services, including: substance abuse prevention, gang prevention, teen pregnancy prevention, Parent Project, youth activities and health services, to Spanish-speaking populations.

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**Placer Sheriff's Activities League**

Rock Creek Elementary School

3050 Bell Road, Auburn

Mondays: 2:00 – 4:30 p.m. Wednesdays: 3:00 – 5:30 p.m. Fridays: 3:00 – 5:30 p.m.

Non-profit organization for at-risk youth, ages 11-17. Activities include a variety of sports and tutoring. Free of charge.

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**Sierra Native Alliance**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

610 Auburn Ravine Road, Suite G, Auburn (530) 888-8767 FAX (530) 888-8757

A variety of services, including: outpatient treatment, parenting classes, family services, cultural education and youth programs, with a Native American perspective.

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**Stand Up Placer (Formerly Peace for Families)**

[www.standupplacer.org](http://www.standupplacer.org)

11985 Heritage Oaks Place, Suite 200, Auburn, CA 95603 (530) 885-0443

775 Sunrise Ave Suite 160, Roseville, CA 95661 (916) 773-7273

24-Hour Crisis Line for emergency housing and assistance (800) 575-5352

A private, non-profit community-based organization that provides services to victims of domestic violence and sexual assault in Placer County. Services include: emergency housing, 12-24 month supportive housing, crisis intervention, social and legal services, support groups and counseling.

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**Teens Matter**

[www.teens-matter.com](http://www.teens-matter.com)

991 Lincoln Way, Auburn (530) 889-2300

Life skills and challenges program for teens and young adults ages 12-20. Scholarships available.

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**Unity Care**

[www.unitycare.org](http://www.unitycare.org)

11716 Enterprise Drive, Auburn (530) 886-5473

Community-based, non-profit, multi-service youth and family development agency. Educational and social programs for at-risk youth and their families. Offers the TIP program (Transition to Independence Process) for ages 14-24 who are experiencing emotional, behavioral, or other challenges.

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**W.A.T.A.H. – We Are Teens Always Helping**

Email: [watah@placer.ca.gov](mailto:watah@placer.ca.gov)

655 Menlo Drive, Rocklin, CA 95765 (530) 886-2868 FAX: (530) 889-6735

The WATAH group is made up of adolescent boys and girls, ages 12-16, who meet on Tuesdays and Thursdays from 4:00 – 5:30 p.m. Intervention for at-risk or out-of-control teens and their families with group

meetings and family team meetings, addressing issues such as: personal feelings, peer pressure, decision making, and goal setting. There are also fun activities included. Free of charge.

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**Western Sierra Youth Build**

[www.wsyouthbuild.com](http://www.wsyouthbuild.com)

12338 McCourtney Road, Grass Valley CA 95949 (530) 272-2643 ext. 203

A public charter school that provides academic and vocational training for youth, ages 18-25, who are in need of a high school diploma. Students also participate in life skills, career development classes, leadership development and community service activities.

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**Whole Person Learning**

11816 Kemper Road, Auburn CA 95603 (530) 823-6903 or (530) 823-2499

FAX (530) 823-6190

A variety of programs that help foster youth transitioning to adulthood. Offers career counseling, college preparation, housing assistance (HOPE and THP-Plus) and other classes.

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**YES (Youth Empowerment Support)**

[www.youthempowermentsupport.com](http://www.youthempowermentsupport.com)

CA 95603 (530) 886-2867

11716 Enterprise Dr, Auburn

Provides opportunities and trainings for community and system transformation as well as direct support, groups, and leadership opportunities for young people at risk of, in, or emancipating out of system services.

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## MENTAL HEALTH AND COUNSELING SERVICES

**Adult Mental Health Services Intake Line**

1-888-886-5401

A no-cost method to request mental health services.

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**Affordable Counseling and Educational Services**

[www.affordablecounseling.net](http://www.affordablecounseling.net)

3101 Sunset Blvd. #6-C, Rocklin(916) 630-9188 FAX (916) 251-7523

Parenting, co-parenting, anger management, 52 week domestic violence, supervised visits, women's healing groups, individual/couples/family counseling. Services for men and women, English and Spanish and are located throughout Placer and Sacramento Counties. Fees are on a sliding scale.

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**Alternatives to Violence Project**

[www.avpcalifornia.org](http://www.avpcalifornia.org)

P.O. Box 3294, Santa Barbara, CA 93130-3294 (800) 905-6765

A multicultural 501(c)3 organization offering experiential workshops that empower individuals to lead peaceful lives through affirmation, respect for all, community building, cooperation, and trust. AVP builds on a spiritual base of respect and caring for self and others, working both in prisons and with groups in the community. Workshops are open to anyone who wishes to attend. The only requirement is that the participant attends voluntarily. Fees are reasonable, with a sliding scale ranging from \$25 to \$125; your choice. Scholarships are available. No one is turned away for lack of funds.

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**BHC Heritage Oaks**

[www.heritageoakshospital.com](http://www.heritageoakshospital.com)

4250 Auburn Blvd. Sacramento (916) 489-3336 FAX (916) 972-0444

Full-service mental health facility for adults and adolescents. Inpatient as well as intensive out-patient program for co-occurring clients.

**C.A.L.M**

152 Maple St #C, Auburn, CA (530) 888-7958  
[www.keslerbrockhoff.com](http://www.keslerbrockhoff.com)

Email Jerry Watkins: [Olbreazy@gmail.com](mailto:Olbreazy@gmail.com)

Anger management, state-certified and court approved 52 week domestic violence program. Bilingual (English/Spanish) Sliding scale fees.

**Insights Counseling Services (formerly New Mourning)**

[www.insightscounselingservices.org](http://www.insightscounselingservices.org)

263 Nevada Station, Auburn (530) 887-1300  
 8207 Sierra College Blvd. #510, Roseville  
 565 Brunswick, #10, Grass Valley

Counseling and grief recovery for adults, children and families.

**Lighthouse Counseling & Family Resource Center**

[www.lighthousefrc.com](http://www.lighthousefrc.com)

427 A Street #400, Lincoln, CA (916) 645-3300

Non-profit organization. No-cost counseling, support, family resources, mental health services and classes. English and Spanish speaking. Classes include: ESL, literacy, parenting, relationship workshops, WIC. Support groups for: depression/anxiety, Hispanic support group, Women's Empowerment.

**Manalive/MAV Center**

Email – [david@mavcenter.org](mailto:david@mavcenter.org)

[www.mavcenter.org](http://www.mavcenter.org)

Main office: 884 Lincoln Way #31, Auburn (530) 392-0714

Non-profit men's program committed to helping age 16 and older stop violence to themselves, their partners and their community. Court approved 52 week domestic violence (batterers treatment program). Classes in Auburn and Roseville.

**Mental Health America of Northern California**

[www.mhanca.org](http://www.mhanca.org)

1908 O Street, Sacramento (916) 366-4600 FAX (916) 855-5448

MHANCA works with individuals and families with mental health challenges to promote wellness and recovery, prevention and improve access to services and supports. Programs include: family advocacy, LGBTQ Reducing Disparities Project, LGBTQ Youth Collaborative, Peer Partner Program, SAFE (Sacramento Advocacy for Family Empowerment), senior peer counseling, support groups, self-help training, and more.

**Nami – National Alliance for the Mentally Ill**

[www.namipc.org](http://www.namipc.org)

P.O. Box 7706, Auburn, CA 95604 (916) 554-0554

Assisted living program - the Summit House in Auburn (AMIH@amihousing.org). Monthly "care and share" meetings for family members of loved ones with mental health issues who need information and emotional support. "Family to family" program, free 12 weekly sessions to help family members understand and support their mentally ill relative.

**National Domestic Violence Hotline**

(800) 799-7233

**New Pathways Counseling**

5890 Newman Court, Sacramento CA (916) 452-7481

Non-profit organization. Low cost counseling for individuals, couples, families and children. Fees based on ability to pay. Mental health services available. Spanish speaking.

**Northern Valley Catholic Social Services**

[www.nvcss.org](http://www.nvcss.org)

Regional office: 2400 Washington Ave. Redding, CA (530) 241-0552

Provides low-cost or free mental health, housing, vocational and support services to individuals and families in California's Northern Sacramento Valley.

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**Pacific Counseling and Trauma Services**

[www.pacifictraumacenter.com](http://www.pacifictraumacenter.com)

706 Natoma St, Folsom CA 95630 (916) 608-4569

Individual, couples, and family therapy for any type of emotional trauma. Also offers EMDR, Brainspotting, and Somatic Archaeology forms of therapy. There is also a 501(c)3 non-profit sector to offer services to individuals regardless of their ability to pay.

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**Pacific Educational Services**

[www.pesprograms.com](http://www.pesprograms.com)

Corporate Office: 11837 Kemper Road Ste. 2, Auburn (800) 346-5891 (530) 888-1010

Satellite Office: 901 H St., Suite #103, Sacramento (916) 447-1010

Parenting and co-parenting program, certified 52 week Batterers Treatment Program, 52 week Child Abusers Treatment Program, anger management (non 52-week), diversion, DUI and Theft Education. Services are also available in Spanish.

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**Placer Counseling Center**

E-mail: [Placercounseling@sbcglobal.net](mailto:Placercounseling@sbcglobal.net)

<http://placer-counseling.marriage-family.com>

1230 High Street #120, Auburn, CA (530) 887-1637

A non-profit agency, reasonable fees and sliding fee scale, flexible appointments. Educational programs include parenting, sexual abuse education, anger management groups, life skills as well as supervised visitation for families, psychotherapeutic / educational groups and individual and family counseling.

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**Placer County Adult Systems Of Care**

[www.placer.ca.gov/Departments/hhs/adult.aspx](http://www.placer.ca.gov/Departments/hhs/adult.aspx)

11512 B Avenue, Dewitt Center, North Auburn (530) 889-7293

101 Cirby Hills Dr. Roseville, CA

Mental health services, substance abuse treatment, crisis services, adult protective services, in-home support services and more. Another service available is for adult men and women with mental illness who have been homeless for 6 months or more and demonstrate a willingness to engage in mental health services to become self-sufficient. Programs include Placer Housing and Recovery Treatment Success, subsidized housing program (up to 12 months) that serves those at risk of homelessness, employment assistance, housing vouchers, mental health rehabilitation, medications, day treatment, health services and vocational and counseling assistance.

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**Placer Dispute Resolution Service**

[www.pdrs.org](http://www.pdrs.org)

P.O. Box 1771, Loomis, CA 95650

(916) 645-9260

Mediation is a way for people to work out their problems and arrive at mutually agreeable resolutions with the help of trained, impartial mediators who facilitate productive, future focused communication between the parties. It is a voluntary, confidential settlement process.

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**Redefining You Therapy**

[www.redefiningyouththerapy.com](http://www.redefiningyouththerapy.com)

3105 1<sup>st</sup> Street, Sacramento, CA 95817 (916) 956-6232

An independent psychotherapy practice. Mental health services. Treat individuals with a wide range of psychiatric disorders and behavioral conditions including: depression, anxiety, chemical dependence,



personal growth and life coaching. Primary focus is treating individuals who have experienced unresolved trauma such as sexual abuse, victims of crime, and veterans who have experienced combat trauma and military families.

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**Sacramento County Behavioral Health Services**

[www.dhhs.sacounty.net](http://www.dhhs.sacounty.net)

Primary Care Center: 4600 Broadway, Sacramento 95820 (916) 875-1055

7001-A East Parkway, Suite 400, Sacramento (916) 875-7070

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**Sierra Mental Wellness Group (formerly SFS)**

[www.sierramentallowellness.org](http://www.sierramentallowellness.org)

333 Sunrise Ave #701, Roseville (916) 783-5207

560 Wall Street #D, Auburn (530) 885-0441

2690 Lake Forest Rd #B, Tahoe City (530) 581-4054

Professional and affordable individual, couple and family counseling, crisis services, child and adolescent programs, substance abuse treatment and prevention, mental health services, certified 52 week Batterers Treatment Program and anger management. Medi-Cal accepted, sliding fee scale.

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**The Trevor Project**

[www.thetrevorproject.org](http://www.thetrevorproject.org)

24 hour crisis line (866) 488-7386

The Trevor Project is the leading national organization providing crisis intervention and suicide prevention services to lesbian, gay, bisexual, transgender and questioning youth.

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**Turning Point (Coloma Center)**

[www.tpcp.org/coloma-center](http://www.tpcp.org/coloma-center)

120 Ascot Center Suite D, Roseville, CA 95561 (916) 786-3760

Intensive adult mental health services for clients 18 and over. Transitional services for clients 18-25.

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**United Advocates for Children and Families (UACF)**

[www.uacf4hope.org](http://www.uacf4hope.org)

Main Office – 2035 Hurley Way, Sacramento (916) 643-1530

Family and friend coordinators/family advocates for families of loved ones with mental, emotional and behavioral issues; programs and services for parents with children with mental health challenges.

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**VIP (Violence Intervention and Prevention) – ManAlive**

[www.vip-manalive.com](http://www.vip-manalive.com)

P.O. Box 216225, Sacramento, CA 95621 1-877-Don't Yell (366-8935) (916) 484-6738

Classes located at: 3101 Sunset Blvd. #6C, Rocklin

Court-approved 52 week batterers treatment program. Classes in Auburn and Roseville. WomanAlive program also available.

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**WEAVE (Women Escaping a Violent Environment)**

[www.weaveinc.org](http://www.weaveinc.org)

1900 K Street, Sacramento

7600 Hospital Drive, Sacramento

(916) 920-2952 or Toll-free (866) 920-2952

Crisis intervention services for survivors of domestic violence and sexual assault in Sacramento County. Also provides outreach and services for international and domestic victims of human trafficking. Services for teens and adults. Confidential emergency temporary housing.

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**Well Space Health (Formerly The Effort)**

[www.wellspacehealth.org](http://www.wellspacehealth.org)

Roseville, Folsom, Sacramento (916) 737-5555

Substance abuse treatment and counseling, mental health services, and AIDS education and prevention. Co-ed. Medi-Cal and Medicare accepted.

**VETERAN'S SERVICES**

**A Bridge to Life Center at Mission Solano**  
[www.missionsolano.org/how-we-help/bridge-to-life](http://www.missionsolano.org/how-we-help/bridge-to-life)  
 310 Beck Ave., Farifield (707) 425-3663

Faith-based, non-profit organization. Emergency shelter, housing, food and mental health counseling for veterans and families.

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**CalVet**  
[www.calvet.ca.gov](http://www.calvet.ca.gov)  
 2007 19<sup>th</sup> St, Sacramento (916) 874-6811  
 1000 Sunset Blvd. #115, Rocklin, CA (916) 780-3296  
 988 McCourtney Rd, Grass Valley (530) 273-3396

Information on resources and referrals for veterans including: housing, employment, education, healthcare, benefits and services.

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**Dr. Page Brown**  
 Email: [pbrown@oro.net](mailto:pbrown@oro.net)  
 254 Colfax Ave # B, Grass Valley (530) 274-9509

No cost counseling, psychological services, psychological evaluations and advocacy for combat veterans of any era.

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**Forgotten Soldier** Email: [info@ForgottenSoldierProgram.org](mailto:info@ForgottenSoldierProgram.org)  
[www.theforgottensoldierprogram.org](http://www.theforgottensoldierprogram.org)  
 991 Lincoln Way, Auburn, CA (530) 889-2300

Free program offering services such as mentoring, holistic healing, life skills tools, education, various types of therapy and counseling for all who have served in any branch of the U.S. military, regardless of discharge type.

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**Gold Country Chaplaincy** Email: [goldcountryadmin@gmail.com](mailto:goldcountryadmin@gmail.com)  
[www.goldcountrychaplaincy.org](http://www.goldcountrychaplaincy.org)  
 PO Box 654, Loomis, CA 95650 (916) 259-1001

Christian-based, non-profit organization that provides services such as: grief support, crisis counseling, and spiritual support for first responders, military veterans, and their families.

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**National Call Center for Homeless Vets** (877) 424-3838 24 hours  
**Sacramento Veterans Resource Center** Email: [vcscac@vetsresource.org](mailto:vcscac@vetsresource.org)  
[www.vetsresource.org](http://www.vetsresource.org)  
 7270 East Southgate Drive, Sacramento CA 95823 (916) 393-8387 FAX (916) 393-8389

A multi-function campus with a small business outreach center, employment assistance, training and counseling, housing for homeless veterans (including women and their children), and a residential drug/alcohol treatment center.

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**Social Security – Disability for Wounded Warriors**  
[www.socialsecurity.gov/woundedwarriors](http://www.socialsecurity.gov/woundedwarriors)  
 (800) 772-1213 TTY for hearing impaired (800) 325-0778

Military service members can receive expedited processing of Social Security disability claims. The benefits available are different than those from the Department of Veterans Affairs and require a different



application. For service members who became disabled on or after October 1, 2001, and it doesn't matter where the disability occurred.

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***The Soldier's Project***

[www.thesoldiersproject.org](http://www.thesoldiersproject.org)

(916) 792-3728 or toll-free (877) 576-5343

Private, non-profit independent group of licensed mental health professionals. Free, confidential mental health treatment for veterans and loved ones who served in Iraq and/or Afghanistan since 2003, regardless of discharge or branch of service.

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***Veteran's Affairs (VA)***

[www.placer.ca.gov/departments/veterans](http://www.placer.ca.gov/departments/veterans)      [www.usa.gov](http://www.usa.gov)

Information and referrals for VA: 2995 First Street, Auburn (530) 889-7968

Outpatient services: 3123 Professional Drive #25, Auburn (530) 889-0872

Sierra Foothills Outpatient Clinic – 11985 Heritage Oak Place, Auburn (530) 889-0872

1000 Sunset Blvd. #115, Rocklin (916) 780-3290

10535 Hospital Way, Mather AFB, Sacramento (916) 366-5366

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***Vietnam Veterans of America, Sacramento Valley Chapter 500***

[www.sacvva500.org](http://www.sacvva500.org)

7909 Walerga Rd. #112, Antelope (916) 481-6020

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***Volunteers of America – Northern California & Northern Nevada***

[www.voan-cnn.org](http://www.voan-cnn.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 228-3153

Housing and temporary financial assistance available for low-income veterans and their families. Other services available include substance abuse treatment, youth and senior services.

## OTHER SERVICES AND PROGRAMS

***Alta California Regional Center***

[www.altaregional.org](http://www.altaregional.org)

Main office: 2241 Harvard Street #100, Sacramento (916) 978-6400

Assists with coordinating services and support for individuals with developmental disabilities, including: mental retardation, cerebral palsy, epilepsy, autism. To qualify for services, the onset of the disability had to occur prior to the age of 18 and be expected to continue indefinitely.

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***California Victim Compensation Program***

[www.victimcompensation.ca.gov](http://www.victimcompensation.ca.gov)      email [info@vcgcb.ca.gov](mailto:info@vcgcb.ca.gov)

(800) 777-9229

A program that can help victims pay bills and expenses that result from certain violent crimes. The VCP can help victims of crimes and their families such as domestic violence, child abuse, assault, drunk driving, robbery, homicide and sexual assault. Related expenses can be medical/dental bills, counseling, income loss, funeral expenses, home or vehicle modifications, relocation, crime scene clean-up, etc.

Placer County Victim/Witness Program is operated through the Placer County District Attorney's Office – (916) 543-8000 10810 Justice Center Drive, Roseville, CA

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***Connections Workforce Development (Golden Sierra)***

[www.goldensierra.com/jobs/](http://www.goldensierra.com/jobs/)

1919 Grass Valley Hwy #100, Auburn (530) 823-4631

115 Ascot Drive #180, Roseville (916) 746-7722

Free services include job search assistance, “How-To” sessions and workshops. Computers and various information available. Must have a current ID card or Driver’s License and a social security card.

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**Department of Rehabilitation (Vocational rehabilitation services)**

[www.dor.ca.gov/](http://www.dor.ca.gov/)

11641 Blocker Dr. #125, Auburn, CA (530) 823-4040  
151 N. Sunrise #601, Roseville, CA (916) 774-4400

Service for individuals who have a mental or physical disability and who have a desire to be gainfully employed. Services include career training and assistance to obtain employment. Free of charge.

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**The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children’s services and more.

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**Goodwill Industries**

[www.goodwill.org](http://www.goodwill.org)

(800) Goodwill

Customized job training, employment placement, and other services for individuals who have disabilities, lack education or job experience, or face employment challenges. Also do other community programs.

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**Health Express**

[www.seniorsfirst.org/health-express/](http://www.seniorsfirst.org/health-express/)

c/o Seniors First 11566 D Ave., Auburn (530) 887-7433 or toll-free (800) 655-7433

A transportation service for western Placer County residents that provides rides to and from medically related appointment for those struggling to find affordable transportation. Donation based. No age or ability restrictions, oxygen and wheelchairs OK. Monday-Friday 8:00 a.m. – 5:00 p.m. Two day notice requested.

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**Helping Hearts**

[www.helping-hearts.org/](http://www.helping-hearts.org/)

(916) 368-7200

Non-profit organization. Free assisted and independent living placement, in-home care services, board and care homes, financial and insurance services, power of attorney/trusts, conservatorships, and more for elderly and disabled individuals.

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**Legal Services of Northern California**

<https://lsnc.info/>

190 Reamer Street, Auburn (530) 823-7560  
515 12th Street, Sacramento (916) 551-2150

Provides free legal assistance to individuals and groups who meet income-eligibility requirements. Services range from referrals to representation, depending upon the client’s needs. LSNC can provide legal assistance with housing, health rights, income maintenance, and civil rights. LSNC cannot assist with criminal defense, accident, child support, divorce, bankruptcy, personal injury, traffic, estates, or will preparation. Can provide limited assistance for Pro Per litigants in civil cases including family law, landlord/tenant, small claims, guardianship and debt collections.

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**MHSA TAY Level 1**

Contact: Victoria Salas (916) 786-3750 ext. 2117

Email: [victoriasalas@tpcp.org](mailto:victoriasalas@tpcp.org)

A voluntary program collaboration between Whole Person Learning, Turning Point and Placer County ASOC. Peer support for transitional age youth (ages 18-25) with mental health challenges. Transition



support areas include: education, employment, housing, transportation, health and safety, financial management, connections to community resources, etc.

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**Mothers Against Drunk Driving (MADD)**

[www.madd.org/ca](http://www.madd.org/ca)

4629 Whitney Ave., Sacramento, CA (916) 481-6233

Victim support groups, advocacy program to reduce drunk driving. Victim Impact Panel (required for DUI offenders). For the Victim Impact Panel, call (800) 426-6233 or [www.maddcalifornia.org/vip](http://www.maddcalifornia.org/vip)

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**Placer Adult Literacy Program**

Email: [pals@placerlibrary.org](mailto:pals@placerlibrary.org)

Main Officer - Placer County Library, 350 Nevada Street, Auburn, CA (530) 886-4530

Free service for Placer County residents who want help with their reading and writing skills. Free of charge, available throughout the county.

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**Placer County Department of Child Support Services**

[www.placer.ca.gov/departments/childsupport](http://www.placer.ca.gov/departments/childsupport)

1000 Sunset Blvd. #200, Rocklin, CA  
5225 N. Lake Blvd. Carnelian Bay, CA (Tahoe)  
Toll free (866) 901-3212

Can assist with establishing a court order for child support, modify a current support order, release of a driver's license hold due to non-payment of child support, requesting a Compromise of Arrears (past due support).

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**Placer County Family Court and Legal Help Center**

[www.courtinfo.ca.gov/selfhelp](http://www.courtinfo.ca.gov/selfhelp)

Bill Santucci Justice Center, 10820 Justice Center Drive, Roseville  
Hours: Monday – Friday 9:00 a.m. – 3:00 p.m.

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**Placer School for Adults**

[www.ed2go.com/placer](http://www.ed2go.com/placer) and <http://placeronline.org/>

390 Finley Street, Auburn, CA (530) 885-8585

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**PRIDE Industries Youth Services Program**

Email: [info@prideindustries.com](mailto:info@prideindustries.com)

Placer County (916) 788-2149

Qualifying Placer County residents ages 17–21 years old can receive assistance with enrolling in school/classes, tutoring, build employment skills, individualized support, paid work intern experience. Transportation assistance.

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**Red Cross**

(530) 885-9392

Hours: Mon-Thurs, 9am – 3pm

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**Roseville Adult School**

[www.rjuhsd.com/rosevilleadult](http://www.rjuhsd.com/rosevilleadult)

200 Branstetter Street, Roseville, CA 95678 (916) 782-3952 FAX (916) 782-4361

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**Women's Empowerment**

1590 N. A Street, Sacramento, CA (916) 669-2307

A non-profit organization that works with homeless women to help them build the skills they need to go back to work and maintain stable housing. 8 week free program. Daycare and transportation assistance provided. Women receive health education, nutrition, smoking cessation, and relapse prevention. Access to healthcare including eye exams, dental visits, access to care from a private physician, child development assessments, yoga, fitness, and more.

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## Appendix H Public Outreach

### INCORPORATION OF COMMENTS

The City reviewed all of the comments received and incorporated changes within the text and the policies of the draft Housing Element to respond to comments. The City received comments on the First Draft Housing Element (December 2020), Second Draft Housing Element (May/June 2021), and Adoption Draft Housing Element (July 2021). The comment letters received are included in this Appendix, but a summary of key comments (*italics*) and responsive Housing Element changes (standard text) is included below.

#### **First Draft (December 2020)**

**Clarity:** *Various changes are recommended to improve understanding for the layperson, including a glossary and additional maps, cross-references, and explanatory text.* The requested glossary, maps, and cross-references were added. Additional explanatory text has been added in a variety of places.

**Accessory Dwelling Units:** *More specifically describe the affordability of ADUs.* Explanatory text has been added in the Realistic Capacity evaluation for ADUs and the Sacramento Area Council of Government's regional affordability analysis for ADUs has been included as an Appendix.

**Jobs-Housing:** *Many service-sector jobs in Roseville do not pay enough to live in Roseville. Commercial development should be required to pay an affordable housing impact fee.* The Housing Element includes a program, the nexus study for which is already ongoing, to evaluate a new affordable housing impact fee for commercial development.

**Equity-Earning Housing:** *Rental housing does not allow a resident to earn equity. The City should provide more equity-earning housing options.*

**Housing Distribution:** *All Districts in Roseville should be required to maintain their fair share of affordable housing.* Districts are political boundaries which are redrawn after each census, which makes it difficult to use District boundaries for planning purposes. However, the City's 10% affordable housing goal is applied to each new Planning Area in the City, and units are required to be distributed within those planning areas. This ensures that each new community area in Roseville maintains its fair share of the City's affordable housing needs.

**Housing Location:** *Affordable housing should be located between major transit locations along routes to job centers, retail, healthcare, and justice/law enforcement.* Throughout the City, all sites designated for future affordable housing are located along major transportation routes with access to existing or planned transit, are adjacent to an existing or planned commercial center, and are adjacent to or within ¼-mile of a park or open space trail area.

**Prior Housing Element – Data:** *Provide additional data to back up the text analysis.* Additional data has been included in the review of the prior housing element, including a breakdown of affordability in the Specific Plan Areas program accomplishments, the total fees collected and how they were used in the In Lieu Fees program accomplishments, information on funding amounts and awards in the description of the Roseville Community Grant funds, and more information on the City's Process and Fee Structure Review.

**Quantify:** *In the current housing programs, make sure objectives are quantified whenever possible.* The City added additional programs with quantified objectives (Program 20, 26, and 27) and in response to a specific comment added a new evaluation component to the City's Public Education Program (Program 30).

**Specific Plan Process:** *The City's Specific Plan, Public-Private Partnership, and Affordable Housing Plan Programs all appear to be the same, and the Element does not describe the actual affordability and terms, the impact of the precise density/unit allocation, or how well the 10% affordability goal has worked.* The City's Specific Plan process is unusual, and staff realized substantial additional explanation was needed in order to clarify how the process worked. Multiple sections have been expanded significantly to address the questions raised, including the three programs listed, the Governmental Constraints section, and the Realistic Capacity analysis of vacant land. The inventory in the body of



the Housing Element includes footnotes identifying which parcels including affordable housing obligations and the level of affordability.

**Pandemic Housing Issues:** *Specifically address housing issues related to the pandemic.* Program 20 (Address Significant Disparities and Increase Opportunities) has been added which addresses housing issues related to the pandemic.

**Preservation of Housing:** *Add more analysis and identify specific actions the City will take to protect units at risk of conversion.* The program formerly-titled At-Risk Housing has been deleted and replaced with a new program titled Preservation of Housing (Program 11). This program identifies a Preservation Coordinator as a response to the substantial new analysis provided in the Analysis of At-Risk Housing section.

**Fair Housing:** *While the City's analysis of historic and present fair housing issues is thorough, the Housing Element should be augmented to include more programs addressing fair housing. The fair housing analysis should specifically indicate what actions are being taken or proposed in response to the issues identified in the fair housing analysis. The City should also evaluate its existing and proposed inventory in light of the fair housing issues identified.* The City added or modified several programs, including Program 20, Address Significant Disparities and Increase Opportunities; Program 25, Fair Housing and Housing Legal Discrimination Services; Program 26, Support for Housing for Persons with Disabilities; and Program 27, Allow Shared Housing Under Housing Choice Voucher for Persons with Disabilities. The fair housing analysis was also slightly restructured and where relevant each section discusses the specific City programs which address the identified issue. An analysis of the City's inventory is also provided to demonstrate that the inventory affirmatively furthers fair housing.

**Overpayment and Special Needs:** *Additional detail should be added to these sections, as they are not clearly described.* Substantial additional text was added to these sections, including new data tables.

**Governmental Constraints:** *Provide more description and analysis of certain constraints (such as standards for approval) and more completely address supportive housing and emergency shelters.* As indicated previously, much of this was addressed by providing greater explanation of the City's Specific Plan process.

### **Second Draft (May/June 2021)**

**Program Changes – Fair Housing:** *Changes were recommended to add a fair housing focus to multiple programs.* Programs which were modified to include a fair housing lens include Programs 1, 6, 9, 12, 16, 19, 20, 22, 23, and 27. The City also added a new chart to the end of the Fair Housing Assessment which summarizes each fair housing issue identified in the analysis and describes the programs which are responsive to that issue, to more clearly tie the conclusions of the Fair Housing Assessment to program commitments.

**Program Changes – Other Programs:** *Various changes were recommended to improve programs, including adding more details and commitments in the large sites program, changing the requirements for community care homes, adding extremely low income program commitments, adding data on affordable housing production, indicating when the residential capacity monitoring program would be in place, and an estimate of the number of people who would be assisted by the Homeless Prevention and Rapid Rehousing Program.* All of the requested program modifications were made. The program addressing large sites (Program 16 Prioritize Affordable Housing) was modified to specifically commit to ministerial lot line adjustments, voluntary mergers, and parcel maps. The program was also modified to include monitoring of effectiveness. The program addressing persons with disabilities (Program 28 Support for Housing for Persons with Disabilities) was modified to include a commitment to modify the approval requirements for large community care homes to a staff-level approval. Various programs were amended to more specifically direct funding, vouchers, and focus to the production of extremely low income housing, including Program 19 (Federal and State Programs). Program 6 (Specific Plan Areas) was modified with data on how much affordable housing has been produced by the City's 10% affordable housing policy. Program 13 (Residential Capacity Monitoring) was modified to state that the procedure is currently in place. Program 20 (Homeless Prevention and Rapid Rehousing) was modified to include an estimate of the number of people helped annually by the funding.

**Fair Housing Assessment:** *Comments recommended the Fair Housing Assessment be modified to include an assessment of transportation, environmental quality, farmworkers, homelessness, and housing conditions.* The City added two new maps displaying local and regional trends related to access to transportation and the quality of the environment, with accompanying analysis. The section on Homelessness was updated to include data from the 2020 Point in Time County for Placer County and Roseville and an analysis of demographics to determine whether certain racial or ethnic populations were disproportionately impacted by homelessness, and whether they were underrepresented in shelter services. The section on Farmworkers was updated to include data from Placer County and Roseville and analysis was added. A new section on Housing Condition was added to the Disproportionate Housing Needs section that compared the location of poor housing conditions to the location of other housing disadvantage or special needs in the City.

**Table X-1:** *Augment Table X-1 with all activities which help to preserve affordable housing, rather than only those activities that preserve affordable housing agreements.* Table X-1 has been revised as requested.

**Commercial Mixed Use Capacity:** *Additional analysis and justification for the inclusion of commercial mixed use sites was requested, since these sites allow but do not require housing.* The City only has one commercial mixed use site in its vacant land inventory, with 40 units allocated. Instead of providing a detailed analysis and justification, the City elected to remove these 40 units from the inventory capacity total.

**Nonvacant Sites Capacity:** *Additional analysis and justification for the inclusion of nonvacant sites was requested.* The City added substantial additional analysis to the Realistic Capacity evaluation for nonvacant (underutilized) sites, including modifications to the inventory table of underutilized sites to include detailed descriptions of each site's uses and potential for redevelopment.

**Large Households:** *Also called large families, the comment requested an analysis of large families by tenure.* The Large Families analysis was updated with tenure data and an analysis of supply by tenure.

**Farmworkers:** *Additional analysis of regional and local data on farmworkers was requested.* The Farmworkers section was modified to include data on Placer County and Roseville farmworker populations and supporting analysis.

**2020 Census:** *A request was made to add an Appendix with 2020 census data.* The comment acknowledged that complete data was not yet available, so could not currently be relied upon, but the commenter noted that it was important to use updated data. While adding an Appendix to the Housing Element after adoption is not possible, the City recognizes and agrees with the importance of using the 2020 census data. In response to this concern the City has modified all programs which call for monitoring based on demographics to specify that the best available data should be used.

**Childcare:** *The ability to access affordable childcare is relevant to affordable housing, and should be taken into account.* The City agrees with this statement. Access to affordable childcare is vital for families in general and for single-parent households in particular. In the context of the Housing Element, the key factor to consider is whether the City's regulations pose barriers to the development of childcare, and they do not. In-home daycare is a by-right residential use, is permitted in commercial zones, and is permitted as an accessory use to a school or church. This information has been added to the Female-Headed Households section.

**Homeownership:** *People who own their homes outright, and no longer have a mortgage, have substantially reduced housing costs. Is there a way to take this into account when calculating cost burden and income?* This is a good observation, and the census data does take this into account. The census asks three questions in order to generate data on cost burden: Question one is whether the home is owned with a mortgage, owned free and clear, or rented; question two is the amount of the mortgage or rent; and question three is how much the home is worth. Other questions and data are used to calculate a final cost burden, because factors such as utility rates and other costs are considered, but the data on cost burden does take into account homes that are owned free and clear. The Cost Burden section has been modified to reflect this.



### **Adoption Draft (July 2021)**

**Program Changes – Timeframes:** *Changes were recommended to clarify program timeframes and add more explicit timeframes.* Programs which were modified include Programs 11, 22, 25, and 27. The City also added text at the beginning of the Housing Plan section (where the programs begin) to explain program organization, including the timelines, objectives, implementing agency, and funding sources sections.

**Program Changes – Program 1, 19, and 27:** *Changes were recommended to include additional geographic targeting for these programs, as well as an analysis of program beneficiaries to ensure programs are being accessed equitably.* The City modified the programs as requested.

**Program Changes – Program 10:** *Changes were recommended to include language from Program 9 regarding program targeting into this program.* The City modified the program as requested.

**Program Changes – Targeting, Metrics, and Milestones:** *Changes were recommended to include specific metrics and milestones for implementation, and also requested that programs more directly commit to targeting resources.* Changes were made to program timeframes, as described previously. The City also included additional geographic and issue-based targeting to Program 1 and Program 16.

[Skip navigation](#)



[City of Roseville](#) / [News](#) / [What's happening in Roseville](#) / Roseville's future housing blueprint needs your input

## ☰ Roseville's future housing blueprint needs your input

Updated August 18, 2020

### Featured Stories



The City is starting to update the housing blueprint for the City, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

While some of the City's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing.

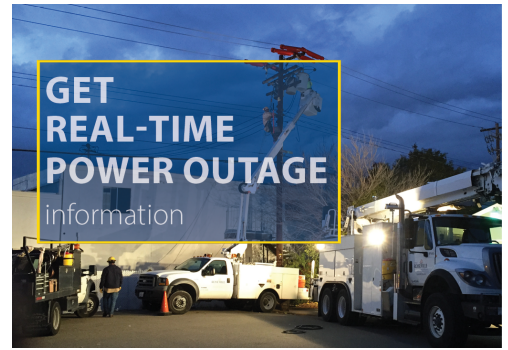
**Your input and participation is key to the success of this process. [Learn more, provide your comments and sign up for updates here.](#)**

The City will need to plan for approximately 12,066 new housing units for all income groups during the 8-year life of the Housing Element, from 2021–2029. This target is based on a regional allocation by the state, and then to member jurisdictions by the Sacramento Area Council of Governments. The total housing goal represents the addition of 1,508 housing units every year.

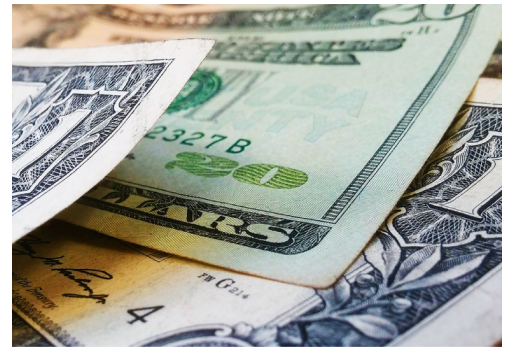
While the City already has land use capacity to meet the goal for market-rate housing, the City does not have the capacity to meet the goal for lower income housing. The lower income target is 6,178 units, which makes up more than half of our overall target. Meeting the goal for lower income housing will be especially important and challenging.

In the coming months, the City will be reaching out to residents and stakeholders through social media, workshops, and other outreach events to receive feedback on how best to meet our required housing targets and shape the vision for housing in the City.

After conducting this outreach, City planners will complete a first draft of the Housing Element and release it for public review. Ultimately, the updated Housing Element will be submitted to City Council for adoption and to the California Department of Housing and Community Development for approval.



New tool provides real-time outage information



Apply for Small Business Assistance Loans

[https://www.roseville.ca.us/news/what\\_s\\_happening\\_in\\_roseville/roseville\\_future\\_housing\\_blueprint](https://www.roseville.ca.us/news/what_s_happening_in_roseville/roseville_future_housing_blueprint)

# ROSEVILLE SEEKS PUBLIC INPUT ON LOCAL HOUSING

► Staff - August 19, 2020



## FUTURE HOUSING BLUEPRINT NEEDS YOUR INPUT

Roseville,CA- The City of Roseville is starting to update the housing blueprint for the City, known as the Housing Element. The Housing Element considers Roseville's needs for housing access, inventory, affordability, and quality. It is a critical part of

the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

While some of the Roseville's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing.

Your input and participation is key to the success of this process. Learn more, provide your comments and sign up for updates at [Roseville.ca.us/Housing\\_Element\\_Update](https://Roseville.ca.us/Housing_Element_Update)

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## **CAPACITY LACKING FOR LOW INCOME HOUSING**

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**From:** City of Roseville <Roseville@public.govdelivery.com>  
**Sent:** Thursday, August 20, 2020 12:02 PM  
**To:**  
**Subject:** Business Matters



## Placer falls off state COVID-19 monitoring list but restrictions remain for now

Placer County yesterday fell off the state's County Data Monitoring List for COVID-19, with the rate of new positive cases in the county now dipping below that state monitoring metric.

If Placer County remains off the list for at least 14 days, K-12 schools could potentially reopen for in-person instruction. However, no other businesses would be allowed to modify their operations until the state modifies the state order.

The Placer County Board of Supervisors and Health Officer Dr. Aimee Sisson have made requests that the state order be revised to allow affected businesses to resume indoor operations once a county has been off the monitoring list for two weeks, consistent with school guidance.

[Learn more.](#)



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Visit [placer.ca.gov/reopen](https://placer.ca.gov/reopen) for tools and resources to help reopen.

[Frequently asked questions](#)

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## How the City is supporting businesses during COVID-19

In the latest issue of the Chamber of Commerce's Insight Newsletter, we share how the City of Roseville has been working to improve the local economic environment.



## **Roseville's future housing blueprint needs your input**

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[Learn more.](#)

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## **Historic Old Town businesses: Receive assistance with outdoor dining**

To support Historic Old Town restaurants and help safely increase outdoor occupancy, the City of Roseville is assisting in funding expanded patio areas.

[Learn more.](#)





City of Roseville, California Government

August 24 at 9:41 AM · 🌐



Roseville's future housing blueprint needs your input.

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nextdoor

Sierra Gardens

Map

Digest

Neighborhood

Help Map

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Real Estate

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Lost & Found

General

Groups

All Groups

Topics



City of Roseville, California

City Hall • 24 Aug



**Roseville's future housing blueprint needs your input.** The City is starting to update the housing blueprint for Roseville, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

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[City of Roseville, California City Hall](#) • 8/24/2020

[Roseville's future housing blueprint needs your input.](#) The City is starting to update the housing blueprint for Roseville, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community. While some of the City's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing. Your input and participation is key to the success of this process. Learn more, provide your comments and sign up for updates at

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[Michael Y.](#) – 8/24/2020

Vineyard

How about providing low income based apartments for low income Seniors depending on what they earn on a fixed income

[Terri Frechou](#) - 8/24/2020

Junction West

Quality retail (not a Walmart !) Quality grocer and Quality restaurant near Fiddyment and Baseline.

[Barbara H.](#) - 8/24/2020

Roseville Heights

How about we slow the roll...think about your current loyal residents...think about...even actually do something constructive about our homeless issue...what does the City consider 'low income' for new additions? Look at traffic in Roseville and come up with cohesive plans to relieve stress for your City's drivers...instead of looking to add more people and traffic...why not address current issues in the City? Barbara Harmon

Response to Barbara H.

[Mark McKibben](#)

Diamond Oaks

You are so right, this city is getting to crowded as it is. I also wish they would not build homes so close together.

[Pat Oberlander](#) - 8/24/2020

Sun City

We need some retail, Costco, gas station and fast food places on baseline and fiddyment. That has been promised for the 9 years we've been here

Response to Pat Oberlander

[Terri Frechou](#) - 8/24/2020

Junction West

Costco considered baseline/ fiddyment but soil could not support their gas station (?) so their looking at Loomis

[Roni Hartley](#) - 8/24/2020

Pleasant Grove

What I find disappointing about the current governance in the City is they don't know when to stop! We have horrible traffic on our current streets. It has been rumored that City of Roseville electrical rates are going to skyrocket because of existing demand. I can't even fathom what the draw will be during the continued development of West Park and the huge apartment multifamily living complex that's going in at Blue Oaks and Woodcreek. STOP planning for expansion and take care of existing problematic areas and resources.

Response to Roni Hartley

[Kelly Peck](#)

Woodcreek Oaks

Agreed!! Our infrastructure needs to be put in place BEFORE we continue to build.

[Dan Rastler](#) - 8/24/2020

Pleasant Grove

I grew up in Roseville; then worked in Si Valley for 35 years where I saw the huge and not well planned build out of Santa Clara Valley. Seems like the same is going on here. The West Side could have been much more smartly planned and executed; like creating small little neighborhoods with combination of small homes and retail, parks for enjoying the out doors with neighbors. This area is attracting retired and senior couples- yet i do not see any future plans for accomadintg this sector - other than nursing homes and managed care facilities. I am not talking about more Sun City or Del webs- just smaller homes with parks and small retail with potential for out door activity. There are plenty of multi dwelling apartments now for low income and small families starting out. Seems like the Blue Oaks/Woodcreek plan was adjusted significantly for more multi dwellings/apartments. Traffic/congestion is very bad now and only going to be much worse.

[Nancy G.](#) - 8/24/2020

Folsom Road

Agree! As a senior, my perfect downsized home would be a well designed 1000 sq ft home, single story, nice walkable neighborhood. Where is THAT being built?

[Penni Swanson](#) -8/24/2020

Foothills Junction

I prefer we stop building houses. We already have too many being built at the moment. The small town atmosphere is getting completely lost. There is too much traffic and too many people.

[Louie Mele](#) - 8/24/2020

Blue Oaks

All about \$\$\$\$. Speaking of which, any word on the Sierra College extension breaking ground of that Ranch land by the Landfill/Casino?

[John Urrutia](#) - 8/24/2020

Blue Oaks  
STOP BUILDING!

[Laurel Manzola](#) - 8/24/2020

Kaseberg-Kingswood

I agree that we could use smaller affordable homes for seniors... Obviously, those who say "stop building" already have what they want, and apparently they aren't looking to share! Shame on them!

Response to Laurel Manzola

[Penni Swanson](#) - 8/24/2020

Foothills Junction

I am a senior citizen. I don't care for all the traffic. People race down Foothills and Pleasant Grove.

[Terri Frechou](#) - 8/24/2020

Junction West

Yes stop building homes when we can't support current residents with traffic! Not enough quality retail near residents.

[renee fisher](#) - 8/24/2020

Blue Oaks

Stop building until you can provide better roads and assist with traffic issues!!

[Kevin Hyland](#) - 8/24/2020

Woodcreek Oaks

So anybody who was raised in Roseville raise your hand other don't say not in my backyard if you invaded someone else's backyard. By the way way I've been here 12 years. People can move where they want

[Veronica Seballos](#) - 8/24/2020

Long Meadow

I agree they should build an apartment complex for our senior citizens and stop building more homes. We should focus on building more roads and easing up the freeway. This will just cause more congestion and take away the nice things Roseville has to offer. I feel it is important we hear our senior citizens. They are the loyal ones and you should be asking them.

[Gary Adams](#) - 8/25/2020

Cresthaven

Last year i was told by a contractor, that he was told that the city was going to issue a 1000 building permits a year for the next 20 [years](#). It's all about the money that drives the city, especially now with the pandemic. Just wait and see.

[Jeff Murray](#) - 8/25/2020

Fiddymment Farm

Infrastructure needs to be addressed. Traffic is horrible. Also, in the current remote work environment the cell reception, and internet options are poor.

[Elizabeth Ohara](#) - 8/25/2020

Reserve

Seniors need 1,000-1,200 sq foot single story homes with small yards in walkable neighborhoods please.

[Mr Chips](#) - 8/25/2020

Highland Reserve

Only from personal experience , I find Comcast high speed to be excellent, and TMobile to be excellent. Both are fast, reliable, and of decent value. My understanding is that the population of Roseville will double in 10 years. Infrastructure needs to keep pace. I only pay \$4000.00 per year in property taxes, which is too low. We need more revenue from all, especially the rich, and corporations, in order to improve our schools and infrastructure.

Response to Mr. Chips

[Gene P.](#) - 8/25/2020

Vineyard

What?! This must be a joke right?

[carol seifert](#) - 8/25/2020

Sun City

Mr chips you must be wealthy or?

[Mark McKibben](#) – 8/27/2020

Diamond Oaks

You are always welcome to pay more property taxes if you want!

[Ellen Tresidder](#) - 8/26/2020

Sierra Vista

So, in reading the documents from the link in the above post, it shows how Roseville has worked very hard to add in housing of all levels to the best of its ability, but in calculations for a required goal by the state, has not been given fair credit for these housing additions. Planning department has to adhere to requirements, but those requirements have to be calculated correctly, not arbitrarily, and this is a big problem going forward. Roseville doesn't get to necessarily make the rules for accepting or denying new housing projects, but must work carefully in deciding what is or is not in the best interest to the community, residents, and the many requirements to the state. None of us would like Roseville to grow unchecked (or grow at all), but grow it must. Reusing vacant/stagnant land, changing the use of the existing acreage, deciding to create new housing on never-used land all has to be considered carefully and in the best interest future needs and requirements of doing so; its not a simple decision.

Response to Ellen Tresidder

[renee fisher](#) – 8/26/20

Blue Oaks

Roseville doesn't NEED to grow. Its a money thing and city counsel trying to make us like Sacramento. This is why your property taxes are up, crime is up and traffic is horrible. We dont need to put a building or low income apt complex on every bit of unused land!! we need to start the change with electing officials who understand the issues

[Ellen Tresidder](#) – 8/26/20

Sierra Vista

[renee fisher](#) , I get it as I would like it if Roseville didn't grow any further either BUT, its not up to our likes or dislikes. Roseville has to provide more housing of different types to get the certain amount of funding provided by the gas tax AND to not be fined an exorbitant amount that would be disastrous to our city economy. Read the paperwork, its all there. We don't get to decide, we "get" to help our planners work out the best way possible to accommodate the necessary. They are asking for input, here's your chance. Do not grow isn't one of the options, unfortunately.

[Adrienne Milbradt](#) – 8/26/20

Diamond Oaks

Would like to see smaller homes with yards for children! Huge homes are being constructed with no yards—pathetic when they are touted as being family homes!

Response to Adrienne Milbradt

[Sharon Perry](#) – 8/26/20

West Park

I agree completely, but there are a lot of parks available.

[Carl Panico](#) – 8/26/20

Blue Oaks

Roads should be expanded before more homes are built. It always seems the roads come last and they take a while to catch up. Meanwhile we're impacted by traffic density. My only other comment is I would support affordable housing for seniors. I don't see a need to scatter adorable housing for all to change the community unfairly.

Response to Carol Panico

[Ellen Tresidder](#) – 8/26/20

Sierra Vista

And I wish the state would also consider the water situation. We need to get some reservoirs/dams built as we don't have enough water as it is, much less for more and more residents.

[Sharon Perry](#) – 8/26/20

It would be nice if they at least had a grocery store close by and maybe a gas station.

Response to Sharon Perry

[Merle Torrato](#) – 8/26/20

I agree 100%

[Vikki Blondin](#) – 8/26/20

Kaseberg-Kingswood

Hey. You all need to provide low income housing as a priority. So many seniors are on 3 year waiting lists and section 8 housing is CLOSED! Shame. Shame on us.

[Kelly Peck](#) – 8/27/2020

Woodcreek Oaks

I have to agree. My mom lives with me because she can not afford to live on her own. She would much rather have her own place.

[Margaret B.](#) – 8/27/20

Cirby Ranch

If Placer and the surrounding counties would follow suit with San Diego, Los Angeles and others and allow Accessory Dwellings to be built without permanent foundations, we could have many more dwellings for people that need them.

[Mark McKibben](#) – 8/27/2020

Diamond Oaks

I would like to see more Luxurious homes in Roseville. Homes that are at least 25' away from the house next door and that are ranch style homes with big backyards, big enough for a large swimming pool and hot tub. They need to have at least a 3 car garage. so I can park my boat and room for all my toys and junk. Maybe like 5k to 7k square feet. Who is with me?

45 comments so far as of 8/28



**City of Roseville CA** @CityofRoseville

Aug 24

Roseville's future housing blueprint needs your input as we consider the needs for housing access, inventory, affordability, and quality.

It is a critical to preserve, improve, & develop housing accessible to everyone in our community.

Learn more at  
[roseville.ca.us/housing\\_elemen...](https://roseville.ca.us/housing_element...)



▼ 1



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Housing Element Update banner



The City of Roseville is in the process of updating the Housing Element which identifies housing needs and establishes programs and policies to define how the needs will be met over the next 8 years.

Learn more about the project, how the City's development process works, and how affordable housing gets constructed through a **virtual workshop, 6 p.m., Tuesday, October 20.**

[Sign up for the workshop.](#)

For those not able to attend the virtual workshop, a [recording of the meeting will be posted here.](#)

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The following week we'll be holding two virtual community meetings to hear from you - your comments on the project, your housing needs, and your ideas to help us shape the Housing Element.

- **6 p.m., Tuesday, October 27 - [sign up](#)**
- **noon, Thursday, October 29 - [sign up](#)**

We look forward to hearing from you.

Information about the City of Roseville's Housing Element Update can be found at [Roseville.ca.us/Housing\\_Element\\_Update](http://Roseville.ca.us/Housing_Element_Update).

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311 Vernon Street, Roseville, CA 95678

(916) 774-5200 | [www.roseville.ca.us](http://www.roseville.ca.us)



**From:** [City of Roseville](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Watch the City of Roseville's Housing Element Update Workshop  
**Date:** Wednesday, October 21, 2020 7:50:57 PM

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Housing Element Update banner



The City of Roseville is in the process of updating the Housing Element which identifies housing needs and establishes programs and policies to define how the needs will be met over the next 8 years.

**If you missed the virtual workshop last evening, you can view it here. Learn how new housing development and affordable housing happens in Roseville.**

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# Affordable Housing Virtual Tour

The City of Roseville has a General Plan goal that 10% of all new housing be developed as affordable housing units to serve households at very low (50% of Area Median Income), low (80% of Area Median Income) and middle/median (100% of Area Median Income) income levels. This range of affordability is provided in both rental and ownership units within new housing developments. The breakdown of the affordable units will be, at a minimum 40% for rental to very low and 40% for rental to low-income households. The remaining 20% may be reserved for middle income purchase or distributed among the rental obligations.

Since 1989, the City's affordable housing policies have produced over 3,000 affordable housing units and currently boasts 28 communities that provide 2,083 affordable rental units. Affordable housing communities are attractive and well-built, and may be 100 percent affordable or may include affordable units integrated with market-rate units. The City has provided this virtual walking tour of three types of affordable communities—100 percent affordable, integrated affordable/market-rate, and senior—to help our residents understand what affordable housing in the City of Roseville looks like.



**Lohse Apartments**, at 623 Vernon Street, is made up of 58 affordable 1, 2 & 3 bedroom apartments in Downtown Roseville. Amenities include an outdoor play structure in a central courtyard, a community kitchen/room and computer area. This 100% affordable community opened in late 2018 and provides housing for extremely low to low-income households in the community.

[Google Maps street view](#)  
[Mercy Housing website](#)



**Pearl Creek Apartments** is a mixed income development in the north central area of Roseville at 1298 Antelope Creek Drive. The community was developed in 2014 and has 224 apartments, 23 of which are reserved for low-income households. This community boasts 1, 2 & 3 bedroom units, a 24-hour fitness center, saltwater pool, game room, and outdoor fire pits. This is a prime location for outdoor enthusiasts as well as those who enjoy retail therapy. Located close to both a 25-mile long bike trail as well as the Roseville Galleria and The Fountains shopping centers, residents can enjoy scenic views as well as a variety of local retail and dining.

[Google Maps street view](#)  
[Pearl Creek website](#)



**Silver Ridge** is a 100% affordable senior community for independent adults, 55 and older, built in 2002. The community has 155 one and two bedroom apartments and is located at 1101 Stone Canyon Drive in the Stoneridge neighborhood. In addition to providing affordable housing for those on a fixed income, residents can enjoy the spacious clubhouse complete with social areas, TV room, and library. Outside, enjoy the walking paths, resident garden, lighted sidewalks, sparkling pool and relaxing spa. The three-story complex is also serviced by elevators making it convenient to navigate through the community.

[Google Map street view](#)



## FIRST DRAFT 2021 HOUSING ELEMENT AVAILABLE FOR REVIEW

**Date:** December 18, 2020

**Subject:** Release of a First Draft of the City of Roseville 2021 Housing Element for Review

**Review Period:** December 18, 2020 to January 22, 2021

**Materials Available at:** [www.roseville.ca.us/Housing\\_Element\\_Update](http://www.roseville.ca.us/Housing_Element_Update)

**Contact Information:** City of Roseville Development Services - Planning Division  
Lauren Hocker, Senior Planner  
311 Vernon Street  
Roseville, CA 95678  
Telephone: (916) 774-5272  
E-mail: [HousingElement@roseville.ca.us](mailto:HousingElement@roseville.ca.us)

*Please be advised that due to stay-at-home orders, City staff are not in the office and are working remotely. While comments may be physically mailed, there will be a delay in receipt by staff. It is recommended that comments be e-mailed.*

Since 1969, California has required that all cities and counties adequately plan to meet the housing needs of everyone in the community. This is accomplished through a Housing Element, which is a required element of a local government's General Plan. The purpose of a Housing Element is to identify current and projected housing needs, and set goals, policies, and programs to address those needs. Compliant Housing Elements are updated on eight-year cycles, which are defined by the California Housing and Community Development Department (HCD). The current Housing Element was adopted by the City Council in 2013 and covers the period from 2013 to 2021. The City is in the process of preparing the sixth cycle Housing Element, which covers the period from 2021 to 2029.

Throughout the fall of 2020 the City has been updating the Housing Element and conducting outreach to the community, service providers, and stakeholders. To ensure the community has an opportunity for meaningful input, the City indicated that a first and second draft of the 2021 Housing Element would be circulated for review, with the first draft released this year and the revised second draft released in the spring. This first partial draft includes the updated introduction and summary, review of prior Housing Element programs, proposed 2021 Housing Element policies and programs (shown in redlines), supporting data, updated tables and graphics, and evaluation of constraints (including a new fair housing analysis). This first partial draft does not include the residential land inventory because this section is under review by the California Department of Housing and Community Development (HCD) and is not ready for public release. The appendices to the Housing Element are also not included.

The City is releasing this first draft of the Housing Element for review and comment in order to check in with the community and ensure that the update is progressing in a direction that meets the community's

needs. We welcome your comments on the Housing Element, and would ask that reviewers consider the following questions:

- Was the Housing Element easy to navigate? If not, what would help?
- Excluding the sections not included in this partial draft, was there any information you were expecting to find which was not present?
- Are there any goals or policies you would recommend be included or revised?

As staff continues the process of updating the Housing Element, staff will review and consider comments as they are received. A second, complete draft of the Housing Element will be released for review and comment in the spring. The City would like to thank the community for all of your participation and valuable input thus far and we look forward to receiving further comments to help guide this process.



## SECOND DRAFT 2021 HOUSING ELEMENT AVAILABLE FOR REVIEW

**Date:** May 26, 2021

**Subject:** Release of a Second Draft of the City of Roseville 2021 Housing Element for Review

**Review Period End:** July 1, 2021

**Materials Available at:** [www.roseville.ca.us/HousingElementUpdate](http://www.roseville.ca.us/HousingElementUpdate)

**Contact Information:** City of Roseville Development Services - Planning Division  
Lauren Hocker, Senior Planner  
311 Vernon Street  
Roseville, CA 95678  
Telephone: (916) 774-5272  
E-mail: [HousingElement@roseville.ca.us](mailto:HousingElement@roseville.ca.us)

Throughout the winter and spring of 2021 the City has been updating the Housing Element in response to comments from the public and from the California Department of Housing and Community Development (HCD) on the first draft (released in December 2020). The City has completed the second draft of the 2021 Housing Element, which includes all comments from the public received on the first draft and a section describing the revisions made in response to comments. The City submitted this spring draft to HCD and has received preliminary comments. The City is completing further revisions based on information from HCD and to ensure the adequate sites inventory—a listing of all vacant or underdeveloped sites that can accommodate housing—is current. The City continues to receive development proposals on sites designated for housing, which must be reflected in the inventory.

To ensure the community has an opportunity for meaningful input the City is publishing both the spring draft and the revised second draft of the 2021 Housing Element. This notice is to inform the public that the second draft completed in the spring will be published today (May 26, 2021) and the current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021. The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft.

Reviewers are encouraged to provide comments electronically but comments will also be accepted in hard copy. The City would like to thank the community for all of your participation and valuable input thus far and we look forward to receiving further comments to help guide this process.

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City of Roseville CA 

@CityofRoseville



We have released of the second draft of the 2021 Housing Element for review. The current (revised) second draft of the 2021 Housing Element will be published on June 1. Comments are requested by July 1, 2021.

Visit [roseville.ca.us/HousingElement...](https://roseville.ca.us/HousingElement...) for details.

2:50 PM · May 26, 2021 · Hootsuite Inc.



## City of Roseville, California Government

6d · 🌐

The City is pleased to announce the release of the second draft of the 2021 Housing Element for review.

As described in the notice the City is publishing both a spring draft and the revised second draft of the 2021 Housing Element. This notice is to inform the public that the second draft completed in the spring will be published today (May 26, 2021) and the current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021.

The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft. Comments are requested by July 1, 2021. Please refer to the City's project website at [www.roseville.ca.us/housingelementupdate](http://www.roseville.ca.us/housingelementupdate) for details.



✓ City of Roseville, California



City Hall • 5 days ago

**2021 Housing Element available for review.** The City is pleased to announce the release of the second draft of the 2021 Housing Element for review.

As described in the notice the City is publishing both a spring draft and the revised second draft of the 2021 Housing Element.

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**Housing Element Update**

[roseville.ca.us](http://roseville.ca.us)



Posted to **Subscribers of City of Roseville, California**



Like



Comment



Share



3

· 1789 Impressions

**759 recipients**

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**From:** City of Roseville <Roseville@public.govdelivery.com>  
**Sent:** Thursday, May 27, 2021 3:49 PM  
**To:**  
**Subject:** Housing Element Update



## **Second Draft of the 2021 Housing Element available for review**

Following months of review and input from the public and the California Department of Housing and Community Development, the second draft of the 2021 Housing Element is currently available for review.

Both a spring draft and the revised second draft of the 2021 Housing Element will be published. The spring draft is now available. The current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021.

The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft.

[\*\*View the Second Draft of the 2021 Housing Element.\*\*](#)

[\*\*View the official notice of release.\*\*](#)

**Comments are requested by July 1, 2021.**

Please visit [roseville.ca.us/HousingElementUpdate](https://www.roseville.ca.us/HousingElementUpdate) for more details and to submit a comment.

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311 Vernon Street, Roseville, CA 95678

(916) 774-5200 | [www.roseville.ca.us](https://www.roseville.ca.us)

**From:** [City of Roseville](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Housing Element Update  
**Date:** Friday, July 9, 2021 8:42:53 AM

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Housing Element Update banner



## Public Hearing for the 2021 Housing Element

A public hearing is scheduled for **6:30 p.m. on Thursday, July 22** where the Planning Commission will consider the 2021 Housing Element. The meeting will be held

[in the City Council Chambers](#) at 311 Vernon Street in Roseville. [View upcoming meeting agendas.](#)

The Adoption Draft of the Housing Element, which includes revisions in response to public comments received on the second draft of the Housing Element, has been published. To help with review, you'll find the following documents on the project website:

- Clean version of the Housing Element;
- Redlined version;
- Companion document of only the goal, policy, and program revisions; and

- Companion document of only the 2013 Housing Element tables compared to the 2021 Housing Element tables.

The Planning Commission will review the Housing Element, which includes copies of comments received to-date, and hear public comments before making their recommendation to City Council.

The City will then prepare and publish the Final Draft 2021 Housing Element prior to the City Council hearing tentatively scheduled for August 18, 2021.

[View the Adoption Draft of the 2021 Housing Element.](#)

[View the official hearing notice.](#)

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[roseville.ca.us/HousingElementUpdate](https://roseville.ca.us/HousingElementUpdate)

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311 Vernon Street, Roseville, CA 95678

(916) 774-5200 | [www.roseville.ca.us](http://www.roseville.ca.us)



[Unsubscribe/Update profile](#)

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This email was sent to lhocker@roseville.ca.us using GovDelivery Communications Cloud on behalf of: City of Roseville · 311 Vernon St. Roseville · CA 95678





## PUBLIC HEARING NOTICE

**Notice** is hereby given that on **July 22, 2021 at 6:30 pm**, or as soon thereafter as the matter may be heard, the **Planning Commission** of the City of Roseville will hold a Public Hearing at the **City Council Chambers located at 311 Vernon street, Roseville, CA** for the purpose of considering the below project. Members of the public may attend the meeting in-person, or view the meeting on Comcast Channel 14, Consolidated Communications Channel 73 and AT&T U-verse. Planning Commission meetings are also video streamed live and are available on the City's website and YouTube channel. During the Public Hearing, members of the public may offer public comment in-person or via the telephone at 916-774-5353.

**Request:** The project is an update to the City's General Plan Housing Element. The Housing Element identifies Roseville's housing needs and establishes programs and policies to define how those needs will be met. State law requires Housing Elements be updated on eight-year cycles, and the Element must be reviewed and approved by the California Housing and Community Development Department. The current Housing Element was adopted by City Council in 2013 and expires in 2021, and the updated Housing Element will cover the period from 2021 to 2029. The foundation of the Housing Element is the Regional Housing Needs Allocation, which is the amount of housing the state determines a given region must accommodate. The City's Housing Element is required to demonstrate the City has sufficient capacity to accommodate 12,066 total housing units and 6,178 lower income housing units.

The updated Housing Element includes analysis required by state law, including the following: 1) goals, policies, and programs; 2) existing demographics and housing characteristics; 3) constraints on housing production; 4) a fair housing assessment; 5) a review of the effectiveness of the 2013 Housing Element; and 5) an inventory of sites available to accommodate housing. The City's inventory demonstrates the City does not have sufficient capacity to accommodate the lower income allocation, so the Housing Element includes a Rezone Program to identify means to add lower income housing capacity.

**Project Title/Name and File #:** 2021 Housing Element, File# PL20-0178

**Project Address:** 311 Vernon Street

**Owner/Applicant:** City of Roseville

**Project Planner:** Lauren Hocker, Senior Planner, (916) 774-5272

**Environmental Determination:** An Addendum to the 2035 General Plan Update Environmental Impact Report (SCH#2019080418) has been prepared consistent with California Environmental Quality Act Section 15164. The Planning Commission will consider the Addendum prior to taking action on the project.

Interested persons are invited to contact the Project Planner with questions and/or comments prior to the Public Hearing by phone at (916) 774-5272, e-mail at [lhocker@roseville.ca.us](mailto:lhocker@roseville.ca.us), or in writing to Lauren Hocker, Planning Division, 311 Vernon Street, Roseville, CA 95678, and are also invited to testify at the Public Hearing. If the matter is continued to a later date, comments and public testimony will be accepted until the close of the final Public Hearing. All comments will be considered by the Approving Authority.

Following the Public Hearing, the **Planning Commission** may take such action on the project as it deems appropriate. The **Planning Commission's** action on the project may be appealed by any interested person to the City Council by filing a written appeal with the applicable fee with the City Clerk within 10 days following the **Planning Commission's** final action on the project. If the City Council is the final Approving Authority, or if the project is appealed to the Council, the Council's action is final. If you challenge the action of the **Planning Commission** on this matter in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Division at, or prior to the Public Hearing.

Greg Bitter  
Planning Manager

Dated: June 28, 2021

Publish: July 9, 2021

FlashVote helps you make a difference in your community

# Survey Results: Housing Types

Survey Info - This survey was sent on behalf of City of Roseville to the FlashVote community for Roseville, CA.

**These FlashVote results are shared with local officials**

## 1080

**Total Participants**

1000 of 2312 initially invited (43%)  
80 others  
Margin of error: ± 3%

Applied Filter:  
**Locals only**

Participants for filter:  
**908**

**Response Time (ho...**

Started:  
**Sep 23, 2020 11:09am PDT**

Ended:  
**Sep 25, 2020 11:00am PDT**

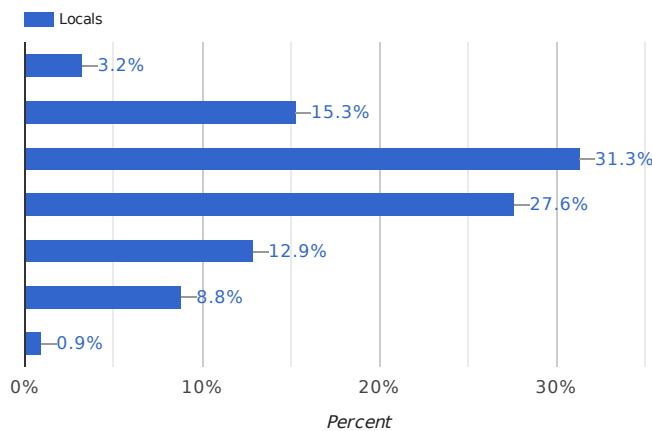
Target Participants:  
**All Roseville**

**Q1** The City of Roseville is required to update its housing plan every 8 years and needs your input to help preserve, improve, and develop housing accessible to everyone in our community.

Thinking about your lifestyle and budget, which of the following is the ideal home size for your household?

(908 responses by locals)

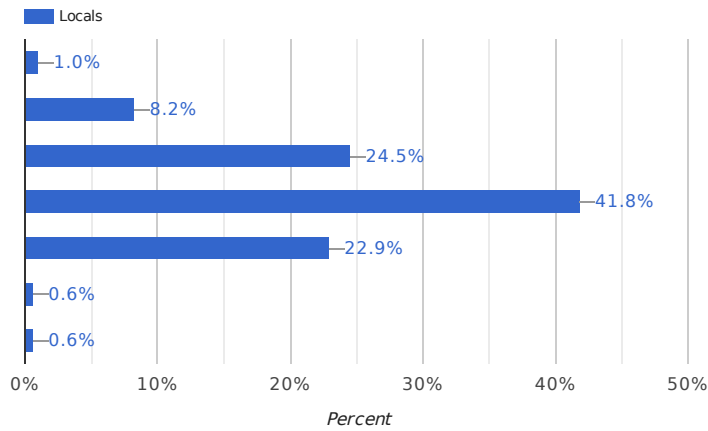
Options	Locals (908)
Less than 1,000 square feet	3.2% (29)
1,000 to 1,499 square feet	15.3% (139)
1,500 to 1,999 square feet	31.3% (284)
2,000 to 2,499 square feet	27.6% (251)
2,500 to 3,000 square feet	12.9% (117)
More than 3,000 square feet	8.8% (80)
Not Sure	0.9% (8)



**Q2** For you and your household, which of the following would be your ideal yard space?

(902 responses by locals)

Options	Locals (902)
No yard (outdoor space in a common area)	1.0% (9)
Courtyard (a private courtyard space with little to no need for landscape maintenance)	8.2% (74)
Small backyard (enough for a patio and play area for children and pets)	24.5% (221)
Medium backyard (enough room for a pool)	41.8% (377)
Large backyard (large open grass or forested area)	22.9% (207)
Not Sure	0.6% (5)
Other:	0.6% (5)



# private space

Space out further than 8 ft apart so I don't see my neighbor's backyard

Big enough for RV access.

small backyard area like a private courtyard space with little to no need for landscape but private

Medium to large

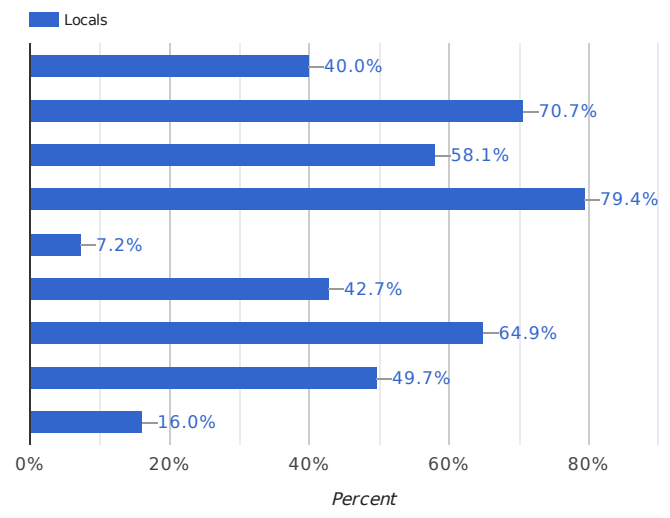
patio and place for a good sized garden

## Q3 Which of the following are your top considerations when considering where to live? (You can choose up to FIVE)

(885 responses by locals)

Options	Locals (885)
Distance to job	40.0% (354)
Size of home	70.7% (626)
Size of yard	58.1% (514)
Cost of housing	79.4% (703)

Options	Locals (885)
Near public transportation	7.2% (64)
Quality of schools	42.7% (378)
Distance to shopping, dining and services (stores, restaurants, entertainment, medical services, etc)	64.9% (574)
Access to outdoor recreation (parks, trails, open space, etc.)	49.7% (440)
Other:	16.0% (142)



hoa home area access less  
 low like family  
 property crime quality golf  
 proximity etc safe rv care traffic value  
 utility neighborhood tax  
 roos city  
 55 distance mello safety active  
 Proximity to neighbors  
 Far away from subsidized housing  
 community close rate walk senior  
 neighbor near diverse medical houses natural  
 Diversity of the community

- Distance to church
- distance to church
- Crime Rate
- Quality of neighborhood
- We need shopping in w Roseville
- Safety
- Comfort and accessibility
- quality of neighborhood/neighbors.
- Market Value Potential
- Garage size
- Freeway access/distance

traditional or neo-traditional neighborhood - walkable with trees, diverse custom architecture

Senior activities

Safety

Non HOA

Taxes added to property tax bill such as SD, LLD, Mello Roos

Safe neighborhood

mature landscaping

Neighborhood appearance where property owners 'keep up' the appearance of their property

Strict code enforcement. Like get the campers and crap off the residential streets!

distance to airport

Safe neighborhood

No HOA

Distance to family

Gated and/or retirement facility.

Active senior community

Quality of City

Walkability! So nice to not be car-dependent.

crime rate/safety

Able to walk places rather than always use vehicle as is current need

Quiet street/neighborhood.

Active community, people are involved

Good internet availability

Amenities in the development, i.e. pool, tennis courts, rv parking, gym

Neighborhood

Crime

City services

Quality police and fire departments

Excellent Internet access

Close to family

No Mello Roos

Safety, noise (flyover), location (old or new part of area)

Safe and friendly for Intellectually disabled adult

Low Crime

Layout and usability of home

Safety

A stable neighborhood, with minimal "affordable housing".

No crime. No low income apartments nearby. No halfway houses mixed in.

Three car garage on a one-Stoney

Natural disaster history

Whether or not there are HOA dues or fees.

Safety of neighborhood

55+ community

Not bordering on a major roadway.

Having 12 wide RV driveway and RV pad behind the fence.

Close to adult relatives

Low crime rates

Low crime

What the neighborhood is like.

Home flow and layout, floor plan

Traffic in surrounding area, how congested are the roads

Rural development.

Noise

crime rate

View

Safety, Quality/Reliability of Utilities

55 and older active community with golf course and pools.

Property taxes!

Socio economic group, condition of neighborhood

Privacy in a high quality area that wont be sold out to surrounding low income housing like Rosevil

close to family - friends

Some place where there are not a lot of people.

quality of the neighborhood

Excellent medical services

Proximity to medical

Style and quality of the neighborhood

Traffic

Safe and secure neighborhood

closeness to family

Low crime rate, reliable utilities (electricity, natural gas, water)

Closeness to extended family (daughter's family).

Crime Rate - Weather - Distance to Health Care - Distance to Whole Foods/comparable grocery stores

Crime rate, access to cultural events,

Walkability

Near a volunteer fire department so I can volunteer

"Walking" communities where I can walk to shops, eateries, etc but not in a high density setting

Crime factor

Proximity to family.

little amount of traffic

Culture

Valuation of properties in the neighborhood.

less traffic

less dense population

#1, the neighborhood. Location is everything. Less/no rentals, trees, community.

as a senior layout would be important, one story

Retired

near the coast

Available entertainment

Is the leadership of local government effective? What are the visions, goals for the community

Quality of law enforcement. Quality of city government.

Safety

Safety/ crime rate/homeless population

distance from heavy traffic.

It's important to me that we live in a nice area of homes.

Quality of the home construction. Quality of the neighborhood. Quality of the area planning.

Proximity to family that can help take care of children (regular babysitting/in case of emergency)

No Mello Roos

I live in Sun City and prefer that type at this time.

over 55

Safety

characteristics of the community

safety, low crime

Distance to church

Near my elderly Mother to help her

Being near family, which I currently am not

55-plus development

Quality of the neighborhood

Close to children/grandchildren

Senior community with activities

Community political ideology, is it a relatively conservative or progressive community

Safety of neighborhood

I am retired so most do not apply.

No Mello Roos tax

Safety

If they accept housing vouchers and condition of home (roaches etc)

Low crime

Public transportation

safety, low crime rate

Stability of home values in area

Distance to family

Police patrols

A diverse neighborhood (age, gender, ethnic, faith tradition, etc).

Surrounding neighbor homes not close to my home and cannot see down or into my backyard or home.

No stairs

Security, low crime rate.

Bus

Proximity to medical care. Proximity to family.

fiber internet, racially diverse neighborhood, solar panels, no HOA, low Mello Roos

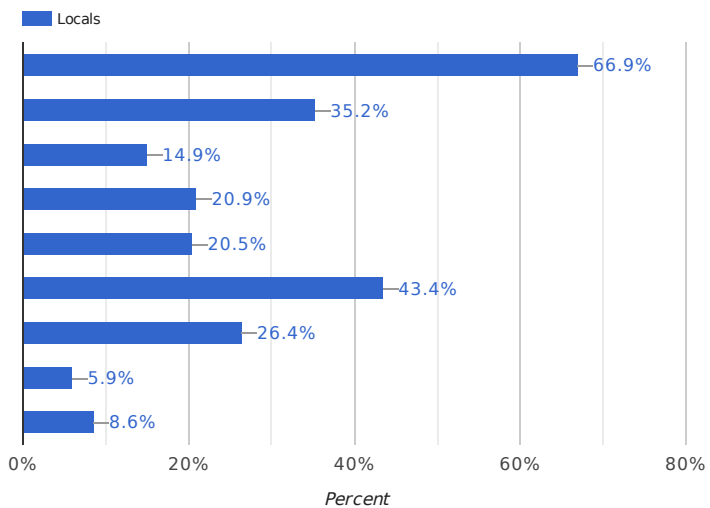
SAFETY of neighborhood

Landlord willing to take Section 8 certificate

**Q4** Which of the following are TRUE for you, if any? (Choose all that apply)

(874 responses by locals)

Options	Locals (874)
I'm living in something pretty close to my ideal home now	66.9% (585)
I'd like to move to something more ideal, but it would cost too much	35.2% (308)
I have a good understanding of how the City's development process works	14.9% (130)
I know how to find out if a project is being proposed near me	20.9% (183)
I know how to provide input to the City if I have concerns about a development proposal	20.5% (179)
I would like to learn more about how the city plans for growth	43.4% (379)
I would like to learn more about affordable housing and how it gets built	26.4% (231)
I'm not really that interested in housing plans or development	5.9% (52)
I'd like to know more about:	8.6% (75)



Effects of low income housing on crime rate values

tax income roseville city senior proposed

Plans to ensure equal access to housing and lending sources  
access small transportation better

New retail projects.

how the city will protect home values by minimizing "affordable housing" and the resulting issues

Wonder why the city hasn't capped new builds yet. We are getting overpopulated.

How can I help limit building in the city to help control traffic

I'd really like to leave California but our grandchildren are here for now. When they move we move.

Westpark Developments and nearby Developments on Fiddymont and Baseline Roads.

Removing homeless camps.

How Roseville plans to be sustainable and reduce its climate impact

Activities for seniors.

Easy access to learn about my areas of interest

getting enough from sale of house to cover what owed

New 55+ development with golf cart access to grocery shopping

smaller "single level" dwelling 1100-1500sqft, small private yard low maintenance \$200K-\$350K

Plans to add more Transportation routes to surrounding areas in Placer County and to the railway th

Low income senior housing. A 2 year wait is too much.

Projects near me

How A project gets approved near me.

Traffic mitigation

Why the city doesn't listen to its citizens when we complain about all the medium/high density hous

water supply, solar energy

Sustainable housing/building, strawbale in particular, and how these techniques are being supported

Subsidized housing for Intellectually disabled adults

How residential density housing is zoned

development proposals, development progress, plans for growth, affordable housing

More amenities in my area 95747

projects being proposed near me

how to keep halfway homes out of my neighborhood

Why developers are allowed to build housing so close to each other.

small homes (500 - 900 square feet), patio, tiny yard, able to walk to shopping area and a park,

How to set a limit on people per acres of land

How the city has studied other parts of the world for most successful ways to fix homeless issues

City projects and home builder maps

I really think there needs to be less Condos (apt). More townhouse and duplex housing.

Why businesses and transportation seems to lag in newer areas

That new developments should have solar on them to reduce the load on the grid

Rosevilles' plans re: Affirmatively Furthering Fair Housing

Would like to see more 4 bedroom 3 bath single story homes

Adding a room to my house

Moving out of California

Opportunities to develop an ADU on my lot, the costs involved, the process and how to start.

How the city can better support and serve folks who are homeless or at-risk

smaller homes for those looking to downsize.

I would like to find a house with a larger property, up to an acre. my current lot is 5569 SQ feet.

commercial growth, stores and restaurants on the west side of Roseville

Public safety

Why roseville wants to grow so much. Stop growing.

Finding out if a project is being proposed near me and learn about the City's development process

I pay alot to live out here and commute a long way to do so. Stop bringing in poor people

Section 8

Affordable housing placement decisions and the rumor that it can take away our parks (like Weber)

senior homes or cottages

Plans for more public transportation, particularly building more rail service and inter urban lines

does the city even care what neighbors think of development projects? i dont think they do.

how green space is developed in older neighborhoods

Plans for more town homes

Crime stats

I would like to learn how to provide input if I have concerns about development proposals.

tax incentives for older people to move to a smaller house but maintain their former tax rates

new construction plans

I would like to better understand how our tax dollars are spent on a granular level.

Fed and state govt mandates on the coty

Housing options where I feel safer better condition and sense of pride even while on voucher

Low income or senior housing

How affordable housing is financed.

What is going to be done to keep prices down including property taxes so we can afford to live here

Independent living houses for elderly seniors

What the city is doing to fight climate change.

How many sworn police officers are being hired to deal with new residential expansion

Proposed shopping in west Roseville

Any new senior or small independent living communities near me.

How is the City attracting a racially diverse demographic?

## Q5 Any other comments or suggestions about housing needs or planning processes?

(222 responses by locals)

road neighborhood built lot space access  
 low see area develop west school  
 senior need area develop west school  
 yard plan also roseville make public  
 want build house like please  
 family new home high live traffic  
 How do affordable housing get funded? much city community  
 More affordable housing. small price  
 park homeless residents less people move  
 Easy access to land development plans.

Remove the homeless people in Roseville. I work very hard to provide for my family and I starting to feel unsafe because people chose not to work or do drugs. They need consequences.

Don't build "affordable housing." I would rather not have Roseville turn into a tent city like Oakland or Sacramento.

Needs more public input.

Your strategic growth plan is just a Ponzi Scheme. You need the revenue from new housing to pay your current bills. So what happens when the growth stops?

Stop condensing population in the downtown and historic districts. Enough already!

Too much growth and traffic and dwindling water resources!

During the pandemic, the need for outdoor, personal space needs are greater than ever. Newer housing development within the city seems to reduce backyard space to a minimum, forfeiting the benefit of trees, plants and nature. Consideration of the human need to access nature, as close as your own home, should be a factor in future development planning.

Please, please encourage the building of smaller 1k-1.5k sq. ft. housing with a moderately/larger sized yard. NOT low income, but smaller options similar to the older homes by Roseville HS, where folks who don't want a monstrous 'keeping up with the Joneses' house can live.

How about reducing the excessive fees for building?

I'm a realtor. As the home prices and area grow, we will need ADU approvals to follow suit. I would like to make sure that current homeowners have a clear path to adding accessory dwelling units to their properties without a ton of bureaucratic red tape.

Can we get more shopping in W Roseville and less housing . It's too impacted . Whomever planned this did a horrible job. We have limited everything out here and it's been promised we could get something. Right now we have nothing but houses and parks.,lots of room for growth but we are stalled .

i love this area. pricing is getting a bit more expensive. i would love to move into a house close to my daughters current school but the pricing is just above what i feel i could afford as a single mom.

Rent even for a 2 bedroom apt is over 1800.00 which is not affordable for people living on retirement income. You should be able to get a 3/2 house for under 1800 per month but that's impossible in this area

Simple access to information

I have a large double lot that could accommodate a 2nd unit. The very high City costs for new utility hooks ups and permits are preventing me from adding this smaller "granny-flat" unit.

I realize it creates spacing issues, but when looking at houses, it's unreal how many have tiny back yards and basically no side yards. I have 5 kids and a yard was one of the most important issues when we were in the market for a house. There aren't enough houses in Roseville with decent-sized back yards.

I am deeply concerned that the push for affordable housing will result in unacceptable traffic and crime development particularly in areas that were initially planned for single family residences. This negatively affects our home value.

I heard that properties were being purchased in Rocklin and then used as halfway houses. I do not want that in my neighborhood nor would I want it in the neighborhood of people living in Rocklin.

Don't build more low income housing in Roseville. We are already seeing an uptick in crime and homeless people in the area. If you want to keep Roseville as one of the most desirable cities to live in, don't pander to the foodstamp crowd. Stop building all these massive apartment complexes and concentrate on large lot single family homes.

I believe the increased housing is or will not be justified. It will put a strain on our resources and infrastructure.

I'd like to learn more about plans for helping the homeless and about plans for more low income housing

Love having Roseville Electric instead of all P.G. & E.

Cap the new builds. The area is already overpopulated. Traffic is getting worse, there aren't enough schools for existing residents, cost of living has skyrocketed since the bay area moved in, parks don't even have bathrooms or shade, taxes have increased. We are creating the same issue people are fleeing from in other places. Roseville won't stay nice for more than a few years if this keeps up and I plan to move when I can if it does.

Don't put the City logo on the large brown wooden signs featuring new home developments. It looks like the City is endorsing those developers and is likely the source of some confusion for the public.

Focus on infrastructure before making problems with traffic. How many accidents are occurring on overpasses at Blue Oaks and Pleasant grove. I drive these regularly and witness frequent near miss accidents due to traffic backing up

There should be a place for tiny homes.

Affordable housing needs to be more affordable. The prices I've seen are awfully high for the truly low income needs.

Make sure to include plenty of parking for residents and guests at all the new complexes going in downtown and old town

Yes, post a large sign 3 months before any construction starts

I would like to feel confident that those making decisions about growth are not swayed by entities that contribute in some way to their office, campaigns, etc. It sometimes feels as though many projects are approved to the benefit of businesses and developers even when the public at large is against them. It would be nice to believe that the voice of the actual residents of Roseville were being listened to and used to make decisions, instead of just disregarded.

No.

We moved to Roseville in 2011, in a historic neighborhood. While we love Roseville, we see more traffic problems and crime than in the past, and are concerned about the increase of homeless individuals living in parks and riparian areas and blocking sidewalks and similar public spaces. While we still use parks, we have friends who refuse to meet us in Roseville parks due to homeless groups making them nervous for child safety.

Love Sunj City Roseville...

It would be nice if there were moderate sized homes (2,500 - 3,000 sqft) on larger lots. Affordable housing should be dispersed evenly through the community to prevent "pockets" of lower income neighborhoods.

I live within a mile of both a supermarket and a major superdrug store. But I cannot reach them in a golf cart. The City should consider rather modest improvements for Sun City residents on the west side, via Pleasantgrove bounded by Fiddymont and Woodcreek Oaks. More opportunities will appear in the future at Blue Oaks and Fiddymont.

Please plan for making the Holmes sustainable (catch rainwater, use gray water, solar, sustainable materials, etc)

Need to take care of infrastructure before allowing more housing!!!

We need more turf parks. Playgrounds only have either mulch or gravel which is not ideal for active kids.

Keep open space, parks, trees, bike trails as top priority to connect and enhance our neighborhoods.

More businesses in west park would be nice

New Active Adult community with golf cart access to grocery shopping!

Again, it would be nice to see some strict code enforcement. So not cool that the city thinks it's okay for the neighbourhood streets to be used as an RV parking lot. They are a severe safety hazard, they block the side walks, you can't see around them when backing out of the driveway... can't you just come fine them? Just mail it to the morons.

Mitigation is NOT the same as cutting down healthy vegetation.

Need more green space around housing developments

Please consider TRAFFIC when planning!!!

look into what is called "patio homes" atrium style... all plants no grass

18-30 y.o. afford to live in Roseville? Limit age to this age group, you can for 55+ why not younger?

When developing in the older areas, please consider using fitting architecture so the new buildings don't stick out like a sore thumb. For example, the Sierra College building on Vernon. That could easily have been plopped along Douglas. Also, the new housing on Main St in Old Roseville. That thing is massive and the "mixed media" look doesn't fit in with the original buildings. Choose architects who care about preserving the historic feel.

We should aim for decent housing for all budgets, not just cater to the people with lots of money.

I work with affordable buyers and would like to learn more about affordable homes projects.

As I am of the senior category and have given up driving I have more concern about public transportation to outlying areas and with in town. It's also imperative that everyone is carbon footprint be reduced. What is the city doing to facilitate more and better public transportation?

Please review how any plans made today will impact the city in the future.

We need more low income housing for seniors

My number 1 priority in housing is a safe neighborhood with an active police force-- not a choice in your survey. Also, for the last question, the last choice was cut off, so i don't know what it was.

Roseville has done a good job of planning for parkways that provide curves to break up long streets, with trees and shrubbery and grass that provides beauty for the city. It has also done a great job of planning and building parks that are accessible throughout nearly every neighborhood of the city. Simply put, this city looks good and people want to be here.

Infill. Mixed use in older neighborhoods and to the west. Have commercial built when people start moving in to new development. No more growth outside current Roseville boundaries. Lots of open space please.

There are too many high density apartments being built along roads that will not be able to handle the traffic.

Adequate street parking. Either bigger driveways or wider lots. If you have a 4 bedroom house and everybody drives where does everybody park?

Fewer seas of houses, please. Build less dependence on cars into new development. Being able to walk, exercise and run errands within easy distance of your house is an excellent amenity.

Where are homes for first time buyers under \$400k? Need more of these homes, with priority for owner-occupied, instead of them all being snapped up by speculators, and wannabe landlords.

half acre lots and more one story options would be preferable.

Better planning is needed, as the new developments are too close together, and look trashy less than a year after the developer leaves. Congested streets, yards of bark not maintained. Look at the Mayhill - Village Green developments in West Roseville.

Keep building affordable units! It makes for an inclusive, vibrant community.

Too many mega apartment projects being built. Campus Oaks as an example. Inadequate planning when it comes to supporting roads and shopping. example: congested 2 lane Baseline/Riego, and (0) shopping or gas stations anywhere west of Fiddymt, meaning many additional car miles on Blue Oaks & Pleasant Grove. VERY POOR PLANNING.

This city council is in jeopardy of being completely overthrown. Your citizens are VERY unhappy with how you have handled the development of the city. You are clearly in bed with special interest builders and the medium/high density housing you are putting in is driving out the long term residents. As a realtor, I have had 4 clients just this year that were long term residents of Roseville and not only were fed up with the state but also the city; they have all moved to another state.

The new homes being built are a little pricey and the mello roos are also very expensive, so it makes it difficult to move. In Lincoln the new builders are buying down the mello roos and taking them from \$400 per month to \$85 per month. It would be nice if the Roseville builders did this too. Also I have noticed that there is a part of Roseville by Baseline that is not on a Roseville school district. I am hoping that changes as I would not buy there just for that reason.

I feel like Roseville has enough housing. I don't want the city to get any larger.

Change the rule that only residents within 300 feet of a proposed change or development are notified. This is why no one in the neighborhoods affected by the 4-story townhomes crammed into 2 lots with no reasonable driveway.

\$2500 for rent for a single person is a lot. This is Sun City 1600sq ft

mandate solar energy and water friendly landscaping on new construction

It's too hard and too expensive to get any development plans through the City of Roseville or Placer County.

More "decent" affordable housing for seniors (other than Section 8 options).

Accessible housing is needed, too.

More attention placed on houseless populations is necessary. More access to public spaces and trails is a must.

I think Mello Roos should not be forced on 55 and older neighborhoods.

Wish there were more 1 acre lots, with room for a trailer.

I work with the disabled who have limited income and have difficulty getting into affordable housing because wait lists are so long. I have one client who got on the interest list early for Main St. Plaza Apartments for a 1 Br. then was sent an application. Found out then that the 1 Br. apartments are only for veterans, homeless or mentally ill so she did not qualify. Very misleading from the start and disappointing in the end.

There are too many houses being built without services being in close proximity, adding to the traffic problems which in turn pollutes our air.

I am a parent of an intellectually disabled adult. She lives in an apartment close by. I would like to know more about subsidized housing for my daughter.

Roseville seems to lack availability of condos

I hope the cost of homes becomes more affordable and the supply of homes increase.

We do not care for housing that means you hear your neighbors and vice versa. All new houses are seriously too close to there neighbors. Developers want to squeeze as many structures together as codes (created by the city of Roseville) they can "get away with". More money to them. . We would never buy a new home in Roseville.

Being retired and living in an over 55 community is fine for me, but I do know there appears to be a shortage of affordable housing in my general area.

Are the housing updates only available on Facebook or Twitter? What about seniors or others who may not have this kind of access?

Lower Mello roos and less apartments

Please do not concentrate all "affordable" housing in a small area!

Affordable, functional, access to public transportation are important features.

We lived in West Roseville for 10 years before moving to the eastern border near Rocklin. When we purchased in 2010 we were sold on the idea that shopping centers, coffee shops and good grocery stores would be built nearby. We were there for 10 years and there STILL isn't anything other than the CVS, a dental office and the new Sutter Urgent Care. It is so frustrating to hear rumors of large shopping centers but then nothing happens for a decade. You see the toll it takes on the stores along Blue Oaks and Pleasant Grove because they are serving way more people than they were intended to. It was really frustrating and a major reason why we will never move back to West Roseville again.

City seems more interested in the developers then the voters.

We need more affordable housing. I would assume that requires housing to be smaller and denser and I'm okay with that. I'm a big believer in in-fill projects as well.

WHAT ABOUT THE HOMELESS?

Need more single story homes for older residents.

No more Row Housing. It's okay to use this type of housing to accent a project center but you need conventional subdivisions surrounding the center that includes parks to make it attractor all.

Let the market (builders) determine what houses and developments look like. The government should stay out of deciding what consumers should get.

There is a huge need in the region for affordable senior housing. Not \$1800+ a month - that's not affordable for anyone living on social security! My mother, my mother-in-law and uncle all live on just social security. Housing makes up more then 60% of their monthly expenses. They have no place to go. Wait lists for affordable places are years and year long. They have no hope of having access while they are alive.

It would be ideal to NOT feed off of the federal government to make affordable housing or homeless housing crammed into neighborhoods that are already built out or in suburban neighborhoods. Money should not speak for our community and how we live.

Let's work on a community plan that has housing for all income levels and ethnicities. Let's diversify Roseville and encourage other races and cultures!

Although there are approved specific plans, I would like the city to be more pro-active in pushing for smart growth, affordable housing and environmental concerns whenever the developer wants approval of a modification.

The developers seem to own the city planners. Big houses on tiny lots do not appeal to us. People need RV/boat/trailer/utility trailer storage on the garage side of the house behind a gate.

I live in 1,675 square foot house, too big for me, would like to know if less square footage homes are available in my area or surrounding areas. Homes under 900 square feet, with small patio and yard.

Way too much growth in Roseville! The vast fields and small town I've grown up with are all but gone... too much asphalt, not enough green space and horrible building designs. City Council is all about the \$\$ and developers and not concerning themselves with how their decisions impact all of its residents.

With our aging population yard maintenance is an issue. Want a single story with alley loaded garage and low exterior/landscape maintenance.

Would like low income housing to be more public and how to vote. Not liking Roseville to be building low income housing. There are enough apartments people can rent. Need to keep crime down. We already have homeless problem and there

people are not going to be renting or buying there low income housing. Most I see have drug or mental problems.

The city does not integrate housing and retail well. Most shopping requires a significant drive. Retail is all grouped away from houses.

stop building high density residential units and only zone low density developments. Set up minimum sq ft parcels to allow for better traffic and minimal impact to resources

City of Roseville does a superior job with housing and planning. Would be nice to have more affordable homes, this area's home prices are skyrocketing!

Would like to see less sprawl of houses and more with some services within community without driving through heavy traffic to get to things like grocery store or essential household items and services. Support housing also for lower income families as well.

Less zero lot line house and more housing choices with larger backyards

Like I said before...the condos are glorified apartments. Not very pleasant. We need more townhomes and duplexes. Townhomes of up/down stairs with small yards. Duplex developments with shared garage walls that provide a more single family feeling with backyards.

More affordable homes are needed. There seems to be more either to high and out of priced homes or to low in a not desirable area.

Senior low cost housing is my big concern as so many boomers are now aging and have not prepared or could not save for housing needs and taxes push them out of homes to apartments

Solar is standard in all new construction

No more Low-income Housing! It will bring Roseville down and continue to raise crime etc

Not a good survey, folks! Maybe give it another try in 6 months.

A broad diversity of quality housing in terms of types and price is critical to creating a diverse, healthy community that is a community of choice for individuals, families and businesses to live and invest.

No matter the cost of the home, maintaining open space, parks and bike trails is extremely important.

Thanks for asking.

I believe solar should be installed on all the new homes being built to help reduce the strain on the grid in the future. I also wish they would build new houses on WAY bigger lots and more one stories. It is so hard to find a big one story in Roseville.

Major roads like Westbrook or Santucci Blvds. should be extended ASAP to Baseline; a trip to the airport from PG/Westbrook is an additional 5 miles because of the travel to/from Fiddymt. (Not for me, I live in east Roseville, but my mother-in-law lives out that way.)

Great job on the surveys!

It seems to me there are way too many apartment projects currently being build in west Roseville. Traffic congestion is going to become worse than it is already.

NA

The city needs to stop allowing low income housing units from being built. What made this city unique was how hard working people were rewarded with a clean crime free area for their hard work. But the city of Roseville has sold homeowners down the river by allowing all these low income housing "projects" to be built thus bringing in all the riff-raff and making our incentive town no different than north highlands or any other ghetto area in Sacramento. I could have purchased my home in a different city and paid less in property taxes had I known Roseville was only laying out plans to turn it into what it is unfortunately become. It's very sad what this city has turned into. Soon my family will be selling and leaving this area.

Roseville is getting so crowded. It takes less time to visit friends/family in Sacramento than to travel within Roseville.

As a single mom with 1 child, most houses are too large for us, and the payment is proportionate with the size, too large for my budget. I have a relatively good job but there are very few housing options for my budget. I would like to see more smaller 2 and 3 bedroom homes. These would be appropriate for many groups of people: small families, seniors, single parents, 1st time home buyers, etc. Thank you :)

I am not happy with the thousands of new homes being built in W Roseville with major impacts on infrastructure. I also hate to see more land covered over with concrete.

Quit building. Too many people are mucking up the beauty of Roseville.

New housing needs to be dispersed throughout the city, not just concentrated in certain parts of town such as affordable housing being concentrated in historic downtown area.

Less traffic please - cars crashing all over!

Would like to see more single story 4 bed 3 bath homes around 2000-2400

Unlimited growth is not good for our citizens

Less high density housing developments providing more offset between housing. There are plenty of housing developments in other states in major cities that offer 1/4, 1/2 and 1 acre lots. It seems like a challenge accepted by developers to pack as many houses into the smallest space available to maximize profit. It's not that I don't like neighbors it's that I don't like neighbors 10' apart.

I think the city should stop building and instead try to slow growth. There are already far more people here than our infrastructure can support. Traffic congestion, classroom overcrowding and long waits for essential services do not improve the lives of your current constituency. Roseville is becoming less and less enjoyable to live in every year as you continue to add to the problems caused by overpopulation.

My responses on the size home and yard I like are not what I think the city needs to plan for. Homes and yards need to be smaller with more parks, trails, amenities.

Don't separate housing by price, but have stringent rules for property upkeep and owner behavior

In the current system, the need for adequate, affordable housing and securing income for city services, schools and infrastructure seem to be in direct conflict. A tax structure based on property values does not promote smaller, basic housing close to business and services.

I am not impressed with the small lot sizes that are now the norm because they want to get as many houses as possible in a community. I used to think that Roseville did a good job of planning ahead for traffic flow and number of lanes on major roads but I don't think that's the case anymore. I believe the city is just interested in growing as much as it can at any cost and the amount of crime now in Roseville is showing just that.

It doesn't seem that access and road development is considered until after the development is built and gridlock occurs.

yes I am in Historic old town roseville, off washington, any plans to make it a bit more appealing from main to Elefa?

I hope I can stay in Roseville/California. The radical politics and taxes ever increasing are forcing me to look to move out of California.

Thanks!

Please don't turn Roseville into a concrete jungle. I love the open spaces and it breaks my heart to see them being filled with more building.

I'd like to see higher densities of low income housing spread out more throughout the city. I'm concerned that the vast majority is being forced into the downtown area without improving the aging roads and utilities enough for that amount of expansion. I think traffic in the area is going to become painful when the current projects complete. Thank you.

Build up near the downtown core! Create a bustling downtown with small businesses and apartments.

Stop making the hard working people pay For affordable housing. Have city or County or Federal. Pay for it. No more increased Development impact fees to pay for SFD development.

The city needs to pay more attention to parking when creating low income housing. The housing being build in Old Town will not have enough parking for those housing there and if they have visitors. We do not have enough transportation options to assume residents will not need cars. Also no grocery close enough to walk to (can't count 7/11). There will be issues once this rental starts.

I do believe that Placer Co. needs to provide more affordable housing, but most people say "not in my back yard". I do see many apts. being built that are now 3 story. Not sure that's an answer to lower housing costs, and they are not very visually appealing.

More racial and ethnic diversity. My area is almost entirely white (including me). That's a bad thing.

We moved to West Roseville 16 months ago. We had no restrictions on where to live. We picked Roseville because of the cost of housing. It turns out that we love it here. We would like shopping closer to us. The closet retail store is 2 miles away. A small parcel on Pleasant Grove is now being built that is about 1.5 miles but like to see other retail stores to open us.

Would love more businesses out here on way West Roseville! Literally ready to patron ANY business I can walk to lol!

I am definitely interested in the planning process.

infrastructure for new construction areas

Homeless is a problem for cities like Roseville. The climate attracts people because it is moderate. Consideration must be given for lower cost homes that low income people can afford.

I live in a 700 sq ft apartment, which is more space than I need for just me and the cat. I would not consider buying a home that was bigger than this. I don't really want to buy a condo, which is just an apartment that I am stuck in if I get bad upstairs neighbors.

We go through droughts and water restrictions almost every summer, but there is no plan to build more reservoirs in our state even though more housing is planned. Why is this allowed and at when do we reach the breaking point???

it maybe already be a code, but ev charging stations at any new apt built etc

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We need more affordable housing in the area, and not just for the lowest of incomes.

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more land for homes. more family oriented

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Sun City is wonderful except for the "cut through, speeding trucks & cars." I realize our streets are public streets but it's annoying. Mainly due to the speeding.

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Quit bowing to developers - we NEED more open space.... if a developer buys land, write into the City Charter BEFOREHAND that 50% needs to be open space.

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Roseville is the best place to live but expensive

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We were lucky to buy a nice home in Roseville when it was still affordable. I'd like to see rents come down for lower-income families and young people getting started.

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I am not a fan of housing the homeless in our neighborhoods.

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Please no more multi-family, low income housing.

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The human race needs to go back to living in caves and hunting and Gathering.

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Roseville is getting too densely populated. The reason we moved here from Sacramento was because there was a little breathing room.

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Housing prices are too much!

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I'm concerned about main roadways around Roseville becoming congested with additional residents.

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I appreciate elected officials who respond to my many questions

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Bigger lot sizes would attract higher end buyers to the area. Cookie cutter houses on small lots don't give an area much personality. Maybe offering up lots for custom homes in am certain area could be a fun idea.

---

Planning should include adequate education, shopping and most importantly roads to prevent gridlock. It is not necessary to build on every available space.

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Commitments on school building need to be kept.

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Roseville needs to get control of the homeless population. They are a major contributor to crime and drug abuse in our area

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Stop trying to make our city accessable to homless and poor people. Keep them OUT

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We need more housing options for Seniors.

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Roseville is getting too crowded with new homes, people and cars!

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Please be smart about planning for growth and ensure that the infrastructure (particularly road infrastructure) is in place before development takes place. We are seeing now where that did not happen before all of the additional development in Westpark and now we are being asked for yet another tax to retrofit that infrastructure.

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The city's dependency on Mello Roos has me concerned that there is no concrete plan for managing future fiscal needs beyond that taxation strategy. Ultimately as my costs escalate it may mean relocating outside the city.

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Thank you for being open to creative things like Home-Share and please make sure that information about your programs and plans is accessible to low income neighborhoods such as Roseville Heights and along Vernon on the other side of the railroad tracks. Also, please make your surveys accessible in Spanish because some of our neighbors couldn't answer this questions. Please give enough proactive notice of plans to the neighborhoods most affected so they can share feedback

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I prefer to live in a city with more single family houses than have many apartment complexes.

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None

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There needs to be more housing choices for seniors of all income levels. All there is now is low income or luxury. We don't all fit into that category or have the income necessary to qualify for whichever category. We need more choices!

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Ugly buildings being built in historic neighborhoods and the current residents have no say in it. if they building must be built, can it at least fit in with the aesthetics of the surrounding neighborhood? we live here because we love the old look and there is too much modern stuff going in.

---

I see low income housing being built in downtown Roseville. However, will grocery stores be built to allow those with no cars to access food etc. easily?

---

as a county worker, I can't afford to live in this county. how sad is that. you are pricing yourself out of your own workers.

---

I live in downtown area. There are lots of affordable housing either already completed or close to completing. It would be nice to have some of the other neighborhoods include affordable housing and not just here. Weber Park is under consideration. I know the State has mandates. How would the City replace that green space if used for affordable housing?

---

I don't mind more higher density residential development. But the ratio of developed areas to parks/open space is excellent, so Roseville should stick with that.

Keep quality at the highest level

Several times I have learned about building projects after the fact. Other citizens expressed the same chagrin. I feel that residents should be able to have knowledge and input BEFORE the city council makes a final decision.

We rent now, but are interested in buying within the next few years and hopefully we can stay in Roseville. I just don't want neighbors lol!

My desire is to move out of Roseville, personally. I really like my yard in an older neighborhood and I like my neighbors. I am waiting for my adult kids to settle somewhere and then move closer. I would love to see Roseville be on the cutting edge of community planning: Common yard space, pools, within walking distance to amenities so the cars can be left at home, more condos than rentals. Preventing big REITs from grabbing up the better priced housing if possible.

The City should allow for more housing along some of the older commercial roadways, like Harding and Douglas.

When property tax bonds are approved for a prescribed reason the residents should expect with some degree of certainty that the project will be completed without further taxes/bonds needing to be approved. West Park HS being the prime example, our property taxes were misused and spent without the residents knowing. We were then lied to and advised that our school age population wasn't sufficient enough to support a HS. The school district then devised a plan to bus our children to the other side of Roseville (passing 2 schools along the way) to attend Oakmont. Very unreasonable and showed a complete disregard for the residents of West Roseville.

Maintaining integrity of individual neighborhoods is important to us.

less apartments instead small affordable homes with yards to encourage responsibility

More space, bigger yards less neighbors on top of each other. Widen roads before more traffic. More nature spaces

I've lived in North Western Roseville for 19 years. I am really concerned that we have massive, high density housing tracts getting approved and built along Blue Oaks and west of Fiddymont with, what appears to be, little or no real consideration for the capacity of our roads and freeways to handle all the additional traffic. Congestion is becoming increasingly like LA or the Bay Area. There needs to be a reasonable road and infrastructure plan that helps maintain the standard of living that made Roseville such an attractive place to live. I don't believe Blue Oaks and Pleasant Grove were designed to handle to volume of cars we see today; and its only going to get worse. Its getting harder to imagine wanting to live in Roseville for too much longer.

You are building condos and apartments where roads can not be widen to accommodate the increase in traffic.

We need more affordable housing so that people who work in Roseville can afford to live here

We use to have moretoriums on building if the infrastructure could not handle the growth. When we have such a water shortage, why are we building more homes. I refuse to turn my beautiful yard i nto an Aeizona desert scape because Roseville is over built

I feel very stuck yet am grateful to have a roof over my head. I'm on Roseville housing program and am too embarrassed to have my son have a friend over. The apt is old with roaches and constant problems including violence in the complex. They are remodeling the vacant units and charging double the rent and I fear they will search for a reason to get me out to get a higher rent. My son and I both have mental health needs and are doing the best we can to rebuild our lives after dv and homelessness. I feel often times those of us in certain situations are looked over. Your home should be your safe place and that should be something more obtainable. We are seen as one person household and the allowable rent amount for the voucher was almost impossible to find.

Bigger units in low income/senior housing

Permit fees are ridiculously high in Placer County. It's almost \$100k just to break ground.

Take a closer look at how much money people are really making and take into consideration the high prices of living here. This will tell you how unaffordable it is to live here without barely scraping by.

Promote "Know your elderly neighbors" to minimize loneliness & isolation. Provide timely assistance for elders who fall and can't get up.

The area NEEDS more affordable housing. Our children & grandchildren aren't able to afford to live in this area, near family.

We have crime exploding, we have vagrants on our trails next to gated communities... put low cost housing outside west Roseville

There is a great need for affordable housing in this area. I have friends in the city whose rent far exceeds my own mortgage payment and many of those people are single parents. I have other friends who rent a nice 3 or 4 bedroom house but then 4 roommates live there. Most of the development of new apartment or condo rentals are very out of price range for the average income in the area. (they are 50% of take home pay) Personally, I think the city should see what other cities are doing, put everything on the table, and then analyze the options. By everything I mean: Tiny homes, mobile homes, senior living (non assisted) for low income seniors, housing above retail (I've seen a lot more of this in San Jose), in-law quarters or guest cottages on existing properties, community land trusts, cooperatives, modular housing, as well as the standard apartments/homes/condos.

The middle class is getting pushed out of Roseville. Homes are either huge and expensive or for low income people.

Allow more green space within developments, perhaps "parkways" between sidewalk and street for trees.

I'm concerned about affordability and would like to see more open space and more public transportation. Thank you!

Nope

As senior citizens we are most interested in comfortable, affordable, safe senior housing.

We need a post office in west Roseville

With all this high-density housing being built, we are experiencing more traffic on the road ways. Are there any discussions about high-speed public transportation like BART? The homeless setting up camp in public parks is dangerous for many reasons, what if anything, is being done to relocate them?

Announcement when new affordable housing is available

Please build more housing developments with NO HOAs!!!!!!

Traffic impact

I want access to the same information the City and the developers have in a centralized location at point of purchase for a new home. If they're looking at income, age, education, traffic, family size, etc. I believe home buyers should have same information in the sales office and/or on the home builders online sales office. I want to see past stats on how the home builder/ lenders selects a geographic location to build a new neighborhood in Placer County and the City of Roseville. I also I want to see to the makeup of the 1st home owners and how the results turned out for their past developments. If facebook collects data on its users I want to see how the developers collect data on their home buyers and how they create the fabric of a neighborhood.

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# Survey Results: Housing Needs

Survey Info - This survey was sent on behalf of City of Roseville to the FlashVote community for Roseville, CA.

**These FlashVote results are shared with local officials**

962

Total Participants

917 of 2301 initially invited (40%)  
45 others

Margin of error: ± 3%

Applied Filter:  
**Locals only**

Participants for filter:  
**842**

Response Time (ho...

Started:  
**Oct 20, 2020 11:11am PDT**

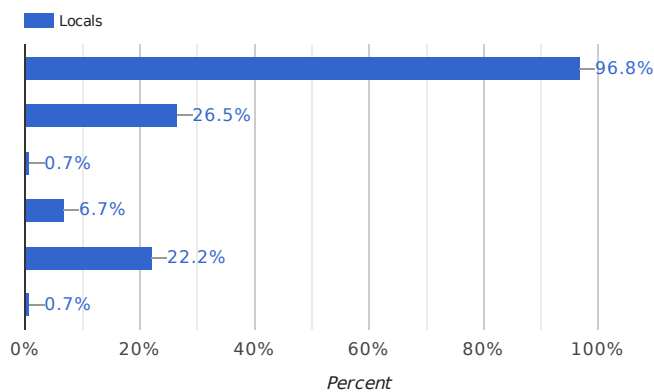
Ended:  
**Oct 22, 2020 11:02am PDT**

Target Participants:  
**All Roseville**

**Q1** Thinking back to the end of January this year, which of the following were TRUE for you, if any? (Choose all that apply)

(819 responses by locals)

Options	Locals (819)
I lived in Roseville	96.8% (793)
I worked in Roseville	26.5% (217)
I did not live in Roseville, but wanted to	0.7% (6)
I did not work in Roseville, but wanted to	6.7% (55)
I did not work for pay (homemaker/unemployed/retired)	22.2% (182)
None of these are true for me	0.7% (6)

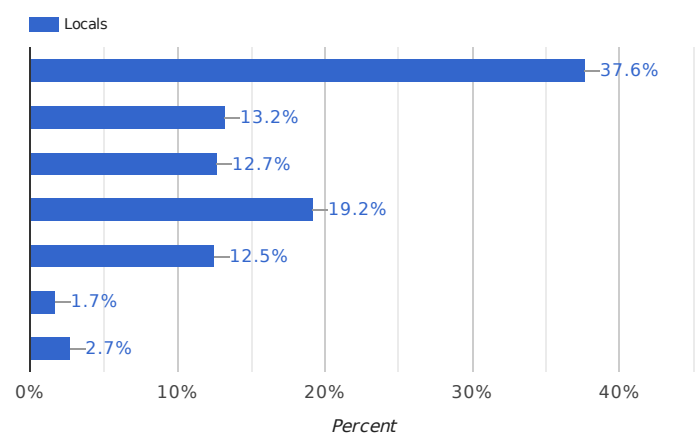


**Q2** Thinking back to the end of January this year, about how far was your work from your home in terms of typical travel time?

(842 responses by locals)

Options	Locals (842)
I wasn't working for pay (homemaker/unemployed/retired)	37.6% (317)
I worked for pay from home	13.2% (111)
Under 10 minutes to work	12.7% (107)

Options	Locals (842)
10 to 30 minutes to work	19.2% (162)
31 to 60 minutes to work	12.5% (105)
More than 60 minutes to work	1.7% (14)
Other:	2.7% (23)



retired  
 home  
 travel  
 work  
 time minutes  
 located  
 job  
 office  
 sales  
 boston  
 roseville

I'm retired

job is located in Boston, MA. Was traveling once or twice a month to Boston.

I work in Roseville and out. My commute ranges from 5 minutes to 120 minutes

Retired

I'm field sales personnel. Some times I work in home office, some times on the road.

I'm retired

I worked from home but also traveled to various locations which were 30 - 90 minutes from my home.

I have 2 jobs. One in the Bay Area, and one in Roseville

Half a home have travel (more than 60 mins)

Am retired

retired

Retired

Retired

retired

sales with a large territory. Office was at home

Depended on meetings throughout Placer County

Retired from USPS

I am retired

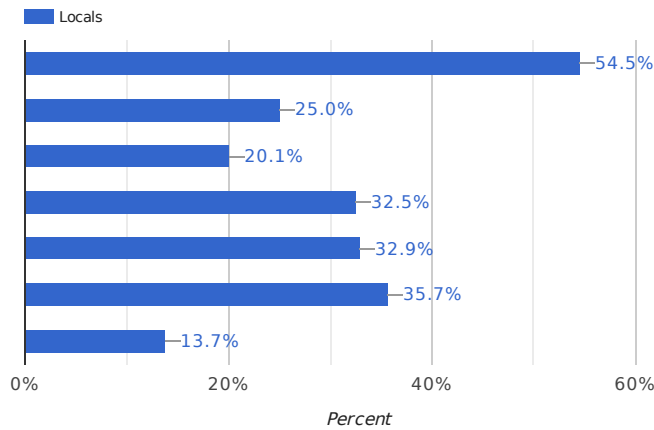
Retired

Option 2 & 3 split time

**Q3** What kind of housing do you think the City needs most, if any? (You can choose up to THREE)

(815 responses by locals)

Options	Locals (815)
Single-family homes	54.5% (444)
Two-family homes (duplex/halfplex)	25.0% (204)
Apartments	20.1% (164)
Townhomes	32.5% (265)
Senior housing	32.9% (268)
Multi-generational homes (where multiple generations of a family live together)	35.7% (291)
Other:	13.7% (112)



commercial senior need build single community planned  
cost priced stop home low tiny ft traffic now  
space know live houses lot enough disabled  
less apart income new mix smaller open  
Affordable rentals family unit rental afford middle  
land NO MORE housing!! Water size traffic roseville people large increase population  
neighborhoods multi roseville homeless class  
No more homes in the City of Roseville

Slow the grow and give some thought to. The ever growing and embarrassing issue of homelessness!!!

NO MORE APARTMENTS!!!!!! PLEASE STOP!!!!!!

No new homes

None

Low income section 8 housing

I don't know

No more! it is growing too fast, we are going to be just another crowded Bay Area city

Affordable housing

no more

Affordable and near transit lines or better transit lines

I think the city needs to stop sprawling out and stay more compact.

Single family homes under \$400k

tiny homes

NO more! The impact of out of control building is affecting all of us. Traffic is a nightmare.

retail

Affordable apartment housing permanent supportive

High density homes

Affordable rental units

Rural houses with more land

We need a mix of all income levels and sizes

more single story homes

NONE!

We have enough houses, we need retail on the west side of Roseville.

Homes with large garage eg Lennar in Plumas Lake

Low income apartments/townhomes for seniors.

Homes priced for single parents.

None. Roseville is entirely too crowded.

Low income senior

Homeless housing and more Affordable housing for all

low income housing

Mixed use buildings around transportation hubs

innovative housing solutions for homeless individuals

More Affordable

low income housing

Single family homes with larger backyards and no HOA

Affordable housing for our service industry families

Small, zero allotment, single family dwellings — like old school 'Brownstones.'

low income housing

Housing cooperative, limited equity, group equity, zero equity, and market rate co-op's.

None..... we have too many houses not enough roads. Oh that's right...you just want more tax money

Homes with large city lots with RV, boat, trailer access next to the garage and off the street.

Unless it is for low income NONE!!

We need more multi unit homes close to public transportation

smaller sqft homes, so people can buy 2-3 bedroom without being over 1500 sqft

You don't have the infrastructure to start any more housing

Low income

no more housing is needed

Cheap housing for unemployed

None. Too many people here now.

Single family homes (2,500 sq ft or less)

tiny home communities

Some smaller SFR's that give an option to downsize outside of an apt complex or 55+.

No more housing.

Active 55+ Communities

Larger lots with homes farther apart.

tiny homes centered around community courtyards

live / work (homes with a commercial overlay)

More affordable housing if all types

Ability to have tiny homes/mother in law quarters on property

More opportunities for remote work sites open housing possibilities.

Affordable

Affordable

Homes for veterans

Flexible living spaces, homes, that can be easily adapted as needs change.

Low income housing - people that work in Roseville can't afford to live in Roseville.

We have too many now and more being built. Enough is enough.

It seems pretty full.

Zoning for low cost housing in all neighborhoods. Small apartments, small homes, attached homes.

Condos

I don't have enough information to make a selection.

None. Stop building! You are creating too much congestion and the larger we get, the more crime!

NONE! Roseville is over populated as it is. Please STOP BUILDING!!

None

no idea

All types but affordable.

Disabled housing for physically handicapped people

no more. What is planned is enough

Smaller, affordable single family homes in walkable planned neighborhoods

Community Garden Homes like Singapore builds!

SMALL multi unit complexes mixed into the neighborhoods, no multi-story apartment building "cities"

none

Accessible units (ADA)

Build high end luxury housing.

none

affordable homes for seniors, working poor and veterans

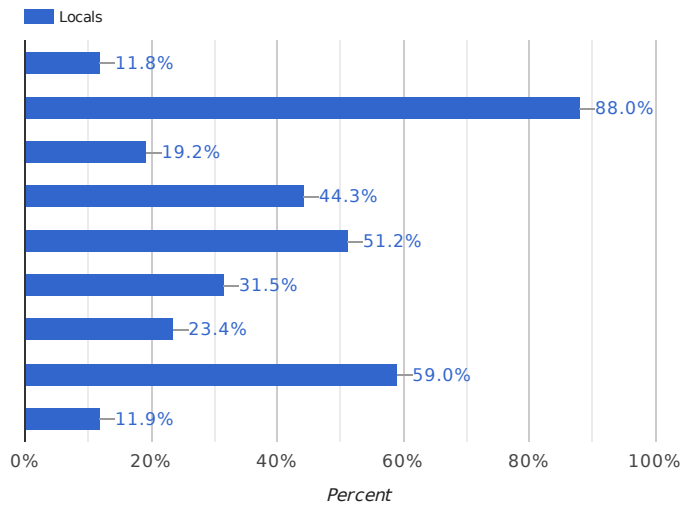
Tiny home villages

higher acreage homes
Affordable housing options in general.
low income
low income housing
Downtown housing
Affordable housing
No more building
Modestly sized homes (1900-2100sq. ft)on decent sized lots (10-15k sq. ft)
I don't know
Reasonably priced housing not Roseville prices
Not apartments,
I think we have enough homes already.
Affordable rental properties
Stop building new homes. The traffic is horrendous. Little services in West Park, barely infrastr
ADUs, cohousing, RV parks for visitors and month long stays
Roseville is already overbuilding.....stop these huge developments!
The city doesn't need more homes.
Affordable senior and disabled housing
I don't really know
Sober Living Environments
More affordable housing for young families and singles
Single family low density

**Q4** Which of the following, if any, are your biggest concerns about future growth in Roseville?  
(You can choose up to FOUR, if any)

(817 responses by locals)

<b>Options</b>	<b>Locals (817)</b>
Sewer capacity	11.8% (96)
Traffic	88.0% (719)
School capacity	19.2% (157)
Water supply	44.3% (362)
The natural environment (trees, animals, etc.)	51.2% (418)
Noise	31.5% (257)
Changing my neighborhood	23.4% (191)
Public Safety	59.0% (482)
Other:	11.9% (97)



growth become area alternate state city low  
 like **homeless** affordable quality price electric  
 enough cost utility **roseville** population  
 income lack **house** road density  
 change run **crime** tax service already  
 high retail **transportation** infrastructure  
 affordable housing neighborhood much commercial need west  
 Housing becoming unaffordable  
 Change in Industrial zoning to residential has lost potential tax base/jobs out of Roseville.

Providing adequate services for homeless

Crime

Cost of housing

People moving in and changing our city historic and political values

Roseville's planned growth is beneficial to our community, residents and businesses.

Appropriate internet service

No more low income or subsidized housing

Shopping

retail

Alternative transportation

The lack of a sense of smaller neighborhood or place with housing looking so similar

Enough convenient retail

Quality of life

Price and availability

not enough retail out in west roseville

Cost of all utilities

Lack of public transportation like trains and trolley cars.

Changing from a well run prosperous conservative community to a liberal crime ridden run down one.

The power grid

Landfill capacity

Over development i.e. Elk Grove

Trend towards too many ugly strip malls. Lack of effort to revitalize downtown

raising the cost of housing

Uncontrolled urban sprawl. Houses keep getting built with little or no infrastructure. Look at 65

Letting poorly planned county development annex without paying their freight. Also fear believe in

increase of homeless, and crime

Air pollution

Creating adequate density to allow transportation alternatives

Very concerned that the State of California is mandating creating very high density projects

Shopping in west Roseville

Homeless coming in

too many Liberals moving in

Access to parks and trails

Traffic

Anti-democratic and non-inclusive policies

politically divided neighborhoods

There are too many poorly kept rental houses running life for us homeowners. This needs to stop.

Roseville PD does not properly address the racial and privileged bias they have when on the job

Homelessness We need pod type housing in a secure setting

Homeless

Electrical costs

Cost of housing

More taxes to pay for the infrastructure

Financial housing availability

Air pollution, loss of open space, over population, infrastructure insufficiency, more crime.

Taxes

Public transportation

Bigger is often not better. Maintaining a quality community in all aspects vs. revenue.

road infrastructure

having so much affordable housing in the downtown Roseville area

More homeless and druggies

Too much uncontrolled growth

Crime

homeless

homeless & crime

Congestion at areas other than just traffic

Affordability

Affordability

Cost of living in Roseville

Infrastructure to support larger populations.

Fires

Electric cost

Even greater income disparity

Electricity

More Bonds added to my property taxes. It's ridiculous already

High density low income becoming slums

That City Planners/Council will continue to care more about developers and their profits than people

Losing the small town feel of Roseville. I don't want to live in a "destination".

I worry that the city is not planning dense growth and continues to sprawl far from services.

I'm worried that the bigger Roseville becomes, the more it will become like the City of Sacramento

Not enough stores to support all the houses being built in west roseville.

Population growth re: graffiti, roadside trash, etc...lack of pride in neighborhood.....

loss of history and historical buildings

Roseville Electric's ability to support current and new customers to the current level of service

over crowding

to many people

Increasing utility prices

Safety of residents who are minorities (hate crimes)

Too much section 8

Too many houses as it is already.

Pricing out housing options for service industry workers and young adults

Old Roseville is bearing the brunt of low income housing w/out widening roads, improving services.

Covid-19 control

Retail and Commercial Services in Westpark Area. The closest retail and gas is 5+ Miles away.

Transit

Crime

ALL of the above

Commercial

Bike trails

Lack of mass transit/Lack economically diverse neighborhoods/Racism toward those who are different

the multi units going in central/downtown rsvl and traffic parking accommodations

Taxes

Overbearing regulations coming from the state level

integration of high density housing causes crime problems. proven in my neighborhood.

**Q5** Any other comments or suggestions about growth and housing needs?

(290 responses by locals)

work stop etc growth family  
 develop afford live public  
 use less city need people keep  
 lot like see house build plan  
 space area road neighborhood year  
 low home roseville please  
 water think traffic place west new cost  
 income traffic place west new make  
 We need less dense housing with larger lots for homes  
 move apart community park

Traffic is a major factor which must be considered. New roads to connect freeways and across the railroad tracks need to be constructed. Green space should be maintained along with walkways for families and seniors.

Responsible - holistic growth and no caving into developers needs for profit maximization

No more low income housing. I have seen more homeless people now more than ever before. Don't ruin this beautiful city.

Stop concentrating housing in the downtown and historic districts. Enough is enough.

We need housing for people who cannot afford \$450k homes. We need smaller, more affordable homes to buy, we need more affordable rental homes. We need more programs to help first time buyers compete with cash offers from the bay area converting owner occupied to rentals.

More NEV lanes/roads - like in Lincoln. Folks in Seniors communities might use them rather than cars for certain errands.

Add more Section 8 housing for seniors

Housing is too expensive and if we do not make changes then the youth will never be able to afford to move out on their own

Stop spending our tax dollars on 'new'. Face and work on homeless issue and fix current roads, schools, etc! Really listen to your taxpayers....that would be different!!

Stop spending crazy money. Make developers pay the cost to integrate. Don't sell off Roseville's resources such as water and power to the developers. Plan for the future, don't be nearsighted.

Please stop low income housing, halfway houses in Roseville, and apartments. This just adds to higher density and higher crime rates, and more traffic!

Please build more affordable housing and invest in homeless services and housing first options for homeless individuals.

Too much development with unbalanced open space throughout neighborhoods. Roseville is far too car centric and does not encourage safe walking or biking paths to businesses from neighborhoods.

Roseville needs to cap growth at some point rather than focusing on revenue. This area is growing less and less desirable to live in.

Keep up the great work!!

Roseville is a wonderful place to live, nature, walking trails, community, but if we keep building it will be like living in the City of Sacramento or any other large city.

City taking over tearing down historical buildings. siding with the big developers over the citizens and quality of live in Roseville.

Medium to large lots for single family homes. Stop with the zero lot lines and small lots.

I would appreciate more multi use. Apartments over commercial sort of thing

Stop building apartments and low income housing! Owning a home is not a right it is a privilege. Everything that Sacramento is doing do the opposite.

Affordable housing is always an issue. We need to find a way to deal with the homeless population along our streams in Roseville. Also need to provide affordable housing for Veterans. We are increasing expensive assisted living for our seniors but now we need to deal with those less fortunate.

Traffic is the biggest problem for Roseville and 2nd problem is high school capacity.

There seems to be a substantial uptick in crime. But that's to be expected with Newsom emptying the jails!

Suburban sprawl with no walkability to shopping (grocery, neighborhood retail)

Need more custom homes on bigger lots.

#1 concern far and away with new housing is traffic and roads to handle increased housing. Baseline, Pleasant Grove, and Blue Oaks are getting noticeably more crowded (and Blue Oaks keeps adding traffic lights) and drive times are taking longer.

If a person has Any ties to Roseville, lets get them into a home. Even if it is a Tiny Home. Or could there be some provision for m-i-l cottages or accessory dwellings? I was a transit bus driver in Santa Clara County. I can tell toy stories about folks who "lived on the buses".

it's too expensive to live in Roseville anymore.

We have seen the overflow of the homeless locating here from Sacramento. Senior housing/ low income has 3 year waiting lists and 1 week a year to fill out application for housing. This is shameful

To many apartment complexes.

Commercial developments have not kept pace with residential ones in west Roseville causing many problems (traffic, pollution, commute times, etc.)

Development in newer parts of town seems to be focused on bigger, more expensive houses set off on their own. I think good housing will be more affordable here when we put more focus on building smaller homes (even tiny houses) that are well-integrated with the trail and public transit system. Everyone doesn't need a McMansion, and more people can be supported when the individual footprint of each is smaller.

Slow it down

I think we already have too much high density homes :(

Low cost housing for low income is more than welcome in our stressed economy.

I don't understand how we are implored to conserve on water/electricity yet thousands of new homes are being built! It doesn't make sense to build more "resource users" without new resources to use!

I'd love to see more natural trails and open space in development planning

Limit growth. Improve traffic and ease stress on current infrastructure.

Housing is being built apparently without consideration for expanding roadways, both highway 65 as well a major streets such as Pleasant Grove and Blue Oaks.

We need to impose a tax on any new resident from outside placer county to pay for infrastructure rather than our locals. Also stop the multi unit housing and set a minimum lot size to 9000 sq ft single resident only

"Neighborhood Pride" seems to be lacking among rental units compared to owner occupied homes.

While there is a need for some affordable housing, I do not believe in rent control. The new apartments on Vernon are a good example of how to help those needing housing assistance. There needs to be more enforcement of illegal homeless camps.

Houses with bigger lots of land.

It is extremely important Roseville grow in a way that is sustainable: better public transportation, being able to walk places, housing that is sustainable (solar, gray water, etc.).

We need more single family homes with big yards.

single family homes should have land/property Townhomes should not.

Need to look at needs for houseless communities. Need to look at ways to protect our open spaces and trails.

Build within current boundaries. Infill. Re-build older neighborhoods. Less cookie cutter houses. More attractive design.

Maintaining the high level of quality that we put into our neighborhood infrastructure is essential. Clean and well maintained streets and surrounding areas are critical Roseville's beauty and allure. I am willing to pay additional tax's to support this on the assumption that fiscal responsibility is occurring within our budget. I am none too excited to grow Roseville beyond its existing size and risk over extending our ability to maintain what we have.

Roseville's growth over the past 40 years has been well planned and has served our community, our neighbors and our businesses very well. We have been successful in maintaining a small town feel as our community has grown into a large city. Our focus needs to continue to be on encouraging strong neighborhoods and working together so Roseville provides opportunities for all who live and work here. A critical component of strong, healthy neighborhoods and city is a diverse stock of housing types and levels of affordability providing housing choices that fit into the housing budgets of all our families.

Transportation and roads don't meet the demand for the amount of people moving to the area. Taking 20-25 years to build public transportation system is ridiculous we need solutions now! Within 1-5 years to get cars off the roads and electric cars are not the solution. Hybrid buses are! Trams light rail expansion why are we not doing this ?

West Roseville needs no more housing we need shopping . Can we get this moving . It's ridiculous. No shopping, gas etc.

More services in western part of Roseville, like gas stations, hardware stores, are needed.

Enough of the high density building and uncontrolled growth. Is your goal to turn this place into another bay area?

Roseville needs to strengthen the infrastructure to handle the growth definitely!!!!

Good public transportation to link housing with jobs. It could also cut traffic and pollution.

Make sure infrastructure is strongly considered - roads, etc...

More consideration needs to be given to the impact of all these high density apartments on traffic flow.

Seriously need some code enforcement and cat animal control.

We need one floor houses for those who can't do stairs

I believe it is time for the City of Roseville to really develop a long term, comprehensive plan that will address the future of our water supply, our ability to afford housing, the cleanliness of our shared space, the environment, traffic, our mental health, etc. and really change our behaviors. Why not lead through these changes and truly be progressive? Be a pillar that other cities look to when they are planning for their future.

Let's not allow too much high density housing in Roseville.

at least once a year free garbage pickup of everything

With global warming & less rain, we need to stop building structures we don't have the water to support. We just need to make better use of what is already available & cut the price to make it affordable.

You need infrastructure that included internet fiber, public art or gathering spaces, bigger lot sizes or more pocket parks in addition to neighborhood parks.

Living in Sun City Roseville I've seen the unprecedented growth West of Fiddymont. I fear for the traffic issues on both Blue Oak and Pleasant Grove/already even in a pandemic both roads are very busy. Also in all the years since we moved here (1996) no gas station has even been built in this area. Has the city not allowed that or is it the issue of permits? Something for your Planning Department to look at and study.

I am terrified that as new housing goes up, we will see a deterioration in other areas in Roseville. People follow the "shiny new thing," which means every new strip mall that goes up near a newer enclave will mean a downward spiral near where I live at 65 and Pleasant Grove. I already see it becoming rougher with people panhandling at the Sam's Club. We live by an open field where I think they are putting up a retirement community, but it still has open space, and if apartments go there, you will destroy the values of homes all around us. Our home is our principal retirement vehicle, so this would be devastating. It's easy for people to go, "Oh, we need more affordable housing," except they never build apartments next to where they live.

I am concerned about crime and utilities being over used by large companies in Roseville. City government should be cognizant of bringing in too many large companies into Roseville. I hate the thought I have to conserve when city government has allowed big business to suck all the utilities for residents. The residents should be more important than any company

Build a variety of housing, closer to transit, repurpose existing unused land in established areas and establish bike lands to these homes and shopping, transit.

not enough stores, grocery, gas stations, etc, out in west Roseville (Pleasant Grove and Fiddymont area)

It seems like rents are going up way too fast and it's difficult to make enough money to qualify to rent an apartment.

Don't change Old Town. Roseville needs its history!

Too much crime moving in from Sacramento.

Our seniors are being priced out of the area. Some depend solely on SS. There is no place for them to live. And wait lists are too long.

We need affordable, low-income housing.

We need less expensive options with more space between neighbors

More affordable housing is good!

Need better planning on roads. Pleasant Grove Blvd. from west end is already crowded and there is still massive building going on.

Need new housing to be affordable.

There seems to be a lot of apartment building out in West Roseville compared to the rest of Roseville. It makes our streets more crowded as well as shopping.

If we get more homes we need better ways to get to the west side of town. The traffic is ridiculous.

West Roseville seems to only build houses and small neighborhood parks. We need services like gas stations, POST OFFICES, restaurants, etc. built within walking distance from our community. So many seniors live within West Park, they are dependent upon a car to get anywhere, like the rest of the residents. Build community shopping spots to encourage local interaction and walking. Also please connect the bicycle paths together. Many people ride bikes, but busy streets such as Pleasant Grove and Blue Oaks are not safe for cyclists. If the cycling paths connected, more riders could get out of West Roseville and bike to nearby services.

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Roseville is growing way to fast the infrastructure can not keep up

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Stop trying to dictate how I live! I am a rational individual and I should be able to decide how I live, independent of communist authorities or anybody else. Just like in Austin, TX, let me build whatever I want or dream about.

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We don't need anymore growth!

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Homes with larger garages and RV options.

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I think there is too much high density housing which creates way more congestion. We don't have a public transportation system that is efficient enough to support the density of housing that we're heading toward. I think we need an investment in reliable, sophisticated, public transportation to decrease traffic and congestion

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I hope bike / pedestrian paths are being built into expanding parts of Roseville.

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I am supportive of growth and believe it can lead to a vibrant city with a lot of good job opportunities. However, living in the Crocker Ranch in the northwest Roseville and seeing all the growth west of Fiddymont I am shocked at how little grocery stores, restaurants and retail establishments are planned and/or under construction. We need more of this in West Roseville or traffic along 65 and 80 is going to be unreal.

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Green spaces are timeless!

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There's already too many apartment buildings under construction, very concerned about how this will impact traffic. If the city can't keep up with the adequate infrastructure that's necessary, then slow down the growth.

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We should be planning for the majority of people and have separate specific targeted programs to help those less fortunate. We should not turn the community upside down to deal with bad public policy, but rather change the policy to encourage better outcomes for all!

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More trees out in the Westend.

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Slow the growth of Roseville

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infrastructure for traffic

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Better public transportation. Encourage services near where people live so can ease traffic on major corridors and lessen pollution.

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We need more parks and green spaces.

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Let's pause on over-developing! West RV is practically Elverta. Enough! RV is a wonderful small town -we don't need endless housing or college campus satellites or more strip malls. Let's not encourage Dominic Casey in ruining our city - over development will morph us into Elk Grove - a disaster riddled w/crime, traffic & too many housing project. Leave open spaces & honor our native oaks.

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there are enough big mini-mansion homes. what about the rest of us who love living in roseville but can't afford those homes? but we also aren't low enough income to be "low-income" qualified?

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Land is increasingly rare and expensive. Multi-family housing may be necessary to meet the needs.

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I think it's a shame that all of the homes that are now being built have no property to call their own. The City feels as long as there is a park nearby, that should suffice, but it doesn't. People need to have a space of their own that they can escape to. It seems as if the most important thing is to see how many homes can be placed on a single piece of property.

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We need to plan better. There are way too many houses and people have to commute to work. The infrastructure with all the new construction is horrible. We need to have the jobs to support the housing. Between Roseville, Rocklin and Lincoln, houses everywhere. No jobs. And how are our children ever going to be able to afford even a starter house in the area.

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Affordable housing is a real problem. Even low income housing is too expensive for some people. I wish the housing program (section 8) could be better funded so that more people could take advantage and the stigma of being a section 8 renter could be eliminated

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The city planners and engineers will decide we'll for our future growth and infrastructure needs. They should be listened to, not smiling developers, especially those who chose to accelerate their entitlements ahead of demand.

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We need more diversity so we need more diverse housing.

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I work with high functioning autistic and disabled adults. It's difficult for them to find affordable housing without a long waitlist.

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No more apartments or section 8 housing. It's too crowded already.

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I think we've "grown" quite enough. The only thing we need is a stronger, better funded police force.

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Keep Roseville nice. Low income housing devalues our homes and brings in more safety concerns.

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My children will be starting out on their own in the next 2-5 years and we all are afraid they will not be able to afford housing. Also we need to try 'cleanup' the homeless camps either with specified camp locations or converting motels or apts for that

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need

please make sure that affordable housing is blended into the rest of the community and looks good.

It is completely irresponsible to add tens of thousands of single-family homes to our community when we have ongoing water supply issues. Let these people live in some other community! Those of us who have lived here for decades should not have to ration water because developers and the city council are greedy. Simply put, a moratorium on single-family homes is long overdue. But it is obvious that developers run this town.

The world is getting too crowded!

Affordable housing is greatly needed - 2-3 bedroom apartments, small condos for purchase to begin gaining housing equity OR to downsize for seniors. Growth needs to accommodate environmental concerns as well as open space.

Affordable housing that is truly affordable to those in need is essential. Many funding sources provide subsidies that relate to income levels of 40-60% of Placer County median income are NOT low enough! We have seniors who are trying to subsist on less than \$1,000. per month, and they cannot afford rents at 40-60% AMI (i.e. \$800-900/mo). Subsidies to reduce the cost of development have assisted in the past, but there are not enough subsidies available to truly reduce the rents to levels that are really affordable.

Creating higher density "nodes" (like downtown is becoming) to make public transportation more feasible and reduce traffic impacts of growth.

enough with all the condo type places make roseville home to families in houses that have yards

Shopping keeping pace with housing

Stop building houses so close together. Bigger lots please!

Houses are being built too close together. A family needs a backyard to enjoy. More single story houses and senior neighborhoods without common amenities. Sometimes you just want a neighborhood without kids.

All developments for housing should be done in such a way as to continue the open space, boulevard and parkway designs that give the city an open and appealing environment. Developments jammed close together is very unappealing. Thanks.

The traffic on Main Street will increase with the addition of new high-density housing and other developments in the area. In my opinion, the street has been at maximum capacity for years and should be reconfigured to service neighborhood residents only. The city of Sacramento modified some streets in Mid-Town to allow one-way traffic only, with the exception of mass transit, bicycles, and emergency vehicles to increase neighborhood cohesion and reduce traffic. I initially thought that the change was a really bad idea, mostly since the change inconvenienced me on my commute home in the evening, but I noticed that the vibe of the neighborhoods improved dramatically with the reduction in traffic volume. Maybe something similar could be effective to divert traffic from Main Street to other more modern streets with more capacity.

Roseville has maintained a good quality of life so far. The increasing traffic can impact that. If we continue to have reduced rainfall, water supply could quickly become a serious issue.

All the open spaces are being taken up with new houses

We need affordable low income housing for the low income working poor

Please no low income housing. I moved here to get away from low income housing.

How about we get more business space (especially in West Roseville) to help alleviate congestion instead of building more houses.

I am concerned about property value. Will all of the new construction cause a decrease in value to existing properties?

Please re-think, re-consider the notice that "growth is good" The non-stop focus on expanding the city limits and building huge single family homes that essentially require residents to use private vehicles to commute is very short-sighted. I live in Sun City Roseville. In order to use public transportation I must first walk about 55 minutes to a bus stop, for example. The city has miles of grass between roads and sidewalks which might have o.k. many years ago but do not fit our environment, do not fit our scarce water conditions, do not fit our true climate location.

mandate solar panels and low water landscaping on new homes

Rent control. Rent is becoming too expensive for people to afford to live in roseville

Too much growth and changing zoning.

Roseville has great community developments and does a wonderful job adding parks, walking trails and schools. It would be great to see more neighborhoods that are a 50/50 split of single and double story homes. The neighborhoods with all two story homes look packed and impersonal. Also there should be plans for shopping centers, restaurants etc to be put in close to when the housing is finished. We lived in West Park for 10 years with NOTHING added like that and a big factor to us moved out of WP was the proximity to super markets, restaurants etc. For a time, DoorDash and pizza places wouldn't deliver past Fiddyment.

Zero growth

West roseville is a traffic nightmare stop building west and north until you can get firm commitments to Placer Parkway bypass

The traffic is horrendous already. The more clogged the streets, the more aggressive the drivers get. The backups at red lights and scary drivers intimidate me and prevent me from going to stores unless I absolutely have to. The quality of life has already dropped, and even more growth while ignoring traffic problems is frightening.

To generate a vibrant city center you need a dedicated plan for infilling within that area.

When doing infill think about the traffic impact and well-being, quality of life of long term residents. Giant 3 story building next to small one-story residential is disappointing. I'd be furious if I lived near one under development and I was a long term resident.

Traffic - as west Roseville continues to grow, we need more freeway access to the homes out in that area.

How about active concern and involvement with and for the Maidu natives. Things have not been handled well at this point. How much longer?

We're known for our open spaces so housing developments that uses less spaces but cost as much give the appears of short-changing how Roseville came to be.

Appreciate the request for possibilities. All new homes need shower water controls that let you easily turn off and then back on during your shower. Ours does in our 25 year old roseville home. Otherwise, find locations downtown to help the homeless. Tnx, dk

Accommodate more multi-homes near bus stops, as many of these people may not have a car and rely on transit. Single family homes often have cars and don't use transit.

I'd like to be mortgage free, but moving to a different home in roseville is too expensive as it would just increase my payments and property taxes, so i'd be more incline to sell my house and move outside where my money goes further and i get closer to a mortgage free live. You'd need to make cheaper half plexes and multi generational houses that are less expensive then my current house to stay in roseville.

Getting so big that the State of California starts imposing rules and tries to impose itself on the City. State of CA gives funds to Roseville but then demands that Roseville follow its mandates. We would be more on the radar screen of the city.

West Roseville has been impacted tremendously over the last 10 years. No more homes until review the changes brought on by our warming climate on infrastructure. Please consider adding more traffic enforcement on Fiddymont and Pleasant Grove. Speeds averaging 55 mph on any given weekday morning and evening. Friday and Saturday nights are similar to a race track.

Fix the 72 hour parking ordinance, it does not make sense. Limit how many vehicles can be parked on public streets. One neighbor has 12 vehicles. Another 4, another 4, another 8, another rental house 9.

Too much traffic and pollution!

I already put this, but for emphasis :) New developments in Roseville are huge! Literally. The square footage of the homes are so large that they become difficult for single income families to afford. This creates a larger division between the haves and the have nots. I would love smaller homes that people can buy (adding stability) without needing 2 or 3 income salaries.

Build Large arterie Parkkways to direct traffic needs well in the future. Promote work at home into the housing stock.

We need services and grocery stores in Westpark.

Moved here in 2001 and I feel Roseville has over grown and over developed with little thought to traffic, crime, etc. The many reasons I left the Bay Area now exist here. Disappointing.

We should slow down on growth and try to stop housing inflation caused by migration from bay area

I would like to see smaller single family homes and duplexes, etc.

Need more small, affordable single family housing.

There is way too much traffic in Roseville! And we need low income housing as so many have been impacted by this pandemic and have lost their capacity to rent or own property.

More low income housing would be good.

Need more residential patrol units in the neighborhoods of Roseville, especially east Roseville in and around Cirby Sunrise area.

Baseline needs to be widened. Now there is another light but is is only 2 lanes in either direction for a short distance. Many commuters use that to get to 99 and it is very congested. The lack of shoulder causes major delays any time there is an accident.

Please make sure new areas have plenty of green space And that lots of trees are planted, especially in West Roseville area

need affordable housing for people who work here in service industries but can't afford Roseville prices.

We need to have housing options that are in the \$300,000-400,000 range--smaller but nice for starting families and older folks who don't want to live at Del Webb.

Really need more affordable housing, especially for young families and people working here. The prices of homes in Roseville are very unaffordable. And we need better management of traffic. Would love another freeway. I know Roseville is not in charge of freeways but could Roseville talk to the government about getting another one? There are going to be a lot more people living in these areas and it is going to congest roads and freeways more which will be very challenging for residents. Let's keep this area not so congested please!

I believe we need more affordable housing for all age groups and family sizes.

I cannot seem to justify any further need to grow as a city. There are more cons than pros at this point.

The city needs to figure out the homeless problem in downtown and old town before we build more affordable housing.

I am unemployed and can't find a place cheap enough to rent

I am already witnessing an increase in speeding vehicles, as much as 10-15 miles over the posted limit. Unless we can control this as a growing concern, I am leery of any great increase in population. Growth is important, however, for many reasons, so we must find a way to control this problem and ensure the safety of all on the streets of Roseville.

No comment

No choice to have more mobile home parks!?!? The most cost effective for lower income folks to live in Roseville but for snobbery

More housing, less two story \$500,000 Homes

Slow growth. Control traffic congestion. I like the the Roseville of 10 years ago.

Need to build what people can afford

We need more affordable housing!!

Roseville is already too crowded. We are planning to move after 30 years here.

Roseville feels less safe, more noisy, and harder to get around than when we moved here 9 years ago. I know the city works within a difficult state government environment. Hoping that we can continue to push back on California's problems with a more business friendly environment which treats homelessness as the public safety (fire, pollution, waste, sewage) problem that it does have.

We have an abundance of large, fill it up with Costco homes, and lots of apartments. What about some smaller homes for people and families who want to be intentional about simplicity, don't want to have to live in an apartment for smaller space, and don't want to have to live in a 50+ year old home to do so?

Cost of all utilities. All infrastructure.

Crime is number one concern. Want more safety for kids

Future growth needs to be subject mello-roos tax.

put housing in other parts of Roseville that are considered "affordable" housing.

The city should help owners of infill sites acquire entitlements allowing for the property's highest and best use.

We need housing for the homeless and unhoused.

I suggest the city do more educating the public on helping the environment by taking care of their yards. Many yards have little vegetation which is crucial to our environment

Traffic is the WORST in West Roseville, with no hope in sight!!!

I think we need to look at the capability of building granny flats in some of the areas where this is feasible. Maybe incentives for this type of housing.

Too much dense housing being built

Hoping we grow out, not up.

I think i will need to move out of roseville soon because the housing is growing and the traffic accidents and crazy drivers are unbearable

Building low income housing and affecting property values and existing neighborhoods

We are starting to look like Bay Area We need controlled growth or moratorium on building

We need to create programs to lift homeless out of the streets and into housing and "back to work" programs-and yes, I WILL put my "\$ where my mouth is" helping create such programs.

Yes, include infrastructure costs to any new housing development to pay for the upgrade to accommodate the new incoming population

Too many grass lawns given water shortages?

Too many homes going in and planned to build in West Roseville.

The master plan looks balanced and well organized. Would like to see that Mello Roos continues to fund important city services.

Please keep Roseville's natural habitat alive!!

Develop places that better accommodate working from home. Connectivity with shared facility for meeting space and business office support

Roseville is a beautiful place, don't turn it into a seepool like Sacramento

Ensuring buildings are far enough apart that a fire cannot jump from structure to structure.

Don't bring lower income housing into middle class neighborhoods

More granny flats could help with affordable housing.

I am concerned about the growing homeless population (mainly drug-addicted people) showing erratic and disturbing behavior, amongst law abiding citizens who have no recourse.

Please stop building.

I'd love to see some more condos in the city. That's a great entry point for first-time home buyers in an expensive city for single-family homes. But let's make sure we aren't building them all on Gibson where traffic is already bad by the Galleria.

Nice but smaller and affordable housing would be awesome! This would also help Roseville maximize its fine public amenities like trails and libraries, public transit, etc.!

Traffic is horrible, too much medium and high density housing, would like to see more low density with larger backyards

Roseville overall has done an excellent job with city planning. However, there does not seem to be a cohesive plan for connecting the unconnected multi use paved trails that exist in each neighborhood together to allow safer commuting.

Improve transportation

Violence seems to be escalating. Kids are spray painting, stealing, and verbally abusive. There's no accountability for criminal activity. We need more cameras and police follow up. More housing requires more police back up to keep Roseville a safe place. It's starting to get a reputation as not safe.

I would like to see more affordable single story family homes for those who will be downsizing as their nests empty but don't want to go into apartment living.

It seems that every year we're in drought or near-drought conditions, but every year the growth keeps happening. Growth is understood if we're adding more than just homes and schools. We need more water holding reservoirs in California to be equipped for growth (and perhaps other infrastructures I'm not aware of). This is a state issue, not a Roseville Issue I understand, but can't regions come together to urge the state to do what's needed?

Bike paths to Roseville High School and bike parking. I would like if Roseville as bike friendly as Davis.

No halfway housing.

We are seeing the "affordable housing projects" result in more police activity/crime. Gates won't stop these criminals. If the city is bent on pursuing affordable housing, can you locate these projects far away from single family neighborhoods?

Affordable housing is necessary!!!!

Would prefer to see less sprawl

STOP converting apartments to low income housing! The community has already been irreversibly damaged by transplanting all the out of area riff raff. If I wanted to live in a community like antelope, citrus heights, Sacramento etc., I would've bought there but I PAID MORE and CONTINUE TO PAY MORE to live in a community that USED TO BE (isn't any more) a nice safe middle class area. Very sad what has been done to this city.

we will need more police to take care of the roseville area as it is growing leaps and bounds.

I am happy to see that growth is systematically controlled

It's my hope that growth is affordable. Not low-income, but affordable for single families and single people who live here.

Home price valuations are escalating too fast which means there isn't enough demand in growing areas. Inexpensive housing should be a part of the growth instead of more big box cookie cutter homes

Roseville is becoming less and less desirable because of traffic and noise, and out of control growth. Where is the water coming from? Where is the artery that supposed to alleviate traffic between Hwy65 and Hwy 99? No stores of any kind in WetsPark, so everyone has to get in their car to get gas, groceries, well..get anything. Very POOR planning. So what does the city do, building more house out there without any allowance for shopping adding more congestion to Pleasant Grove and Blue Oaks, and now more congestion to Base Line. Insane.

In times like now where homes and rent in our area are high, help with qualifying to meet cost per month is needed. Having a job for long enough, making a good amount isn't helping with qualifying for 3 or 4 times rent. I have a kids and the cost for even a rental with more then 1 room in this area are almost or over 2k per month. That along with then making 6k or 8k to be qualified is extremely hard as a single parent.

The city needs to acknowledge racial and economic disparities and have partnerships in place to explain to the majority how these initiatives make our city stronger.

I commute over one hour each way so I can live somewhere nice. Stop building affordable housing, and bringing in crime

No

I think growth is out of hand. It's ruined the charm of Roseville, and we have been divided into three parts: West Roseville, Old Roseville, and East Roseville. The equitable allocation of resources and services needs to be addressed.

I know Developers don't like it, but see if zoning can be done for detached with lots at least 8,000 square feet. Not all but a percentage of homes. Kids need room to play

I moved to Roseville for the nature and for how common it is compared to other surrounding cities. I'm not interested more housing or even more industry for that matter. I'm interested in keeping Roseville a clean, quiet and peaceful town with more nature than other cities. I hope the city protects all of our investments by maintaining the benefits of roseville.

I think growth needs to be better planned with respect to connectivity among various parts of the city. Now, it's like there are four or five cities that are geographically disconnected. That impacts services, roads, commercial development, and the feeling of the city being one community.

I've talked to neighbors who have added a "granny flat" sort of 2nd unit to their property, something I am considering. They said the City fees were exorbitant, on average \$25,000 for sewer, water, power connections. That kind of fee hikes will kill legal expansion and lead to non-permitted add ons. I haven't looked into the fees myself, got scared off

Making it possible for West Roseville Sun City residents to use golf carts to get to shopping would be really nice. Pleasant Grove Blvd and Blue Oaks are ideal for golf cart lanes to Raleys and Safeway and the new Nugget, plus CVS and Walgreens.

We need - have for ages - low cost housing for young families - and old families for that matter. The cost of housing here is absurd - I raised my children here in the 80's and knew that after graduation they couldn't afford to stay in the community where they grew up.

Distribute affordable housing evenly throughout ALL parts of the city, not concentrated in one area

Roads, roads, roads! If you get that right ... the other decisions can fall into place. Roseville has a long (including very recent) history of stupidly-bad road design and inaccurate future projections. These are very, very costly mistakes. Let's not make them again.

Roseville needs to build more walk & bike friendly communities and stop being so car centric

The desperate need for more lower cost units. Homelessness is the result of soaring rental costs

Stop with the affordable housing needs. Not everyone can afford to own a house unless you believe in the Unicorn tale that every job should be a living wage.

stop growing the city if you cant build a freeway to the homes in east or west roseville

The hand-in-glove relationship between City.County planners/leaders and developers is appalling. Citizens have virtually no power, with well thought out concerns about environment, traffic, and pedestrian safety are virtually ignored. I am ashamed of those who put themselves forward as community guardians but continue to act in a way that promotes only their own power and profit.

STOP IT!!

If it is not affordable or accessible it will not suffice the current needs of low income families. Please place future growth in areas other than old Roseville. If there is a need to increase transportation or services in other parts of Roseville to make those areas better equipped to fulfill the requirements of low income/affordable housing, then pursue that wholistic approach. It feels like otherwise there is gentrifying the going on OR segregation of folks by income levels systemically pushed by city planning.

the growth needs to slow down.

Keep housing standards high. People can buy starter homes elsewhere and work up to being able to afford to live in Roseville.

Slow down.

I think growth is necessary and can be done well if planned appropriately.

Please no more low income housing

There is so much potential for repurposing/redeveloping existing structures, apartment complexes, and vacant lots within the current city limits, especially in central Roseville and along the Douglas corridor. Lots of empty and available office space that could be converted to multiuse business and housing with increased walkability. Why does everything planned require a car?? I would like to see limits on paving over yet more open/farm lands.

I have lived in Roseville for over 30 years. There is a lot of growth. We need more accommodations/stores on the west side where all the growth is taking place. More restaurants, a Costco would be nice.

We need more environmentally friendly construction. Plan communities around existing foliage, as trees and indigenous plants and existing waterways and ponds.

roseville doing great job

Keep up the good work adding parks and trails to your developments.

I moved here, many, many years ago from Silicon Valley where I saw firsthand what unchecked population growth does...it brings gangs, graffiti, roadside trash, etc...even in the most affluent neighborhoods because city services cannot keep up, job growth becomes inadequate, and income inequality becomes a local problem.....

Too many large single family homes being built & planned for. Roseville is sprawling, causing traffic, noise, burden on infrastructures. Where is the water to come from for these large homes, many with pools??????

In addition to housing and roads we need parks and trails to continue to be built. Sports fields need to be considered and a survey should be conducted for park amenities desired.

Despite noises on places like NextDoor, I like what is being done re: houses in neighborhoods for helping the less fortunate in our community (homeless, endangered, reintegrating ex-cons back into society, etc). As Americans, we need to improve our social safety net. While this is difficult from the local level up, it's not being done at the state or national level so someone has to lead.

So many ppl

Low income housing that enforces rules with authority to evict.

I think that limiting high density housing would be for the benefit if our community as we face growth currently, and in the future.

We need more infill projects. Why are our roads so bad? Rocklin always seems to be paving existing roads but Roseville does not.

Need high speed rail to the Bay Area.

We need low income housing for disabled.

I want the Roseville Police Department to be more proactive and compassionate to Roseville residents of all ethnic/racial groups. Too many longtime residents who happen to be people of color are made to feel like "outsiders" by the police. Hard demeanor from officers. They should listen more.

I think the City of Roseville needs to stop building more homes. We are starting to look like the Bay Area. This can't be just about money! I hear more sirens, there is more traffic and crime is starting to occur more. I think we should focus on freshening up the look of Roseville. Downtown is great but we need more restaurants that are chains, I think we should build a man made lake somewhere out towards the Casino and build restaurants, breweries etc around it. It would be a huge hit! We don't need more people but I am not sure how you stop that....

Keep and or add more fire and police to ensure public safety. Find appropriate housing to keep homeless off the streets

I think any new housing development must take on the burden of widening surrounding streets and intersections. They must pay for all new service lines. I do not think current residents should pay higher taxes to make up for the cost of these projects.

Roseville is beyond sprawl....too many people using too many resources

I would like to see more efficient public transportation and walking/bike trails.

More effort should be made to preserve/re-use historic buildings. Also, while I understand the need for growth, it should be for the benefit, not at the expense, of it's long-time residents. Before long, the current generation will be priced out and forced to move.

Please stop building new homes. There are little services in WP, infrastructure isn't there, yet you just keep building. There used to be so many trees now all I see is houses. Pretty soon Roseville will become the next bay area and how well did that turn out. Housing prices, property taxes are high. Roseville used to be a nice place to live. I will be moving within the next couple of years since the area is being taken over by the bay area. So sad.

I would like to see Roseville continue to recognize and promote its increasing diversity on every level. The city does a good job and I hope we don't elect polarizing Councilmembers who turn our city into their political step ladder and side show. Our local government is a refreshing break from what's happening at the state and national levels. We've had decades of solid leadership and that needs to continue in order to be a great place to live

I would like to see permanent supportive housing to support our homeless and nice affordable senior housing. Too much of our senior housing is unaffordable for many in private communities.

Low income housing areas (Old Roseville, generally) should be provided offsets to help defray the costs of adding an ADU. Please offer an online YouTube video explaining the process for homeowners in Roseville who are considering an ADU with current considerations and requirements. I know of several families interested but need consolidated information. Thank you for asking.

1) City lack trees in green areas. It is dry city. Every time the area is developed, so many trees are mowed down. But none are added. Due to lack of water, residents are changing to non-grass covers. It is good initiative to save water. But since this has decreased the overall green area, it should be compensated by more tree 2) Trails in city have to be increased. This city is as great and equal to Folsom, but we don't have enough long trails like they have. People from Roseville go to Folsom for biking. 3) Traffic has grown exponentially in West Roseville, but proportionally the roads have not been widened or increased. The jams on highway 65, Blue Oaks, Foothills, Pleasant Grove, Cirby have become nightmare. The long queue at non-HOV lane Signal in every entry to highway has become horrible in last 2 years. City is not doing as much it is suppose to do with the proportional increase in traffic. Highway 65 should had been 4 lanes 5 years ago. It is still 2 lanes until Galleria.

Technology Infrastructures

Too much traffic. Need less population growth. Schools are too full

Yes, with healthcare industry and city/county/state workers being Our biggest work force in Placer County, it would behoove the Cities of PC to develop work/housing partnerships with developers and health industry to retain workers (and their tax base) in the County where they reside.

Consider green space and parking as priorities

We have been Roseville residents for 7 years now. We love it, and like most, I am sure, lets keep the city about the size it is now. I understand there is room for growth in W.Roseville where currently there is construction going on.

Roseville seems to allow builders to build while thinking of street expansion last. We also need proper traffic control, a lot of stop signs are ran in Westpark.

Affordable single family starter homes would be a great thing

I would like to feel safer while riding my bike.

Building houses so close together introduced neighbor problems. Kids need yards to play in. Housing too expensive. Need to be sure we have infrastructure before building more

Sure would be nice to some non-cookie cutter homes being built in the city. I know it's all about the money but building some homes on 1/4 to 1 acre would improve the city.

Make developers pay their fair share and also prioritize hiring people who live in South Placer and greater Sacramento area over people coming from other states who don't invest in our community.

We have enough apartments. We need more single family homes that are affordable. A lot of the new builders are pricing homes too high and the mello roos are out of control...\$400 a month...that is insane. We also need stores in the Fiddymment area. Why hasn't a grocery store been built yet? That area is booming with homes but no shopping. To me that is odd. We have wanted to move to the Fiddymment area but the home prices are rising and the mello roos are crazy.

Distribute the low-income housing throughout the city. Do not segregate low-income people.

we need infrastructure. stores.. gas stations.. restaurants... etc....

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**From:** [LaMills Garrett](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Questions on Housing Element  
**Date:** Sunday, January 3, 2021 3:37:16 PM

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**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Hi Lauren,

I've reviewed the content from the Roseville Housing Element. Below are questions I have to further understand the decisions and content within the Housing Element. I'm glad to meet to explain the further clarify the questions and get answers verbally or to accept answers via email.

All the best.

LaMills Garrett  
916.865.6140

#### Questions on Roseville Housing Element

1. How is the 2,800 unit shortfall determined?
2. What's the number of affordable housing units proposed by the City of Roseville versus allotment set by SACOG (12,066 with 6,178 lower income units)?
3. It appears the previous 10% Affordable Housing Goal is now being focused only on low income and very low income renters. If correct, why isn't homeownership included in the Affordable Housing Goal for low income and very low income housing?
4. What percentage would be required in order to meet the overall allotment set by SACOG?
5. How many total dwellings are currently under plan to be developed in Roseville?
6. How many affordable housing dwellings (low income and lower income) are currently under plan to be developed in Roseville?
7. The four major transit locations in Roseville are Louis/Orlando, Galleria Mall, Sierra Gardens, and the Civic Center. What affordable housing plans are set to be within walking distance from each of those?
8. What affordable housing plans are set to be between major intersections or transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations? Below are a set of those locations by my assessment.
  - Douglas/Sunrise (Kaiser)
  - Eureka/Sunrise (Sutter)
  - Roseville Parkway/Reserve (Galleria Mall)
  - Blue Oaks and Washington (Thunder Valley/Santucci Justice Center)
  - Washington and Junction (Roseville PD/Fairgrounds)
  - Vernon (Downtown Civic Center)
  - Pleasant Grove and Fiddymont (Gateway to West Roseville)
  - Westbrook and Blue Oaks (Future growth)
9. What is the assessment of jobs in proximity to affordable housing units? Said differently, what's the average distance traveled to work by Roseville residents who qualify for affordable

housing ? And what's the average distance traveled by people who work in Roseville and in careers typically qualifying for affordable housing?

10. Of the principles (bottom of page X-3 under Purpose) that the Housing Element is to reinforce, which demonstrate contribution by the development community, the business/manufacturing community, and The City of Roseville to ensure the success of an affordable housing program?

11. Of the principles (bottom of page X-3 under Purpose) that the Housing Element is to reinforce, which demonstrate meaningful actions to overcome patterns of segregation and foster inclusive communities?

12. In what situations and how many times have affordable housing goals been deferred to a later phase of a project to allow time for the necessary funding to be assembled in a public/private partnership or with affordable housing agreements?

## **CALL TO ACTION**

City of Roseville Housing Policies

### **Current Situation**

1. The City of Roseville has a dearth of affordable housing and it continues developing housing that will worsen that situation.
2. The City of Roseville continues to develop land for businesses with salaries that are insufficient for people to afford housing in Roseville.
3. The City of Roseville has inadequate mass transit systems to reduce traffic on major thoroughfares between nearby cities and inadequate coupling of mass transit and affordable housing to reduce traffic within Roseville.
4. Traffic is added to Interstate 80, Sunrise Blvd, Highway 65, Foothills Boulevard, and Eureka Road because of thousands of people commuting from other towns and cities to work in Roseville where they can't afford to live.
5. The Draft Housing Element currently has no solutions for people with low income and very low incomes to reside in homes that earn equity.

### **Suggested Solutions**

1. Pause approval of all private commercial development that does not pay most employees a salary to afford housing in Roseville.
2. Make approval of building market rate housing contingent upon first meeting and building an allocation of low-income and very low-income affordable housing units.
3. Require all commercial developments to pay fees toward the impact they will have on traffic congestion and housing disparity.
4. Require equity earning housing options be included in low-income and very low-income housing plans.
5. Mandate all districts in Roseville occupy some portion of low-income and very low-income affordable housing.
6. Seek affordable housing plans to be between major transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations.

### **Call to Action**

1. Send emails supporting the above suggested solutions to Planning Division project manager, Lauren Hocker [lhocker@roseville.ca.us](mailto:lhocker@roseville.ca.us) and Housing Manager, Trisha Isom at [tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)
2. Call each City Councilmember and request support for these suggested solutions.

Mayor Krista Bernasconi  
916.223.1060

Tracy Mendonsa  
916.663.7344

Scott Alvord  
916.784.0240

Pauline Roccucci  
916.508.5807

Bruce Houdesheldt  
916.365.5863

**From:** [Lisa Larkin](#)  
**To:** [City Council Mail](#); [Hocker, Lauren](#); [Isom, Trisha](#)  
**Subject:** Housing & Traffic Situation in Roseville  
**Date:** Sunday, January 10, 2021 9:35:26 PM

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## **Hello Council Members,**

I'd like to see you address all the issues listed below, and I would like you to consider the suggested solutions presented. I support these solutions and would request that you take the initiative to really truly address the housing crises and traffic problems, to include protecting our downtown historic district.

### **Current Situation**

1. The City of Roseville has a dearth of affordable housing and it continues developing housing that will worsen that situation.
2. The City of Roseville continues to develop land for businesses with salaries that are insufficient for people to afford housing in Roseville.
3. The City of Roseville has inadequate mass transit systems to reduce traffic on major thoroughfares between nearby cities and inadequate coupling of mass transit and affordable housing to reduce traffic within Roseville.
4. Traffic is added to Interstate 80, Sunrise Blvd, Highway 65, Foothills Boulevard, and Eureka Road because of thousands of people commuting from other towns and cities to work in Roseville where they can't afford to live.
5. The Draft Housing Element currently has no solutions for people with low income and very low incomes to reside in homes that earn equity.
6. Destruction of historic buildings in Roseville.

### **Suggested Solutions**

1. Pause approval of all private commercial development that does not pay most employees a salary to afford housing in Roseville.
2. Make approval of building market rate housing contingent upon first meeting and building an allocation of low-income and very low-income affordable housing units.
3. Require all commercial developments to pay fees toward the impact they will have on traffic congestion and housing disparity.
4. Require equity earning housing options be included in low-income and very low-income housing plans.
5. Mandate all districts in Roseville occupy some portion of low-income and very low-income affordable housing.
6. Seek affordable housing plans to be between major transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations.
7. Seek the funds necessary and register historical buildings, to preserve what remains of the historic Roseville district in Downtown Roseville.

Again, I support the above ideas as presented.

Thank you,

Lisa Larkin  
Roseville, CA

X-1 INTRO

...Housing Element, a component of the General Plan that includes analyses of barriers to housing production and strategies for producing the needed housing. *This might be a good place to briefly describe the affordable housing issue.*

x-2 PURPOSE

*Is a revision planned based on the 2020 census?*

*Glossary idea: include RHNA definition*

x-3

*What's the basis for the need to maintain a 5% or less vacancy rate?*

GREAT! Transportation ... proximity of housing to jobs ..

*Glossary idea: define and show examples of median income (and average or mean income)*

GREAT! But how will the city take actions to overcome patterns of segregation! *Might definitions of segregation and inclusion be included in the glossary along with some examples of how that has happened. Might be a good place to show how Roseville has NOT had policies creating segregation.*

x-4

Housing Stock by Unit Type. *Might this be a place to include terms (and thus put in the glossary) like Condo and Four-Plex.*

Rental Prices: *Do you have data on the single family rental price?*

DATA SOURCES

*The acronyms are defined here, but they could also be included in the Glossary*

x-6

*It was great to see what key discussion topics were included.*

x-8 ... A table as part of the EVALUATION OF 2013-2021 HOUSING ELEMENT

*Glossary comment: Please be sure all the Acronyms are also in the Glossary. (After reading The COLOR OF LAW, one could wonder how the Section 8 process is monitored. The percentages are informative and it's good that HUD recognizes the Roseville is a high performing housing authority.*

x-11 First Time Home Buyer

*What are the City's criteria with regard to home selection? Good: Home Buyer's Seminar. How often are these held and how promoted?*

x-12 Great! Density Bonus Program

*What the change needed to be consistent with current state law?*

x-13 Second Unit

*I assume this means Accessory Dwelling Unit (ADU) – needs to be in the glossary. My planning experience with this was the potential problem of sufficient parking area. So, if the street is wide enough, on-street parking would work.*

Condo Conversion

*Interesting, I once lived in a multi-unit rental which had originally been built to condo standards: wall insulation between units which could minimize noise and provide some more fire safety. Also saw this when I inspected (filled in for the building inspector) on condo units.*

x-15 GREAT! Affordable Housing Development Agreement.

*Accomplishment: are the Specific Plans on a Map? Make reference to the location of such.*

*x-16 Accomplishment: are the listed multi-family complexes on a map? (I hope that such maps wouldn't create lack of diversity.)*

*11. In-lieu fees. I found it difficult to read the accomplishments. Perhaps this should be written in more than one sentence.*

x-17 Non-residential Construction Fee

Good points: new employment is a factor in the need for additional housing.

*It's a good idea to establish a non-residential construction fee, but it might be difficult to make fair. How about the mixed uses that could have commercial first floor (parking under structure under and behind) with housing above. Employee, customer, and resident parking needs might create an interesting design challenge, but I've seen it. (Everett, WA)*

x-18 Manufactured units.

*I've seen them built (New York State) as multi-level. I've also vacationed in units that could be moved by tractor or similar. They had a deck – which could be shared with a neighbor, 1 or 2 access doors, bathroom, bedroom and great room which included the kitchen area. They were located in Napa. They were moved because they were located in a flood plain. The flood plain move wasn't good for all year housing, but if another paved area was available might be OK. The flood plain area had green space and trees, as well as a community building.*

x-19 Units at Risk

*How would the projects at affordable risk be made attractive to retain that way? What would be the owner's benefit? A TAX benefit?*

*Again, be sure one can find the accomplishments on a map.*

x-20 Special Housing Needs

HOME Investment Partnership Program (State)

*Displaced homemakers. How do these people learn of this opportunity. Does the City inform attorneys who may be providing divorce help? How about those who need to move because of domestic violence?*

x-20 – 21 Public Services funded since 2013.

*Many of these items seem to have some sort of housing connection. I wasn't sure about the Youth Swim Passport/Sparks. (Include in Glossary?)*

x-22 Local Programs

*I suggest this be entitled: Local Financing Programs.*

*With Roseville General Funds and Salvation Army money, how far will \$3,000 go to help with past due rent, security deposits, first month's rent, past due utility bills and emergency motel vouchers? With these burdens, will those that need money get help on how to choose what to pay?*

x-23

Citizens Benefit Fund. *Suggested clarification:*

*"... serving citizens of Roseville who are eligible ..."*

Auto Mall Fund

*Is there any way to have this again? Has another retail organization considered taking up this service for housing? How about the Chamber of Commerce?*

McKinney-Vento Funds

*HEARTH (add to Glossary) amended the McKinney-Vento Funds. Where is HEARTH described? I may have seen it, but reference to that discussion would be helpful.*

X-24 (part of x-23 Redevelopment w/Mod Income Housing Set Aside Funds)

*...HOME... such as Home Start (insert a colon?) : a transitional ;housing program for families with children.*

Governmental and Non-Governmental Constraints to Housing Program

*This whole section is terrific! ... including the modification of the Public Education Program to “reflect an emphasis on equity”*

x-25

*Again, it’s good to know that the “City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions.”*

*General question on my part: Is it possible that those who have negative perceptions are those who feel that to feel good about themselves they have to try to prove that someone else isn’t as good as they are? Maybe psychologists/psychiatrists ... teachers ... who understand bullying can help with this. Like, asking -- how do you know if a neighbor that looks different, or came from a distant place isn’t as good as you are? If one is alive, respectful, curious, one can care about others.*

x-26 Program: Public Participation

*accomplishments section: tried to see the interactive maps and ended up in Missouri*

*Another Glossary term: RCONA (given here, but would be good in Glossary also. Perhaps a list of RCONA could be included in the document/glossary.*

*GREAT! Housing Choice*

x-28

*Solar requirement: State building code? Has the impact on affordable housing been considered? I support this environmentally, but it would be great if some outside funds became available for those building affordable housing.*

x-29 HOUSING PLAN, Citywide Housing Goals. These are terrific!

*x-30 Goal H-4 looks like planning a mix of housing. Although I’m in a single family home in an RCONA, our home is less than 1,000 square feet, the place across the street is 1100 square feet and the largest may be over 1500 square feet. So, perhaps our 1995 complex is somewhat mixed. However, all of our RCONA is single family. It looks to me like there may be some land along Sun City Boulevard and the 17<sup>th</sup> golf fairway which could support 4-plexes. Not far from school house park there may be some land for similar. The reason I mention a fourplex is that I lived in one and from the street, it looked single family. Some units on a portion of Harding may be 4-plexes or 3-plexes. The design: one unit in front (may be the manager’s unit, but we weren’t managers), one behind and two above. The above units had parking below accessed by an alley.*

Goal H5

*Policy H1.8 How or who would encourage intermix of affordable housing with market-rate units? Back to the 4-plex idea. One of the units behind or up could be maintained (agreed upon) as affordable.*

Policy H1.4 *Why so exact: 5% vacancy rate for both owner and rental units.*

Policy H1.8 *Encourage construction of affordable housing units to be intermixed with market-rate. How? I commented on integrating 3 and 4-plex.*

Policy H1.10. *Again, 3 and 4 plex might fit here. Include in glossary.*

## **Implementation Measures/Programs**

### **FEDERAL AND STATE PROGRAMS**

*Note: all the acronyms in this section need to be in a glossary.*

#### **Section 8**

*After reading **The Color of Law** by Rothstein, this hasn't always worked. Apparently "communities can veto developers' proposals" (p. 190 in the book ...) Does Roseville have any limits on this?*

**HOME** , *a state program*

*The criteria for qualifying looks good, but what are the criteria with regard to home selection?*

x-32

#### **ACCESSORY DWELLING UNITS ORDINANCE**

*Suggested edit. ... It also can include efficiency unit. Again: put efficiency unit in the glossary*

#### **CONDOMINIUM CONVERSION UNIT**

*I once had the benefit of a rental unit originally built as a condo with insulated separation between units: fire safety and noise limitation. So... if a rental complex could be sold at some time... affordable, the addition of insulation between units might be good. For all I know, all multi units condo or otherwise currently require insulation. (I'm more familiar with New York State building code of the 1980's.)*

#### **STREAMLINE PROJECT PROCESSING**

*I suggest reference to Table(s) x-32 ... by page number.*

#### **SPECIFIC PLAN AREAS (SPA)**

*I suggest including in the mix: access to employment, education and that there be no limits re: race or ethnicity.*

*...specific parcels... subject to affordable housing ... How selected? Who selects?*

x-34

**Objective.** *Give page number(s) for Land Use Element Policy LU5.5x.*

x-35 *...in default of the agreement. What are the penalties?*

x-36 UNITS AT RISK

*Please show Colonial Village and Preserve at Creekside on a map.*

*This looks like quite a challenge! Important to include in the Housing Element!*

x-38 *“approved entitlements” This should be included in the glossary.*

x-39 **GREAT! AFFORDABLE HOUSING STREAMLINING.** *If developers can save time, they save money and thus, makes it easier to develop affordable housing.*

x-40

**HOUSING CHOICE GOALS AND POLICIES**

*Some of these headings might need to be re-arranged.*

**Glossary: FAIR HOUSING** *as described within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments.*

**GREAT!** *Along with access to employment, public transportation pick-up points, it’s good to see Child Care facilities. (I enjoyed using a child care facility in a school yard (San Jose).*

**Policy H7.7** *What does justice-involved mean? Another glossary item?*

x-41

**Implementation Measures/Programs**

**FEDERAL AND STATE PROGRAMS**

**Section 8 ...** *Appears earlier. I found some of this on an earlier page.*

x-42

**HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM**

**(Policy h7.5)** *Time Frame: Ongoing, as funding is available. What sources could become available?*

**HOUSING DISCRIMINATION LEGAL SERVICES** *Terrific! But how might this be accessed. How would it be done? Once a new Utilities customer makes themselves become known, might they get some information regarding rights and responsibilities? This could include the right to get garbage picked*

*up along with the responsibility of putting out the garbage in the right place. AND ... what to do if discrimination may have occurred.*

x-43

#### HOMELESS OUTREACH

*It's good to see that we have a Social Services Unit. With police "funding" issues getting into the news, does Roseville need another alternative uniformed service unit?*

#### FAMILY REUNIFICATION PROGRAM

**Objective ... reunification of 20 individuals experiencing homeless. *Is this per year?***

x-44

#### FAIR HOUSING

*Reference is made to a web-site. Perhaps people needing this info lack a computer. Is there a way to remind people of our library which has computers? (During our Corvid challenge, is a library person required to use computers?)*

x-45

#### GREAT! H8.3

#### REVIEW OF SUBDIVISION IMPROVEMENT STANDARDS AND ZONING ORDINANCE

*Along with the review of Subdivision ... and Zoning ... will there be conformity with the General Plan? Or will the General Plan serve as the control?*

**PUBLIC EDUCATION PROGRAM.** *Terrific! I don't see the Roseville newspaper, but I do read the Sacramento Bee on line. At one time newspapers included "regional" news, but I'm not sure if the Bee does that. Since Placer County and Roseville are significant with the region, might our city work on getting more news into the Bee? (The LA Times had regional sections. Perhaps social media and non-paper news sources have changed some of this.) Maybe the SACOG could be sure these things are in the Bee. I recently saw a NIMBY article re: east Sacramento. Quite specific. I didn't see any reference to the COG requirements of cities in the region to find a way to have 10% affordable new housing.*

x-48

**Community Solar Program.** *Somewhere I learned that one could participate in an off-site solar program. Was that a special sale? Our home of less than 1,000 sq. ft. living space might not have enough roof area to make a difference. The cost could overwhelm a couple of 80 year olds. BUT! If we could participate in an off-site solar program with some energy savings and personal savings, it could be tempting. For a solar farm, how close would we have to be?*

x-49

*These tables are informative. ACS needs to be in the glossary.*

x-50

*As part of an SRI study re: earthquake prediction, I learned that parents of kids in elementary school were more interested and aware of the need to know about earthquakes and their impact. I think this parental age group might be 30 – 34 +/- and might be a useful way to reach a portion of the public.*

#### HOUSEHOLD CHARACTERISTICS

*Households Type and Size. This seems to miss an age-restricted HOA like we live in. No children. Few swimming pools, but the Lodge (HOA) facility has a pool as well as rooms for activities that might attract more than would fit in a home.*

x-51 and 52

#### Household Income

*For the over 65 retired, the income doesn't come from active work. Equity comes from previously owned homes. Social security isn't enough to meet needs, pensions help. Could this group have a separate table?*

x-54

#### HOUSING STOCK CHARACTERISTICS

##### Housing Type

*What are single-family attached?*

*Is there a place to include Reverse Mortgages? I'm 80 and if I lose my live-in partner, it's one way I'll be able to afford the utilities, property taxes, homeowners insurance and HOA expense. If I could decide to acquire another home outside an HOA, I don't think I could afford it. Another expense: information and communication.*

x-56

##### Condition of Housing Stock

*Paragraph 2: Reference is made to Figure x-1, so when this is no longer a draft, could a page number be used as well?*

x-57

## Housing Rehabilitation

**Disabled owner-occupied grants for the elderly: to include ramps? Shower holds? Door removal for closets? Lit-up light switches?**

***Will this be included in low income housing support?***

### x-58 2020 Housing Condition Survey Results

***Perhaps it was my printer, but the map was hard to read: couldn't see the lines for the streets. If this could be a 2-page fold-out, it might be more useful.***

### x-60 Housing Cost and Affordability

***The 30% gross income is been the measure I've used throughout my life. It was a good figure for getting a mortgage. Life expenses are more than housing cost, but seem to be key to life in a home: these include homeowners insurance, property taxes, and utilities. If separate, what percent might these typically be? It's good to see that Seniors are included In SPECIAL NEEDS GROUPS: here and on x-63 and x-64.***

### x-65

### Table x-17 Sheltered and Unsheltered Homeless Persons in Placer County, 2012

***Do we have more current data? In my trips to appointments, e-cart, drive through food, and one grocery store, I haven't seen the homeless. On TV, the situation is shown in several major cities in the country. I believe it's a real problem.***

**x-66 and x-67 *Could we have a map showing these locations?***

### x-69

## AVAILABILITY OF LAND

***Key issue, well described through the Benefits of the Specific Plan Process.***

### x-71

### TABLE x-20

***Do the percents of very low income and low income mean % of median income? I'm guessing that Campus Oaks has 42 units at 50% median income. So, the low income 42 are 22.6% of the complex? Or ... roughly one fifth. Do those 42 units have the same access to washer and dryer?***

***Is there a map showing these Apartment Complexes? Will Roseville be getting data by Census Tract once the 2020 Census is complete? Overlaying census tracts over the map that shows affordable apartments made provide interesting info.***

**x-72 ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS**

*Good 1<sup>st</sup> introductory paragraph.*

*Infrastructure. The point that it costs money to provide all that Roseville provides is good.*

*I'd also like to see public transportation pull-outs convenient to multi-family and within an easy walking distance. That could mean more pull outs for busses. With our increasing traffic, some might prefer more public transportation. As a traveler and as a former Seattle resident, I've found busses terrific. However, during COVID, it's hard to recommend right now.*

**x-73 FINANCIAL RESOURCES**

*It's interesting to see how many kinds of resources are available.*

*x-74 under State Programs, the first Time Home Buyers Down Payment Assistance Program looks good, but only 20 over 8 years? How do people learn about this? Would builders, or banks share this information? How would racial equity be established?*

**x-75 - 76 HOUSING CONSTRAINTS**

**Historic and Current Barriers to Housing Access**

*These paragraphs are sadly important and true.*

*x-77 Last paragraph. It looks like Roseville is doing OK. Opportunities for developing equity are essential for more equal access to home ownership.*

**x-78 map: Demographics 2013.**

*Please describe the boundary. If this could be a fold out map 4 x this size, it would be easier to read. Or... include Roseville with a little bit of the area around Roseville. It would be great to have 2020 Census data on a map like this. Even though it's important to meet the deadline, an update when 2020 Census data can be incorporated would be terrific!*

**x-79,80,81**

*These pages are very enlightening.*

*On p. 82, second point, I wasn't sure what "tenant criminal rental" meant. Policy H7.7 helped me understand. It would be useful to know percentages of this category and how those needs are met.*

**x-82**

*First line: ... the City has focused heavily ... Space needed and past tense.*

Land Use Controls for Residential and Commercial Mixed Use

*The commercial mixed use makes sense to me, but near the downtown area, we have a railroad running through. Is noise a consideration? Or ... are there building code standards that help? That's an idea, but when the weather is good, open windows can allow noise. If frequent, that's not good.*

x-83

Zoning Districts

*What page is x-28. In the final version, that reference would be useful.*

Table x-28

Residential Districts

*What zone would include 3- or 4-plex units? (one or two ground floor, one or two second floor)*

Commercial Districts

*Central Business District and Old Town Historic District. Is the Historic District in the area of Church and Washington? Is the Central Business District near the City Hall and the historic building that was once an Arts Center? I think both areas have history, but so is the historic railroad complex.*

x-84

Overlay and Special Purpose Zones

*I suggest including an example overlay zone.*

Residential Development Standards

*Does "the character and integrity of neighborhoods" suggest that the neighborhood is defined by race? If so, not good. Development standards as described are fine.*

x-85

Table x-29 Residential Development Standards

*Shall there be a lot depth? Or is that determined by setback from rear lot line?*

*R3 Might this zone include 3 and/or 4 units a lot? Max number of units could be explaining this, but it looks like more than 3 dwellings would be permitted. I'd like the idea of a separate Zoning District for 3 and/or 4 units a lot.... Alley access for parking would also be good. Question: would the alley be the location for garbage pick up? If so, that might affect width of alley.*

*Front Setback For R1, would 20 or 15 feet limit truck parking or RV parking. If the garage door isn't high enough, this could affect the ability to park certain vehicles. (I see this problem in Roseville Sun City.)*

x-87

Provisions for a Variety of Housing

*Good! By the way, any time a table or map reference is made, I suggest noting the page number. This time, the Table is on the next page.*

x-89

Table x-31 Inventory of MP Zoning Sites AND? Retail – bigger box

*Perhaps unused retail stores could be used. Plumbing is already available for toilet use. Showers would be needed. I've seen several stores standing empty for some time. For example: Toys R Us near Sprouts, Costco and another shopping complex on the other side. If this were made available for housing, it would also provide access to employment. It would be large enough to establish a social services office as well.*

x-90

*The map includes space along Church Street. Might the Railroad create too much noise?*

x-92

Table x-32

*Flood Encroachment Permit Are flood zones an issue in Roseville? I doubt that with our current altitude, having the seas rise might not affect our area? What staff oversees Flood Zones?*

x-93 ENTITLEMENT APPROVAL PROCESS FOR SINGLE-FAMILY AND MULTI-FAMILY PROJECTS

*This page might need to be on a four-sheet fold-out. Difficult to read.*

x-93 LARGE COMMUNITY CARE FACILITIES

*The part about community input for the approval of group housing... was difficult to understand. In that same paragraph, CC&R's are mentioned. Can CC&R's limit use by race?*

x-97 Table x-33 Residential Fee Comparison.

*Interesting that Roseville has some lower fees. Question, for MF is the Total per unit or for the project?*

x-98

Land Costs Lot size Listing Price

*The list looks like it goes from smaller lot sizes to larger ones, but 3.5 acres comes between .22 and .065. Typo?*

x-100

*Last paragraph – thanks for including. In my experience, I felt the down payment basis was 30%. With the price of housing these days, that would be difficult.*

*SENT VIA EMAIL ONLY*

SHA  
Board of Directors

January 26, 2021

Cathy Creswell  
President  
At-large

Trisha Isom  
Housing Manager  
Housing Division, Roseville Housing Authority  
City of Roseville  
316 Vernon Street, Suite 150  
Roseville, CA 95678  
[tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)

Tyrone Buckley  
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Paul Ainger  
Treasurer  
Volunteers of America

Valerie Feldman  
Secretary  
At-large

RE: Public Comments regarding the City of Roseville's Partial Draft Housing Element

LaShawnda Barker  
At-large

Dear Ms. Isom:

Stephan Daues  
Mercy Housing

The Sacramento Housing Alliance submits the following comments regarding the City's draft 2021 Housing Element (DHE). We appreciate Roseville's efforts to address its affordable housing needs and its success in developing sustainable affordable rental homes including the Frederic Lohse Apartments (which received an SHA Excellence award in 2019). Our comments are designed to support and encourage the City's ability to continue and strengthen its successes in addressing the continuing affordable housing crisis. While we appreciate the City released a partial draft housing element to the community, without a land inventory it is not possible to do a complete analysis or review of the element. A comprehensive review of programs and constraints is dependent on a complete land inventory and analysis. As a result, our comments and analyses will likely change (and expand) as more information becomes available. The following represents our comments about the current incomplete draft element.

Tamie Dramer  
Organize Sacramento

Jenn Fleming  
Mercy Housing

John Foley  
Sacramento Self Help  
Housing

Nur Kausar  
At-large

Stanley Keasling  
At-large

Michelle Pariset  
At-large

1. Public Participation (Government Code Section 65583(c)(8)):

The draft element acknowledges that efforts to engage the public are ongoing, so the description is incomplete. We appreciate the efforts the City has made thus far to engage the public and its use of survey's and social media. The element should ultimately describe how the City made a diligent effort to encourage the participation of low and moderate income households and should ensure the

Alicia Sebastian  
California Coalition for  
Rural Housing

Rachel Smith  
Rural Community  
Assistance Corporation

Holly Wunder-Stiles  
Mutual Housing  
California

element describes if and how it has been revised to reflect the comments of the public.

2. Review and Revision of the Element (Government Code Section 65588(a) and (b)):

While the element lists all of the existing programs and in many cases describes the results of the programs (the number of units rehabilitated, for example), a number of the programs should be revised to describe that actual outcomes or the income level of those assisted. This information is critical to effectively evaluate programs and where needed, revising them to be more effective in the coming planning period. Examples of revisions needed include, but are not limited to:

- \* Program 3 Density Bonus indicates that the program/ordinance must be updated to comply with current law, yet the Program in the updated element does not include a revision and indicates the element complies with current state requirements.
- \* Program 8/9/10 Specific Plan Areas: should describe the affordability levels of the affordable units required and the terms of affordability in all referenced developments/plans. This information is important to evaluate the effectiveness of the Affordable Housing Agreements strategy, especially given the growing affordability gap.
- \* Program 11 In Lieu Fees: describe the totals of fees collected and how they were used.
- \* Page X-18: the element indicates the City adopted a reasonable accommodation Ordinance in 2007 and that no reasonable accommodation requests have been processed and the zoning ordinance was amended in 2010 to comply with the requirements to allow emergency shelters by right and that no shelters have been approved. Both programs are critically important to address the needs of vulnerable populations and given that neither has resulted in supports or shelter development, the City should evaluate the ordinances and their implementation to determine whether revisions are needed.
- \* Program 2 Local Programs: the element describes Roseville Community Grant Funds but does not describe how any of the funding provided affordable housing assistance.
- \* Program 1. Process and Fee Structure Review: the element describes the creation and purpose of a new Economic Development Advisory Committee to provide a forum for the public and staff to introduce and discuss suggestions, comments and concerns regarding the development services

function. The use of committees like this can be helpful in providing information, certainty and transparency. It would be helpful to describe any recommendations coming out of the committee and the outcome.

\* Program 3 Public Education Program: the element should describe the outcomes of any education events. How does the City evaluate the effectiveness of this effort—for example, before and after surveys could be taken. This is an important program and the City is commended for prioritizing public education, but given its importance, an effective measure of success is needed.

\* Program 5 Fair Housing: no information is provided to evaluate the success of the City's efforts. Given the new Affirmatively Furthering Fair Housing requirements, it is important the City effectively evaluate its current efforts.

3. Housing Plan (Government Code Section 65583(c)):

The element includes a number of policies and programs, many of which have been successfully implemented over the years. However, many of the programs do not include specific objectives to measure their success and should be modified to demonstrate clear objectives and timing “such as there will be beneficial impacts” within the planning period.

As noted earlier, it is not possible to fully evaluate the programs without a land inventory. As a result, our comments are preliminary and will be revised after the opportunity to review the City's land inventory and program of adequate sites. In addition, the statutory requirements for adequate sites and the site inventory have been significantly revised since the element was last updated. We encourage you to utilize HCD's memorandums of April 23, 2020 AB 686 Summary of Requirements in Housing Element Law and June 10, 2020 Housing Element Site Inventory Guidebook to ensure compliance with the new requirements and for suggestions about how to address them.

Given the continuing impacts of the pandemic and the disproportionate impact on communities of color, the element should describe how it will address or support low and moderate income households and communities of color suffering from the housing impacts of the pandemic (risks of eviction and foreclosure for example).

The following describe questions and recommendations regarding current programs:

- \* Policy H1.3: Has been revised to Indicate the 10% Affordable Housing Goal shall apply “consistent with General Plan Land Use Element Policy LU5.5”. The element should describe Policy LU5.5 and should include a more thorough description of the 10% Goal including tenure, affordability levels and terms and how the negotiation process ensures achievement of the goal.
- \* Program 2 Density Bonus Program: See comment above to clarify whether revision is needed to comply with state law.
- \* Program 3/17 Accessory Dwelling Units: It appears that only 46 ADUs have been approved since 2013, Program 17 should more specifically describe how will the City promote and incentivize additional development of ADUs. The element did not describe the affordability of ADUs, as a result the City should consider strategies to support the development of ADUs by low or moderate income homeowners and to support ADU development affordable to lower income individuals.
- \* Program 4 Condominium Conversion Ordinance: the goal of the program appears to be to support the conversion of rental units to condominiums and describes that the ordinance establishes certain criteria which must be met to convert. However, without a more thorough evaluation of this program and how it has worked in the past, it is not possible to ensure the tenant protections are sufficient.
- \* Programs 7,8,9: these appear to be basically the same program and strategy. The element should clarify and as noted above, it is important to describe the actual affordability goals and terms.
- \* Program 12 Units at Risk: The program identifies Colonial Village and Preserve at Creekside as at risk during the planning period but does not describe specific actions it will take to protect and preserve those units. It describes general actions to monitor and work with nonprofit agencies to dignity funding, but given the City has identified specific units at risk, the element should describe actions specific to those properties.
- \* Program 14 No Net Loss: it is great the City commits to develop and implement an evaluation and tracking procedure to comply with Government Code Section 65863, however the program does not include a specific schedule for when this important action will be completed.
- \* Program 15 Adequate Sites: As noted in the element, it is not possible to evaluate the program and strategies until a compliant land inventory is completed.

\* Program 19 Homeless Prevention and Rapid Rehousing: How many households does the City plan to assist?

\* Programs 21/26 Fair Housing: The element includes a number of laudable goals and policies to promote fair housing but does not appear to include any new actions (beyond the existing programs to fund a fair housing education campaign and funding for legal services assistance). The City should use the HCD guidance on AB 686 to assist in establishing appropriate responses. In addition, SHA would be happy to work with you on strategies.

\* Program 30 Public Participation: the program should also describe how it will ensure the public participation process is not used in a manner to make the development of affordable housing more uncertain or costly.

4. Housing Needs Assessment (Government Code Section 65583(a):

Overpayment: The element should more clearly describe and evaluate overpayment, particularly for renters (including those with severe cost burden (paying over 50% of their income for housing). For example, according to the California Housing Partnership Housing Need Dashboard, 79% of ELI household in Placer County are paying more than half of their income on housing costs (compared to just 5% of moderate income households). The element should more clearly evaluate overpayment by income levels to identify the most vulnerable populations and ensure programs and policies can be targeted to those in greatest need. For example, the element should describe the percentage of total extremely low income renter households, to present a clearer and more accurate perspective of need.

Special Housing Needs:

The element should include an estimate of the number of persons with development disabilities in the City to evaluate the adequacy of existing services and programs. The element should also describe the tenure of large family households as program strategies will vary for renters versus homeowners. Income levels of such households will also help in identifying priority needs.

The element should also provide a more recent assessment of the number and need of persons and families experiencing homelessness in the City.

Units at Risk of Conversion to non-low income units

The element identifies the Colonia Village Apartments and Preserve at Creekside as at risk during the planning period but does not include the necessary assessment pursuant to Government Code Section 65583(a)(9).

5. Affirmatively Furthering Fair Housing:

The element includes a summary of historic patterns of segregation, impact of discriminatory lending patterns and references several important studies of the region, including Roseville. However, the element does not include programs with “meaningful actions” that, when taken together, address significant disparities in housing needs and in access to opportunity for all groups protected by state and federal law. There are other specific requirements related to the City’s land inventory, which should be addressed.

As noted previously, HCD’s April 23, 2020 memorandum on AB 686 includes significant information and resources to comply with the new requirements.

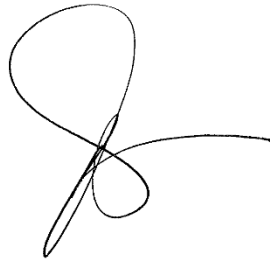
6. Governmental Constraints (Government Code Section 65583(a)(5):

- \* The element should include a description and analysis of parking standards for each zone or planning area.
- \* The element describes land use densities, but should more clearly describe densities for each zone and specific plan area. In addition, the element should provide more information on the impact of the precise density/unit allocation (not a range of densities).
- \* Table X-29 should also describe and analyze the standards and approval process for the CMU zone/District.
- \* The element should describe the impact of only allowing SROs in non-residential zones and the CUP requirement on the feasibility of developing this important housing options (especially important housing option for extremely low-income individuals).
- \* The element should describe High Efficiency Residential Units listed in Table X-30.
- \* Supportive Housing: The element should describe policies or procedures to accommodate AB 2162.
- \* Emergency Shelters: the element should provide more of a description and analysis of parcels identified to accommodate the development of emergency shelters by right, the availability or access to transportation and services, and general City standards for operation of shelters. In addition, the element should describe whether City standards comply with new parking requirements for shelters (pursuant to AB 139, Government Code Section 65583(a)(4)(A)) and compliance with procedures to accommodate Low Barrier Navigation Centers pursuant to AB 101.

- \* Page 99 talks about adding revisions to the zoning ordinance to assist with reasonable accommodations but does not describe the changes. This is particularly important because as noted above, no reasonable accommodate requests have been processed by the City and page X-80 of the element discusses serious housing burdens for people with disabilities.
- \* The element should provide more information about the 10% Affordability Goal, how it has worked, affordability levels achieved, etc.
- \* While the element indicates the Design Standards are clear and objective, it should also generally describe requirements including the checklist referenced.
- \* The element should describe impact of fees on the cost and availability of multifamily development. The City is to be commended for allowing fee deferrals. However, the element notes it does not allow fee waivers for affordable housing, but does reference the City can assist with fee financing. The element should describe how that process encourages and facilitates the feasibility of developments affordable to lower income households.
- \* The element should describe how the City has or will comply with new transparency laws regarding all zoning and development standards for each parcel to be provided on the City's webs (Government Code Section 65940.1(a)(1)(B)) and Roseville's process for complying with SB 35.

Thank you very much for your consideration of our comments. We would welcome the opportunity to discuss these with you at your convenience. Please feel free to contact Kendra Lewis at [kendra@sachousingalliance.org](mailto:kendra@sachousingalliance.org).

Sincerely,

A handwritten signature in black ink, appearing to read 'Kendra Lewis'. The signature is fluid and cursive, with a large loop at the top and a horizontal line extending to the right.

Kendra Lewis, Executive Director  
Sacramento Housing Alliance

A handwritten signature in black ink, appearing to read 'Cathy Creswell'. The signature is cursive and elegant, with a prominent loop at the end.

Cathy Creswell, Board President  
Sacramento Housing Alliance

Trisha,

I've been able to read/review through page x-118, plus the Riverside plan, and a couple of appendices.

I looked through my comments and have highlighted quite a bit with red ink.

Basically, I am really impressed with the care and detail as the Housing Element Update has been revised.

Two major concerns: I hope those who need the information will read ALL they need to. The other is the suggestion of a Summary Appendix that includes significant changes found in the 2020 Census. I recognize that the timing of this work must be approved before all the 2020 Census is available. However, due to the Covid experience, that additional data could be of great value. I think that the next update should be a period that includes the 2030 census.

I'd be happy to speak at the Planning Commission. Perhaps a printed background showing my source of knowledge (Municipal Planning in California (San Jose), New York (2 towns), and the Seattle Area (King County, and 4 Cities where I also served as a planner on the Puget Sound COG) as well as passing the AICP exam might be useful. I also have quite an interest in child care as I needed it at one time and served on a Community Coordinated Child Care Committee (San Jose). I have also lived in many housing types as an owner and a renter: Single Family, Condo, Apartments (including a 3-story built in the 1930's), and a four-plex.

Thank you for the opportunity to see what City Planning can do!!

Pam Wilkinson

ps: My updated computer made it difficult to "attach" my comments, so I pasted them here.

Comments on the Revised Second Draft Housing Element (June 2021)

*Example of a potential problem: Will developers have workshops to help them understand changes? As a planner in one community, I ran into two developer issues. In one, the radius of the cul-de-sac was an issue and even though the Public Works Director was at the table, the developer or his representative said: I'll have to ask the engineer. In another case, a subdivision had been approved. In comes another developer who must have bought the site and asks for an entirely different subdivision in terms of street design, number of lots, and their sizes and thinks we'll just give him building permits.)*

**HOUSING PLAN: CityWide Housing**

**The 5 goals make sense to me.**

**Note:** Although it doesn't appear as a housing goal, opportunities for employment are important in order to afford housing. This could include child care. I feel child care can be done in residential neighborhoods, included in major business sites, and in larger retail complexes.

## **AFFORDABLE HOUSING**

These goals could consider the above note.

Goal H.4 Integrate the community in terms of income levels is good. This, I hope, will help with fair and good education opportunities for families with children.

Policy H1.2. can be an efficient way to provide affordable housing. However, 4-plexes could include units of a good size for all, or very-low income households.

Policy H1.5. I hope that federal, state, and local subsidies will help with these subsidies. If there's a problem, please be sure it's in the news: press and safe social media.

Policy H1.7 Here's a place where business communities can participate in the affordable housing goal – including space and support for child care for employees or nearby residents.

## **Implementation Measures/Programs**

Housing Choice Vouchers (Federal) and Community Development Block Grant (Federal)

Question: How will those who need and can use these vouchers and grants learn about them?

Same question for Owner Occupied Housing Rehabilitation Program and the Home Investment Partnership Program (HOME) (State)

In later sections, these questions may be answered.

## **DENSITY BONUS PROGRAM**

Looks good. **Might there be a problem with traffic congestion and water supply?**

## **ACCESSORY DWELLING UNITS ORDINANCE**

In some municipalities, sometimes parking can be an issue. Will on-site parking be needed or will street design handle it?

Pages x-16 – x-20 Looks OK

## **RESIDENTIAL LAND INVENTORY GOALS AND POLICIES**

Policy H6.4 Voluntary Rezones looks interesting. If you have a list of developers who could handle this well, make sure to let them know.

#### 15. AFFORDABLE HOUSING STREAMLINING

I hope the developer will EASILY agree to enter into an affordable housing agreement ensuring a minimum of 20% of the unites to low, very low, or extremely low income households. The saving for some of the fees should help.

GREAT! Prioritize Affordable Housing

#### EQUITABLE AND INCLUSIVE HOUSING CHOICE

The Goals and Policies here make a lot of sense.

How will Policy H7.8 re: housing discrimination protection work? I assume if Roseville ever had red-lining, the red-line areas have been erased. I have no idea how that might be done, but I hear it's still a problem in Palo Alto where a very successful multi-millionaire who owned a substantial business couldn't buy a home because of his color and that was fairly recently.

#### 20. HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM

Time Frame: So, how will anyone know funding is available?

#### 22.ADDRESS SIGNIFICANT DISPARITIES AND INCREASE OPPORTUNITIES

"off the street" Who or what agency or organization finds people in this situation? I can see homelessness when I head to Sutter Health Field when go through Sacramento County and City, but haven't seen it in Roseville. JUST FOUND THE ANSWER: #23 HOMELESS OUTREACH. I'm glad our Roseville Police Department has a Social Services Unit.

#### 26. REGIONAL HOUSING PROGRAMS

I hope the other agencies will be responsive and helpful.

#### 27. FAIR HOUSING AND HOUSING DISCRIMINATION LEGAL SERVICES

This whole section makes sense. Perhaps more often than annually makes sense. Re: Fair Housing Workshop. There may be 'seasons' for relocating housing. For example, Spring may be a time when people look for another place to live, or in August as the school year approaches.

SECTIONS 28 AND 29 MAKE SENSE. If a problem arises, provide news.

#### GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

**Policy H8.3. Yes, support job growth. This may also mean improve access to child care so a parent may work. Child care can be on a residential site with appropriate design, on elementary school grounds, and as part of a major company or a significant retail site. (Note: I was on the Community Coordinated Child development Council (aka 4 C's) in San Jose/Santa Clara County when I was an officer of AAUW, divorced with a 4 year old child, and I had child care in a building located on an elementary school site. The SJSU had established these facilities during WWII so women could work. I used it in ~1970-71.)**

#### **Implementation Measures/Programs**

**Terrific! The Economic Development Advisory Committee can do a lot. Could this committee be part of workshops to help implement the new Housing Element?**

#### **32. PUBLIC EDUCATION PROGRAM**

**SUPER! Please include the Sacramento Bee in addition to the local newspaper and the City's newsletter. I know the "press" is having financial issues, but when I worked at the LA Times, there were Regional Issues once a week. Might Roseville or Roseville/Rocklin/Lincoln be such a Region – especially for land development and perhaps highschool sports?**

#### **33. PUBLIC PARTICIPATION**

**Yes, with the cost of mailing, it may be costly to mail hearing notices and notices of intent to approve a project to properties within 300 feet of the project. However, I think hearing notices should reach a larger area. (As a planner, I remember needing to meet newspaper deadlines for published hearing dates which included some information about the project. Signs posted on the site for development proposals (not just General Plan amendments) is another way to reach the public. True, another cost. However, public comment can help avoid difficult design issues. And, yes, there can be negative behavior.**

#### **RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION**

**Looks good. The Community Solar Program looks reasonable. For some reason, I had thought that every new house had to have solar. ( Our home is small, but if we could participate with a field of solar and save money, that might be great.)**

#### **QUANTIFIED OBJECTIVES, COMMUNITY PROFILE, Age Characteristics, Race and Ethnicity.**

**These tables are useful. Once the 2020 Census date is available, it would be good to provide a 2020 Census Appendix with this information. Perhaps a Summary document could be part of this.**

#### **HOUSEHOLD CHARACTERISTICS.**

**Another feature for the 2020 Census Appendix.**

When it comes to income, retired people may have a moderate to low income, but they may have had equity in their housing, so don't have to pay a lot for owned housing. If they owned a home with substantial equity, the purchase in Roseville may have used a lot of this equity, so the mortgage may be modest. This can be true for those with reverse mortgages as well. Is there a way to gather this information? (I live in a 55 and over community and my equity from a previous home helped a lot!)

## **EMPLOYMENT CHARACTERISTICS**

Useful tables.

## **HOUSING STOCK CHARACTERISTICS**

It's good to know so few units needed substantial rehabilitation or were dilapidated. The cost of moderate improvements could be quite expensive: roof and window repairs. Painting costs can vary.

## **HOUSING REHABILITATION**

It's good to know that Roseville has such a program. *As time goes on, will the ages of homes play a role in deciding how many units will be helped? Sun City Roseville just turned 25 years old. With the exception of some roofing problems, I believe many homes are OK. Our Foundation Volunteers who help with replacing light bulbs too high to reach, and smoke and fire alarms, safety in our HOA is helped. However, during the pandemic, that volunteer program didn't take place. Our other problem is with fencing during windstorms. Neighbors are supposed to work together to pay for replacing fences (share the cost). Are fences one of the issues considered Housing Rehabilitation?*

## **HOUSING COST AND AFFORDABILITY**

Yes, sales prices in this neighborhood are really high and in many cases, the homes are sold the first weekend they are on the market – with several offers OVER the asking price.

The RENTAL PRICES have a huge range?

**The Housing Affordability Table really emphasizes the difficulty for lower income households.**

## **SPECIAL NEEDS GROUPS**

**It's good to see that Roseville has an Annual Action Plan to help these people.**

**AND... Placer County's program has a lot for Persons with Disabilities. It's good to read that some of these people are employed: 40%!**

**AND ... the Reasonable Accommodation Ordinance helps a lot!**

It's interesting to see that Roseville has included details for those with developmental disabilities and what they need. *The Alta California Regional Center has provided good information. Based on some of my many experiences, autism has a huge range from the constantly angry and frightening behavior to*

the inability to pay attention to being somewhat social and very, very intelligent. Parents and helpers for these people have a huge challenge.

### **Female Heads of Household**

I've been in this category. Child care while working was quite a challenge – especially when the governor (Reagan) said that there should be no sliding scale relative to income for public child care. I was within \$4 of deciding to go on AFDC. (1970-72... San Jose) Actually, I can't remember whether I made the more expensive choice, but the care my son was getting and the benefits of my being employed helped me make the decision. I had to drive him to child care (on an elementary school ground) and then turn around and go past our rental to go to work. Also, I had to pick him up by or before 6 PM and there were times when my work demands could cause me to be late. If I was late too often, I would lose the child care.

### **Seniors**

I'm a **Senior**. I live with another Senior. **We're "independent"**. Our home is all at one level. Our "assistance" is monthly cleaning, and mailed medication. We pay for these. We also pay for Genworth insurance: Long Term Care. We independently save for and pay annually. My last payment was about \$2,300. So, when we see that full time care can currently cost more than \$8,000 a month, the insurance cost makes sense. Besides homeowners and car insurance, that's the only insurance we buy. So, considering the cost per month, the insurance makes sense. Our policy cost goes on hold if we need LTC up to 4 years.

It's good to see that there's Electric Rate Assistance and Medical Support Rate Reduction. Surely, our use of a CPAP might fall into this category. Our combined income level may be too much to seek this help.

### **Large Families**

It's good to see we have enough units for this category. I hope the programs to help will be sufficient along with the 10% affordable housing goal.

### **Farmworkers**

Doesn't Roseville have some open space used for herds of cows?

### **Homelessness**

It's good to see that there is a lot of coordination between agencies, medical services, and non-profits.

I've seen one interesting idea on the news (I don't think it was Roseville) where parking areas were provided for the homeless staying in their cars. The parking areas were supplied with porta-potties and, I believe, a hand-washing facility. I've seen highway rest-stops where the restrooms were being renovated. Those seemed to have more facilities – perhaps a way to do more personal bathing.

See the issues listed in the Bob Erlenbusch Special to the Sacramento Bee in the June 16, 2021 edition.

Based on what I've read in the Roseville Second Draft Housing Element, a lot of these items have been addressed. The articles re: homeless in this edition of the Bee have included the need for Sacramento County to work with the City of Sacramento. In the Roseville Element, that is included. Use of Covid funds is also mentioned. However, the commitment to use the funds for housing needs seems sparse at this point.

### **ANALYSIS OF AT-RISK HOUSING**

Good details. At-risk housing – expirations of affordable units may become an issue. It's good to know these will be monitored and that tenants will be notified.

The approaches described: Transfer of Ownership, Purchase of Affordability Covenants and Rent Subsidy are reasonable, but will they be feasible when needed? In the 10-year period, the difficult years will be 2024 & 2025 and then 2029 & 2030. 2024 is three years away. It's possible that the tools will be available then. **Eight years from now, a lot of policy and our financial lives can change.**

### **Construction of Replacement Units**

**As described, it's clear that this could be challenging to achieve. Current costs of construction have changed substantially. Will it level off? Can new, different methods and materials be developed to make replacement units suitable at a lesser cost?**

### **PUBLIC AND PRIVATE NONPROFIT ENTITIES**

It's good to see that there are quite a few. I hope they will be able to continue helping this problem.

### **RESOURCES FOR PRESERVATION**

Hopefully, the Federal programs can continue, if not be increased to meet increased needs. Will the annual revenues to the Building Homes and Jobs Trust Fund continue to provide a permanent and adequate source of funds for affordable housing? **What assures the City that the Housing Choice Voucher program will have the funds needed?**

It appears that the funds for the affordable units at Junction Crossing will be sufficient.

**I didn't see Junction Crossing in Table X-20 Affordable Housing Developments.**

### **Unit Conservation**

The point of giving First Time Homebuyer Down Payment Assistance seems to depend on the cost of homes in Roseville decreasing and the program receives future funding. With the cost of building materials increasing, this may be difficult. However, perhaps it will work with older homes.

The HCV handled by the RHA helps the property owner which may conserve the availability of affordable housing.

I've wondered whether the Federal Reserve could step in and help Lenders holding Mortgages avoid the need of collecting interest and money due. After all, if a bank has lent money for building, the plan is to be paid back. In challenging times, perhaps this can wait so the renter or buyer currently stressed financially can improve their situation. *(Am I a dreamer, or what? )\_*

Energy conservation can help individual homeowners and renters.

When, who and how will the non-profits be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion? Have the groups listed been asked to focus on this section of the Housing Element to get their interest and commitment? *I think the answer to this question shows up later in this document.*

## **RESIDENTIAL LAND INVENTORY**

### **REGIONAL HOUSING NEEDS ALLOCATION**

The SACOG table (X-24) shows that the percentage of total regional units needed just exceeds 50% for the extremely, very, and low income levels. *Is the total number of units needed: 12,066 a high enough estimate?*

### **AVAILABILITY OF LAND AND SITES INVENTORY**

This looks like a challenge: realistic capacity. The housing element has chosen an analysis for determining units and affordability by providing an analysis. It's good to show the units per acre for above moderate income housing and moderate income housing needs. *In my past experience, typical suburban area with water and sewer systems were at about 7 units per acre for single family homes. Densities of 13 units per acre or more tended to be used for condos or apartments.*

It's good to see that mixed use developments will open up a supply of higher density, lower cost housing. It's good to see that halfplexes can be used and that the more dense housing units can be mixed with larger units so that there is a mix for size of household.

It's good to see that Roseville contacts local affordable housing developers to learn what they felt feasible. The minimum number of units (100) made it more feasible for these developers.

Table x-25 Affordable Housing Developments explains what has been done. *Affordability expires as early as February 2025 – that's about 3 ½ years from now.*

### **Sites Inventory**

Based on this table, the discussion indicates there will be a shortfall which can be addressed in Housing Element Program 14 (Rezone Program) and within Appendix E. I wish that these sections had included page numbers.

----- *(will return to ~x -67 after I review Appendix E)*

Appendix E: The Development Standards and Regulatory Incentives for Commercial Corridors provide developer incentives for affordable housing. **Cutting out park land dedication fees can save money, but will park areas be accessible?**

Public transit could help this and the Atlantic Street Corridor would be a good place to improve public transit.

A Corridor Plan is needed for the Douglas-Harding Corridor which could save developer money and make affordable housing more feasible. Again, will the Specific Plan allow mixed use zoning. Specific Plan to include rezoning most of the area to Commercial Mixed Use which could include residential uses with a Minor Design Review Permit. Remove development barriers (and expense). Good opportunity here for 100 lower income units.

### Summary Evaluation

It's good to know that the Downtown Specific Plan has been successful in developing lower income units. **Will Appendix C where sites in the Rezone Program are described be sent to potential developers to help promote the change?**

### INFILL INTENSIFICATION

**An Infill Intensification strategy could remove barriers but would be a lot of work. And ... might the existing homeowners and renters resist such changes? What would encourage these people to want change? I think zoning changes might not worry people, but once a developer proposes change or starts to build, could the current residents fear "lower income" people? It's important to emphasize that the costs of housing for teachers and firemen make it difficult for them to live here in Roseville.**

### OPPORTUNITY SITES

1. City Property at Blue Oaks and Westbrook Boulevard. Yes, this could be a demonstration site, but would giving up Commercial Zoning throw even more traffic onto Blue Oaks and Fiddymont? **How about a mix where first floor used on Blue Oaks provides retail and upper floors residential uses. Another challenge: the road noise.**
2. Harris Property. It's good that the EIR recognized that this Urban Reserve parcel would be developed with a land uses similar to that in the balance of the Plan Area.
3. Shea Property. **Because of the proximity to Highway 65, etc. a rezone here could be productive, but could be a challenge in terms of space for livable (not-to-noisy) housing.**
4. Conference Center Drive Property. Again BP provides a buffer between HWY 65 and residential uses.

Comment: It's good and will help Roseville meet the requirements of finding ways to provide more housing, including affordable housing with these opportunity sites.

### VACANT SITES – RESIDENTIAL INTENSIFICATION

This applies to the western areas of the City. The process to improve density here makes sense – unless the single family homeowners worry about higher densities and lower income residents.

It's vital that current residents understand the region's need for housing and that all CITIES have to figure out a way to provide the housing.

How to address the shortfall is in the Rezone Program and within Appendix E.

*End of my comments on Appendix E*

Back to x-67 / x-68 of the Housing Element

#### UNDEVELOPED RESIDENTIAL LAND INVENTORY

Table x-29 shows several Specific Plans with Parcel Number, Land Use, Zoning, Acres, Allocated Units, Density, Undeveloped Units, and whether included in previous inventories for housing elements.

The Amoruso Ranch Specific Plan has 3 parcels of approximately 25 units per acre: suitable for lower income (919 units).

The Creekview Specific Plan has densities of 29 to 32 units per acre providing 420 Lower Income units.

North Central Roseville Specific Plan has one parcel number with HDR (2 sets of acres) with 19 units per acre. This area was in a previous inventory. (322 units)

North Industrial Planning Area has only low and moderate densities. This wasn't in a previous inventory as is true for all but the North Central Roseville Specific Plan.

North Roseville Specific Plan has one parcel with high density for moderate income units. There are 98 undeveloped units which were in a previous inventory.

Sierra Vista Specific Plan has 20 low density parcels for the above moderate income. The greatest density here is 6.6 units per acre. There are 18 moderate income parcels which could produce 1827 units. There are 9 parcels for lower income (HDR and one MDR). Here the densities range from 7.9 to 30 dwelling units per acre. This area has 40 du in mixed use zoning. The notes for this table show the affordable housing obligations for selected parcels.

West Roseville Specific Plan. The West Roseville Specific Plan was included in a previous inventory. Five parcels are for above moderate income but includes one parcel with a density of 23.7 du/acre. According to the note, there's an application in progress for high-end apartments with rents to exceed \$2,500. The parcels for moderate and lower income have somewhat similar densities with the

exception of parcel number F-6C which has 307 units with a density slightly less than 12. Again, the notes are helpful.

Infill Plan Area. There are a lot of parcels with densities less than 7 units per acre. For above moderate income, the units per acre are minimal: 1 to 3 units with the exception of one parcel with 12 units. Some of these parcels were included in a previous inventory. Many moderate income parcels here would be able to have 1 unit. Many of these are part of PD66. Two parcels with larger acreage would support more units per acre (22.4 and 24.4). Only 7 units would serve the lower income. These 7 units are part of two parcels also serving moderate income. A senior apartment complex is in the notes.

### **Specific Plan Areas Realistic Capacity.**

The language in this section explains a lot.

### **Infill Development Realistic Capacity**

Again, the language here explains why the area is at what it is. Since it's an area established before the 1980s the area has no Specific Plan. It was included as part of the City's 2035 General Plan and accompanying EIR, approved in 2020. *Did I read it correctly: it's part of the City's 2035 plan?*

### **UNDERUTILIZED LAND INVENTORY**

This description shows how well the City has worked on opportunities for affordable housing. Table x-30 on page x-81 describes the Downtown & Riverside Gateway Specific Plan High Density Residential Opportunity Sites. These were included in a previous inventory. The residential densities range from 14.5 to 58.1 units per acre.

### **Underutilized Land Realistic Capacity**

In this section, I was able to look at the Specific Plan for the Riverside Gateway. It was adopted in 2005, so I felt I might see some changes. The streetscape on Riverside looked like most, if not all done. Perhaps one automotive use wasn't as complete as the others. I drove a lot of it, to see if anything had changed in the neighborhoods. I'm not sure if I saw a change, but I did see two or three compatible two-story apartment complexes. *The alley one-way system had not been set up as I saw speed limits facing both ways. The drainage was in place for the alley. Was that done after 2005?*

*So, with my limited time, I've had a chance to review one of these plans and see that they are very carefully crafted and have used a very good combination of participants. I also realize that since 2005, we've had a recession which has probably affected some efforts at change.*

Now that the cost of building materials has increased a lot, it's difficult to think that the changes will take place during the plan's time. Has there been any discussion about alternative structural materials? We noted that some of the interior construction in one of the buildings at the new Nugget complex on Blue Oaks have used steel. In the past, I've seen 2x4 wood studs used for interior walls.

It looks like parking will continue to be a challenge. Riverside sidewalks look pedestrian friendly and that there are metal “fences” marking frontages of automotive uses somewhat more attractive. The plantings help too.

Three and four story uses will need elevators. Is that a difficult expense for developers and future users?

Zoning: the CMU/SA-RG zone will help development and it’s flexibility will help the process.

Then one yukky thing that I saw as I drove the Riverside area: apparent re-sales of old stuff.

### **Downtown Specific Plan**

I wish I had more time to spend on this plan. Based on reading X-84 to ... I find it interesting to continue use of single room occupancy residential units and high efficiency ones. Parking requirements appear to have been eased – but will that work?

The Fees and Process changes should help.

The information re: application of standards looks like it will work. Hopefully, allowing the market to “dictate” won’t cause distrust by surrounding property owners.

### **ACCESSORY DWELLING UNIT INVENTORY AND REALISTIC CAPACITY**

Again, the term “realistic” makes sense. I’m aware of one family where the senior family members joined a household of children and their child. The room arrangement – all on one floor made sense. The bathroom distribution, rooms for rest AND independence also made sense. A kitchen was shared. So, I don’t think this household fits the ADU definition. I doubt if any generation at this place needs “affordable” housing. However, the youngest person may come of age and need housing as they enter the adult world. Perhaps this person will need “affordable”. So, how can Roseville “count” this as meeting the affordable goal?

### **ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS**

Mention is made here re: encroachment into agricultural land. As I recall, an earlier section stated that Roseville had little agricultural land. But I see cows in fields which I believe are within the boundaries of the City. Perhaps it’s true that we have very few agricultural workers who need housing. Near Lincoln, I believe there are agricultural workers who live on-site. How would that situation be counted? And, would it be considered affordable housing?

**Environmental** I’m glad the City protects flood plains.

**Infrastructure** The Public Facilities Element includes contributing to water, wastewater, electric parks and recreation, police and fire services, as well as school funding. Certainly, this will affect the cost of housing but it will also make for a reasonable source of housing and opportunities through education services. Might the school funding include school ground facilities for child care? Pre-K may be an

educational feature, but full day care is needed for the working parent. What agency would be responsible for this use? Departments of Education? School Districts?

It's good to know that Roseville's Specific Plan process ensures there is sufficient water, sewer, electrical, and other service supplies to support full buildout.

Concerns: WATER. Is ground water part of this resource? Will there be enough?

## **OPPORTUNITIES FOR ENERGY EFFICIENCY AND CONSERVATION**

It's good to know that Roseville's efforts consider climate change. The heat of recent years becoming earlier in the year makes it all too clear that the world has a problem. I value living in a City that cares and is doing it's best. (I once worked on a Technology Assessment of Winter Orographic Augmentation of the Colorado Basin. Congress had looked at 12 years of weather and water before distributing water supply to the states of California, Arizona and perhaps two other states. The allocation made sense because over those 12 years the supply was similar. BUT! The weather changed. The study I was part of at SRI may have been funded by RANN (research applied to national needs). It was done in the early 1970's. A lot has changed: including the congressional choice to not continue funding the Office of Technological Assessment.)

## **FINANCIAL RESOURCES**

### **Federal Programs**

It's good to know that Roseville is aware of and can assist in these programs. The information about HEARTH and the Rapid Transition to Housing – one of 1987 and the other in 2009 was confusing. It's good that Roseville will continue to participate, and will do so with Placer County over the 8-year period of the Housing Element.

### **State Programs**

There are quite a few programs. Two look "iffy" re: future funding: BEGIN and Federal Emergency Shelter Grants.

First Time Home Buyers Down Payment Assistance Program looks great, but only assisting about 20 households in the eight year period doesn't look like much.

The City, however, is optimistic re: Cal Home, administered by HCD since Roseville has submitted success applications for eligible activities.

The other programs look like they are active.

### **Local Government Programs.**

I hope the \$250,000 can help more than a few homeless persons. It looks like non-profits help this process. I doubt that the homeless have easy access to electronic communication. Are City Library computer systems made available to them?

## **Private Programs**

### ***Citizens' Benefit Trust***

It's interesting to see how the sale of our hospital has been able to generate interest with a PORTION to improve quality of life for Roseville citizens. The **Grants Advisory Commission** reviews grant applications and makes recommendations to City Council. **QUESTION: What recommendations have been made? What benefits re: housing – affordable and otherwise.**

*REACH FUND* It's great to see that Roseville employees give. Here, we see how the funds are dispersed.

*Developer Contributions* These funds help with mortgages, and otherwise help with making housing affordable for those purchasing and renting.

*Non-profit corporations* advocate and educate. It's interesting to see that our charter allows the City to sell surplus property to non-profit firms without a competitive bid.

*Project Go* helps implement development of affordable housing (MF). This outfit also helps with energy expense.

Five non-profit corporations work with the City to build affordable housing utilizing the Low Income Tax Credits Program.

**QUESTION: Are all these agencies, programs, and non-profits listed in an appendix with a brief mention of focus and contact information?**

*Reverse Annuity Mortgage* can help elderly homeowners. The City refers residents to the Community Services Department's: Housing Division's Residential Rehabilitation Program.

*Private funding* might help. The City doesn't control this. Who knows what will happen over the 8-year program.

## **FAIR HOUSING ASSESSMENT**

### **Introduction and Overview of AB 686**

This bill was signed in 2018 and requires each city or county to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities. AFFH

QUESTION: City or County. Could this mean City AND County? If a County does, does the City need to also? This question may pertain to other areas of the state. I have a feeling that City of Roseville staff are capable of trying to tackle these issues. Keeping the public informed may be essential.

### **Assessment of Fair Housing Issues**

Much of this info (AI) was done in 2020 by the Sacramento Valley Fair Housing Collaborative.

### **HISTORIC AND CURRENT BARRIERS TO HOUSING ACCESS**

Good to know: barriers to access is known as fair housing. Is this concept in the GLOSSARY to describe fair housing? Both terms: barriers to access AND fair housing could each be defined – even if one defines the other.

1870's Chinese disenfranchised

Redlining 1930-2004. (Is redlining in the GLOSSARY?) The paragraph for this clearly identifies what happened, but not WHERE. What about Roseville?

### **FAIR HOUSING ENFORCEMENT AND OUTREACH**

Based on my Google research, the California Fair Employment and Housing Act was adopted in 1959. So, does that mean that restrictive covenants which were on property within Roseville at that time continue?

It's great that the City provides fair housing outreach materials.

### **INTEGRATION AND SEGREGATION PATTERNS AND TRENDS**

Roseville tends to be plain white (less diverse), but has become more diverse in recent years. It'll be interesting to see what's learned from the 2020 Census. I understand I may be living in the fastest growing Census Tract in the State: 95747.

Figure X-5 on P.x-94 shows "Racial Predominance by Census Tract". There was a green color code for Hispanic Majority, but no green showed on the map. As I interpret the map, Predominant gap "greater than 50%" explains a lot of Roseville. Sizable gap for white is in the lightest beige – that area doesn't seem very developed. A gap of 10% - 50% is a huge gap. This is one area of information that could be improved with the 2020 Census. Again, I recommend that a Summary with Census updates be made available in the next year or so. Perhaps, since this document must be adopted this year – before a lot of the most current census data is available, my proposed Summary may only give some focus to the efforts.

## **Dissimilarity Index**

This is very complex. Roseville seems to lack dissimilarity when compared with other cities. I.E. :Roseville's dissimilarities are less in every category when compared with all the other jurisdictions.

## **Familial Status**

Since the impacts of COVID, I wonder what data would show up now for Figure X-8. Again, the data from the 2020 Census might help. However, the data shown are from 2015-2019. In Roseville, it looks like there are 3 areas with as many as 20 – 40% of the households have a female householder, no spouse/partner present. These areas, and perhaps more if data suggests it, need full-day care for children. Does or do the schools in those areas have child care? Are homes/facilities approved for that care?

## **Disability**

Yes, I live in the portion of Census Tract 95747 where 20 to 30% have a disability. However, Sun City Roseville is an active community. This Census Tract has significantly grown: perhaps more than most in the area, if not in the State.

## **Income**

Roseville's poverty level is less than surrounding areas. The areas shown on Figure X-10 show that some of the older parts of Roseville have lower income ranges. This also appears true for Sun City Roseville where most live on savings, retirement programs, and were able to buy property because they had equity in previous homes.

## **RACIALLY AND ETHNICALLY CONCENTRATED AREAS BY INCOME**

It's interesting to read that the poverty rate for Black families has dropped, but the poverty rate for Hispanic families has gotten worse. The poverty problem for Hispanic families almost doubled.

### **Racially or Ethnically Concentrated Areas of Poverty**

I hope the new program in the Housing Element will help first-time home-buyers in the City. Apparently the area that has the greatest housing burden is impacting Hispanic households in one census tract. The new program targets that area.

### **Racially or Ethnically Concentrated Areas of Affluence**

Apparently, Roseville is somewhat Affluent.

## **ACCESS TO OPPORTUNITY**

Asian households have better access to proficient schools when compared with Hispanic and Native American residents. This ties in with poverty. Most, however, have good access. **This is another opportunity to encourage good child care opportunities – tied in, perhaps, with school districts.**

### **HCD/TCAC Opportunity Areas**

The problem area is near Vernon – in the older part of town near the Railroad Tracks.

### **Educational Opportunity**

The older, more eastern part of the City has lower education scores. **How can the City of Roseville through the Housing Element help improve that situation?**

### **Proximity to Jobs**

**It is recognized that the western part of the City: also the largest Census Tract require longer trips to work.** Overall, Roseville has greater job opportunity index scores than the neighboring cities of Rocklin, Loomis, Lincoln, Granite Bay, and Citrus Heights. **Improved Public Transportation would help. Some residents work in Sacramento – government employment.**

### **DISPROPORTIONATE HOUSING NEEDS**

Some may have a “housing problem” based on the effects of discriminatory actions.

### **Overpayment**

**Overpayment also means cost burden. Are these terms in the Glossary?**

Since 2015 fewer homeowners overpay for housing.

Renters are more likely to have a cost burden.

Figure x-16 shows, I believe, Census Tract 95747 as having a 60 – 80% overpayment by renters from 2010 to 2014. I doubt that there are very many renters in that tract. In Figure x-17 Overpayment by renters looks like it has dropped substantially.

The overpayment by home owners, as shown in Figures x-17 and x-18 has decreased in many Census tracts. Perhaps the resales of homes in the northwest of Sun City Ropseville shows such an overpayment. **Is that a very large number? If that is Sun City, those newcomers are Seniors, perhaps adjusting to HomeOwner fees as well as taxes.**

### **Overcrowding**

The area with the greatest overcrowding is near Interstate-80 and the railyards. **This is an area that will need more attention.**

## **Displacement Risk**

Again, the census tracts that have this risk are defined as difficult areas in other parts of this section of the Housing Element. There are more Census Tracts with this risk than the Overcrowding Risk.

## **Rates of Homeownership**

The honesty of the Housing Element re: disparities in homeownership is important to read. It is now illegal to redline, steer, blockbust, unfair lending, and discriminatory pricing.

Roseville does have disparate rates of homeownership, but the issue is less than half of studied jurisdictions!!. THE HOUSING ELEMENT INCLUDES A NEW PROGRAM TO TARGET OUTREACH FOR THE FIRST-TIME HOMEOWNER BUYER ASSISTANCE FOR NEIGHBORHOODS WITH A CONCENTRATION OF HISPANIC HOUSEHOLDS. Hispanic households make up the largest minority group in Roseville.

## **OTHER RELEVANT FACTORS**

The denial rates for mortgages seem unfair, even though credit histories may not be as good as for others with lower denial rates. In some cases, it appears to be solely due to race. **Lenders pay attention: "Lenders earn significantly more from loans made to Latinx and African American homebuyers."** This certainly impacts the challenge of homeownership for everyone.

*SENT VIA EMAIL ONLY*

SHA  
Board of Directors

July 20, 2021

Cathy Creswell  
President  
At-large

Trisha Isom  
Housing Manager  
Housing Division, Roseville Housing Authority  
City of Roseville  
316 Vernon Street, Suite 150  
Roseville, CA 95678  
[tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)

Tyrone Buckley  
Vice President  
At-large

Paul Ainger  
Treasurer  
Volunteers of America

RE: Public Comments regarding the City of Roseville's July 8 Adoption Draft Housing Element

Valerie Feldman  
Secretary  
At-large

LaShawnda Barker  
At-large

Dear Ms. Isom:

Stephan Daves  
Mercy Housing

The Sacramento Housing Alliance (SHA) submits the following comments regarding the City's draft 2021 Housing Element (DHE). We really appreciate Roseville's efforts to address its affordable housing needs. We also recognize and appreciate the significant efforts and commitment to engage with SHA by you and Lauren Hocker, Senior Planner. Our last meeting was particularly helpful in understanding a number of the City's current and proposed regulatory and program strategies. The current Adoption Draft element addresses many of our prior concerns. Our comments below represent the areas of the element that still require revision to ensure the City can continue and strengthen its successes in addressing the affordable housing crisis and fully comply with State housing element law.

Tamie Dramer  
Organize Sacramento

Jenn Fleming  
Mercy Housing

John Foley  
Sacramento Self Help  
Housing

### 1. Implementation Measures and Programs

Nur Kausar  
At-large

The following describes changes still needed to comply with the law. In addition, we note that many of the programs are identified with a timeframe as ongoing and "at least annually," however it is not always clear what at least annually refers to (what program component) nor does it adequately respond to the statutory mandate to have concrete deadlines that demonstrate a beneficial impact within the planning period:

Stanley Keasling  
At-large

Michelle Pariset  
At-large

Alicia Sebastian  
California Coalition for  
Rural Housing

Rachel Smith  
Rural Community Assis-  
tance Corporation

Holly Wunder-Stiles  
Mutual Housing Califor-  
nia

- Program 1/19 Federal and State Programs: While this program has been revised to note geographic targeting for the homeowner rehabilitation and first time homebuyer program, we recommend the rehabilitation program also target areas of identified segregation. Given the importance of these strategies to affirmatively furthering fair housing, the City should conduct

analysis on beneficiaries as discussed in Program 27, including review of the zip code, and other demographics including race, language, and disability and implement affirmative marketing to groups who have limited access to the program, as part of the housing element annual progress report.

- Program 10 Non-residential Construction Fee: The City is to be commended for conducting the necessary nexus study to adopt a non-residential construction fee to support the development and retention of affordable housing. However, we recommend the program also include a commitment to prioritize affordable housing in areas of high opportunity or in areas at risk of displacement (as committed to in Program 9 In-lieu fees). This is especially important since the City does not regularly collect in-lieu fees and the adoption of a nonresidential construction fee will likely generate resources that could and should be effectively targeted.
- Program 18 Accessory Dwelling Unit Outreach Program: We recommend the City outreach to owners of single family homes in addition to multi-family sites.

## 2. Fair Housing Assessment: Affirmatively Furthering Fair Housing:

The City's analysis identifies many areas of the City that have suffered from historic disinvestment and remain segregated. While the programs describe general and specific strategies to potentially address these issues, they do not include specific commitments to any particular strategy or definitive timeframes for implementation. As noted in HCD's June 15, 2021 review, goals and actions must specifically respond to the analysis and identified contributing factors to fair housing issues and must be significant and meaningful enough to overcome identified patterns and trends, Actions *must* (emphasis added) have metrics and milestones as appropriate." For example, one of the strategies indicates the City will "Continue and adopt policies to prevent displacement, yet the program does not describe when these new policies will be adopted. Another policy commits to "Create and fund housing plans to move people from emergency COVID sheltering to permanent affordable housing,..., and again the program does not commit to when those funds and rehousing plans will be adopted.

Program 27 also commits to: (1) Monitor how public sector investments can contribute to economic changes in neighborhoods, possibly accelerating displacement of low-income residents. (2) In making planning decisions, be aware of how the built environment communicates inclusiveness or exclusiveness to different types of residents. However, there is no specific commitment to how those strategies will be implemented. Will the City adopt a specific monitoring program on the

impact of public investments? The element should specifically address how those measure will be implemented and tracked over time.

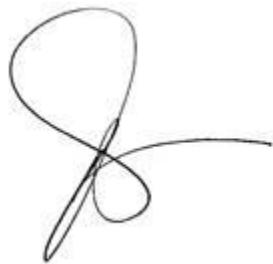
The programs should more directly commit to target resources and strategies to ensure investments are equitably going where needed most, and residents are not displaced as neighborhoods are revitalized.

3. Adequate Sites Program:

The element identifies a shortfall of sites and includes an adequate sites program (Program 14 Rezone Program for Adequate Sites). While the element identifies a number of potentially effective strategies because it does not commit to any specific actions to provide needed sites, the element does not demonstrate adequate sites will be available pursuant to the statutory deadline. The element should identify specific areas and strategies from the menu of options and commit to adopting enough of the strategies to demonstrate the City can meet its shortfall of adequate sites.

Thank you very much for your dedication to Roseville and your consideration of our comments. We have appreciated your willingness to meet with us several times and look forward to our continuing partnership.

Sincerely,

A handwritten signature in black ink, appearing to be 'Kendra Lewis', with a large loop at the top and a horizontal line extending to the right.

Kendra Lewis, Executive Director  
Sacramento Housing Alliance

A handwritten signature in black ink, appearing to be 'Cathy Creswell', written in a cursive style.

Cathy Creswell, Board President  
Sacramento Housing Alliance

**From:** [Derek Pell](#)  
**To:** [Hocker, Lauren](#); [Isom, Trisha](#)  
**Subject:** Housing Element Update - Questions  
**Date:** Thursday, July 15, 2021 12:51:30 AM

---

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Good evening Ms. Hocker and Ms. Isom,

My name is Derek Pell, I'm a Roseville resident, fairly new to the city having moved here in late 2019. I have been looking into the Housing Element update and it is clear that city staff have put in a lot of work to navigate the complex land use of the city and attempt to meet the required housing needs of future Rosevillians! Thank you for your hard work on behalf of the community. I haven't particularly dug into civic issues such as land use, zoning, or affordable housing before, so please pardon any ignorance on my end (maybe some of this is unrelated to the Housing Element, I am not 100% sure on how all the different city plans and codes interact), however I feel that I should make my voice heard, nonetheless.

In general, I am concerned that the city appears to remain focused on low-density single-family housing through much of the city. This leads to un-sustainable sprawl, growing affordability issues, and economic and racial disparities. This seems to be an opportunity to propose a bold plan to address these issues, though it is my opinion that the current draft does not get to the root of the problem. I am particularly interested in the Infill Area of the city, partly because I live here, and also that urban infill is the most impactful local policy that can address greenhouse gas emissions. In short, Roseville can meaningfully address climate change if the city allows the production of more homes near job centers and transit.

On page 12 of the Adoption Draft, it is stated that early discussion with the community included "Prioritizing infill development, particularly in commercial corridors, paired with discussions on how to promote conditions that result in "naturally occurring affordable housing" as well as "Policies or programs which could result in more medium density housing, such as bungalows and duplexes" I have a couple questions related to these items:

- Was any consideration given to implementing specific plans over a larger area of the Infill Area? I have participated in the first community meeting about the Commercial Corridor plans, but these appear narrowly scoped to avoid altering the zoning or land use of surrounding neighborhoods.
- It appears that the Medium Density Residential land-use density of 7.0 - 12.9 du/acre is actually inconsistent with what is typically called "Missing Middle Housing", which likely exceeds this density with duplexes, four-plexes, bungalow courts, small apartments, etc. Has thought been given to a form-based zoning code for areas of the Infill Area? [This has been shown to decrease the barrier to creating this missing housing](#) while encouraging development that fits into the surrounding neighborhood. In my neighborhood - Folsom Road, there are a significant number of duplexes and multiple units per lot. This makes for a denser, more diverse and walkable neighborhood that I very much enjoy.
- I noticed that policy H2.11 (related to this "medium density" housing) is only addressed by two implementation measures - the Condo Conversion Ordinance and the Preservation of Affordable housing. Neither of these promote housing such as duplexes or bungalows. Are there other plans the city has to implement this policy? Such

as creating land-use categories that are specifically intended to deliver missing middle housing, that allow higher densities but require smaller buildings to achieve those densities, particularly within determined walkable contexts.

Thank you very much for your time and consideration.

Derek Pell

--

[derek.j.pell@gmail.com](mailto:derek.j.pell@gmail.com)

(530) 863-0662

**From:** Pam Wilkinson <pammwilkinson@gmail.com>

**Sent:** Thursday, July 22, 2021 4:29 PM

**To:** Isom, Trisha <tisom@roseville.ca.us>

**Subject:** The Redlined Housing Element

Thank you, thank you, thank you -- all of the planning department who worked on the updating of the Housing Element.

I've read most of the redlined version and continued to find that my input was included. Maybe I'm not alone re: child care, glossary, etc.

Pam Wilkinson

former city planner in local governments in California, New York and Washington state.

## Hocker, Lauren

---

**From:** Abundant Minds Freelance Consulting <abundant.am@gmail.com>  
**Sent:** Friday, July 16, 2021 1:49 PM  
**To:** Housing Element  
**Subject:** Millennials want to see more Revitalized History - next to New Modernity. Don't write over the past; hold space for what was within what will be.

Dear Roseville Planning Commission,

As a local millennial, I am personally invested in the changes planned for Roseville. I want to see my hometown's history preserved. As an informed citizen, I believe in it is prudent for Roseville to make active efforts to include preservation safeguards in all long-term city planning.

Therefore,

Please consider this formal request: the 2021 Housing Element should include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing.

Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

The Petition | Belvedere Preservation Alliance

BELVEDERE PRESERVATION ALLIANCE . This petition calls for the City of Roseville to take the first step towards ensuring the preservation of Roseville's historical properties.

[savehistoricroseville.org](https://savehistoricroseville.org)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Alyssa June Maspero, M.A.

Executive Assistant to the Community Manager

Diamond K Estates

16 Richards Drive

## Hocker, Lauren

---

**From:** Ed Beazley <edlikesgettingemail@gmail.com>  
**Sent:** Monday, July 19, 2021 7:07 PM  
**To:** Housing Element  
**Subject:** Preserve Roseville

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Ed Beazley

## Hocker, Lauren

---

**From:** Ashton Bohm <ashtondbohm@gmail.com>  
**Sent:** Wednesday, July 21, 2021 1:04 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Ashton D. Bohm  
Program Instructor, Studio 700  
Arc of Placer County

## Hocker, Lauren

---

**From:** brittinghamgarrido <brittinghamgarrido@att.net>  
**Sent:** Friday, July 16, 2021 12:51 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

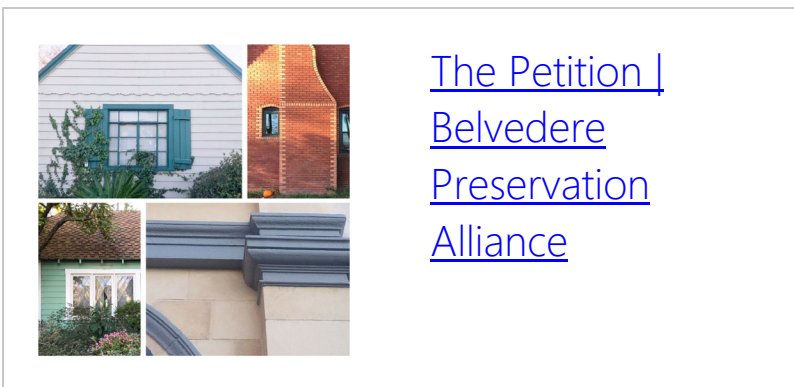
Dear Roseville Planning Commission,

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Dana Brittingham

Sent via the Samsung Galaxy S10e, an AT&T 5G Evolution capable smartphone

## Hocker, Lauren

---

**From:** Megan Constancio <megan@pac-cap.com>  
**Sent:** Friday, July 16, 2021 5:01 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

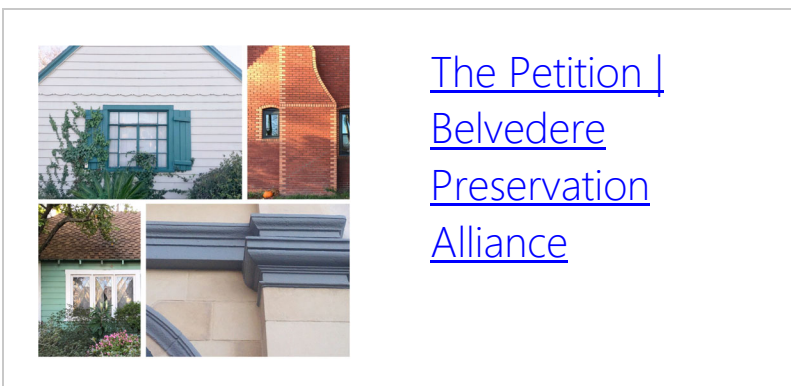
Dear Roseville Planning Commission,

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Megan Constancio

Sent from my iPhone

**Hocker, Lauren**

---

**From:** Jennifer Esparza <jenesparza@surewest.net>  
**Sent:** Thursday, July 15, 2021 10:06 AM  
**To:** Housing Element  
**Subject:** Historical Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

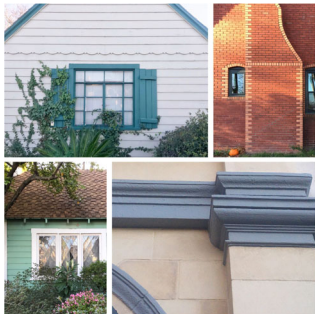
I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

I am a third generation Roseville resident and take pride in the city I live in. I volunteer weekly as a docent at the Roseville Historical Society and visitors regularly express their feelings of the importance of preservation. This town has an incredible history and has become what it is today because of the 'pioneers' that worked tirelessly to build it. Not honoring that is careless and does everybody a disservice.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition | Belvedere Preservation Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Jennifer Esparza

**Hocker, Lauren**

---

**From:** Allison Foster <allisoncfoster@me.com>  
**Sent:** Tuesday, July 20, 2021 3:54 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Allison and I was born and raised in Roseville, I love this city! As a young adult (30), I am actively thinking about where I want to be when I start my family in the next 5 years and I would love to see Roseville keep it's charm while it is experiencing such huge growth. I think there is an inaccurate idea that the upcoming generations do not value historical aspects. This is wrong! We love to thrift, we love sustainably, and we love history! These all go hand in hand with preserving the historical architecture of our city. Cities with historical preservation show that the town cares about more than just money and expansion. That is a huge draw for me and many of my fellow millennials! I urge you to save Roseville's history!

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.


You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Thank you for your time and consideration!

Sincerely,  
Allison Foster



[The Petition | Belvedere Preservation Alliance](#)

## Hocker, Lauren

---

**From:** Travis <travis59@surewest.net>  
**Sent:** Thursday, July 15, 2021 5:10 AM  
**To:** Housing Element  
**Subject:** Historical Preservation

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Travis Fowler  
305 Sierra Blvd  
Roseville Calif 95678



**Hocker, Lauren**

---

**From:** Christopher Guzman <chris@magmacreative.com>  
**Sent:** Wednesday, July 14, 2021 8:26 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.


Dear Roseville Planning Commission,

I'm Chris Guzman, owner of Magma Creative, Inc. in downtown Roseville. I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](https://savehistoricroseville.org/the-petition)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,



**Chris Guzman**  
Creative Director

**p.** (916) 780-1181  
**m.** (916) 300-7430  
**w.** MagmaCreative.com  
**a.** 530 Oak Street., Roseville, CA 95678



## Hocker, Lauren

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**From:** Brittany March <brittanymarchhomes@gmail.com>  
**Sent:** Wednesday, July 14, 2021 12:34 PM  
**To:** Housing Element  
**Subject:** Historical Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Brittany March, I am a local real estate agent in the Roseville community. My husband and I own a 1905 home in Sierra Vista. We love the charm, the history, and the community that Roseville has to offer. I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



### [The Petition | Belvedere Preservation Alliance](#)

BELVEDERE  
PRESERVATION  
ALLIANCE . This  
petition calls for the  
City of Roseville to  
take the first step

towards ensuring the  
preservation of  
Roseville's historical  
properties.

[savehistoricroseville.org](http://savehistoricroseville.org)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Brittany March

--



## Hocker, Lauren

---

**From:** Moriah Toledo <moe.grammer@gmail.com>  
**Sent:** Friday, July 16, 2021 2:45 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element Input

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.


Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](https://savehistoricroseville.org/the-petition)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

We love this town, and our historic districts. It's of the utmost importance that we protect it for our future generations to come.

Sincerely,  
Moriah Toledo

## Hocker, Lauren

---

**From:** Jeremy Ocampo <ocampo.jeremy@gmail.com>  
**Sent:** Thursday, July 15, 2021 5:41 PM  
**To:** Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

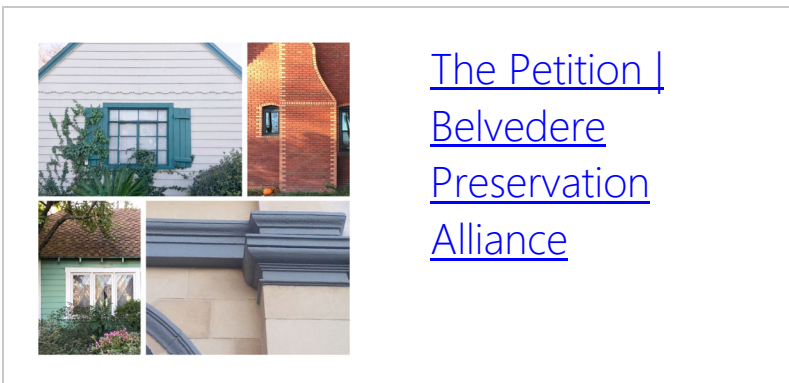
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Jeremy Ocampo

## Hocker, Lauren

---

**From:** Lauren Paulson <laurenpaulson17@gmail.com>  
**Sent:** Tuesday, July 20, 2021 4:08 PM  
**To:** Housing Element  
**Subject:** Historic Preservation Ordinances

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

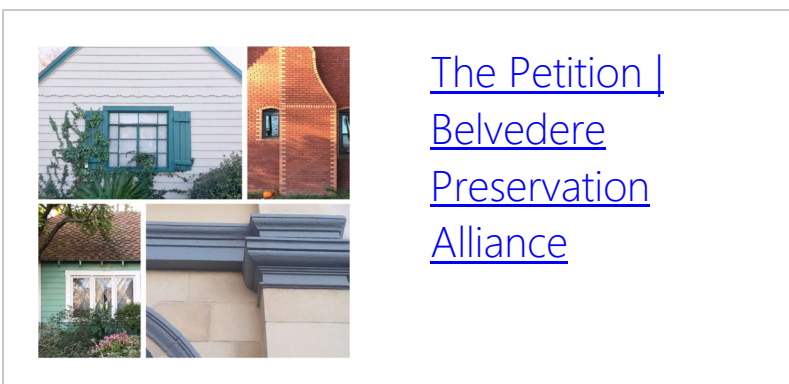
Thank you for considering this, I feel very strongly that preservation of worthy historic buildings is an important issue for me as a Roseville resident.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and I ask that they be recognized and preserved with the adoption of a historical preservation program.

Thank you again,

Lauren Paulson

## Hocker, Lauren

---

**From:** Robert <rlplionel@yahoo.com>  
**Sent:** Sunday, July 18, 2021 9:16 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Greetings,

As a resident living in an older Roseville neighborhood, I would like to see the 2021 Housing Element include adoption of ordinances that would facilitate the preservation and reuse of historical buildings when creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the draft plan. General Plan 2020 had preservation goals that weren't met and this would be an opportune time to meet them. I would like to see historical properties restored and creatively reused to meet housing needs, rather than unnecessarily demolished to make way for new buildings.

By adopting an historical preservation program, which would include the creation of a Roseville register of historic properties and ordinances to go along with them, historic building owners who choose to register their buildings would have access to grants, tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. There is a current petition for the adoption of a historical preservation program that has over 600 signatures, at least 135 of which are historic building owners. Preserving our history is something that local residents care about.

You can read the petition statement, which includes preservation goals mentioned in General Plan 2020 at: <https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and I ask that they be recognized and preserved with the adoption of a historical preservation program. Thanks for your consideration.

Robert Powell  
153 Nevada Avenue

## Hocker, Lauren

---

**From:** Alexa Roberts <alexaroberts@hotmail.com>  
**Sent:** Wednesday, July 14, 2021 11:50 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

We want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Alexa Roberts  
President & Founder  
Belvedere Preservation Alliance  
Instagram: @belvederepreservationalliance

**Hocker, Lauren**

---

**From:** Jan Roberts <jan.roberts@unishippers.com>  
**Sent:** Wednesday, July 14, 2021 1:06 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020) at:

<https://savehistoricroseville.org/the-petition>



[The Petition | Belvedere Preservation Alliance](https://savehistoricroseville.org/the-petition)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Jan G. Roberts, President  
Roberts Freight Consultants, Inc., dba Unishippers

---



**UPS SMALL PARCEL** *PLATINUM PROGRAM FOR BUSINESSES*

**LTL CORE CARRIERS PROGRAM** *PLATINUM FREIGHT RATING AND SUPPORT*

Mobile: 916-765-0620

Office: 916-782-2872 x 108

Fax: 916-782-1233

[jan.roberts@unishippers.com](mailto:jan.roberts@unishippers.com)

[www.unishippers.com](http://www.unishippers.com)

[sacfreight@unishippers.com](mailto:sacfreight@unishippers.com) - Quote requests

<https://www.unishippers.com/content/video/about-us.htm> - 90-Second Unishippers Movie

Each office is independently owned and operated

## Hocker, Lauren

---

**From:** Stacey Roberts <stacey.roberts@unishippers.com>  
**Sent:** Wednesday, July 14, 2021 2:05 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element - Preserving Roseville's History

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Stacey Roberts  
Vice President  
Roberts Freight Consultants, Inc.,  
**(916) 782-2872 ext. 101**  
(916) 300-2313 / Cell  
(916) 782-1233 / Fax

## Hocker, Lauren

---

**From:** Leslie Summerill <lsummerill@gmail.com>  
**Sent:** Tuesday, July 20, 2021 4:09 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

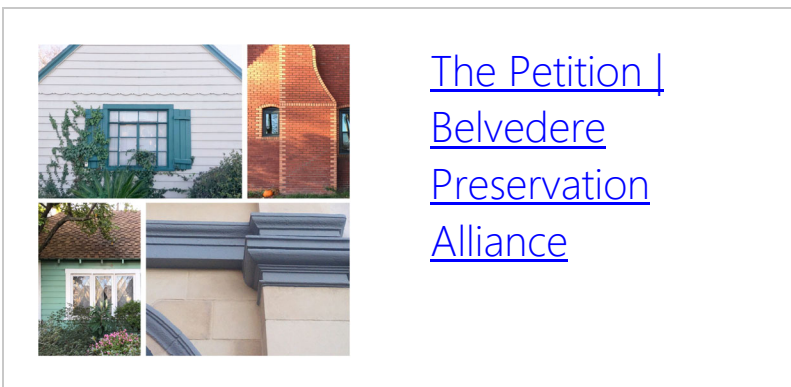
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Leslie

--

Leslie C. Summerill  
916-804-7481  
700 Grove Street  
Roseville, CA 95678

## Hocker, Lauren

---

**From:** Shawn Foster <shawnxfoster@gmail.com>  
**Sent:** Wednesday, July 21, 2021 4:05 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Shawn Foster

## Hocker, Lauren

---

**From:** Mike Hazen <MHazen@tiltonpacific.com>  
**Sent:** Thursday, July 22, 2021 8:13 AM  
**To:** Housing Element  
**Subject:** Register of Historic Properties and Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

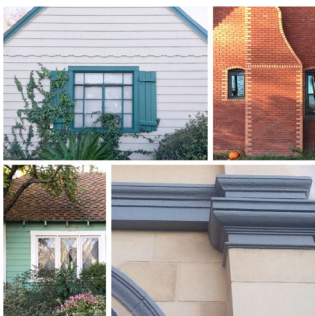
My wife Jamie and I have been Roseville residents all of our lives. We live in the Central part of Roseville in a home built in the 1950's and we believe a register of historic properties in Roseville is a good idea and encourage you to consider adopting a preservation program to protect the history of our City.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Mike and Jamie Hazen  
408 Dudley Drive  
Roseville CA 95678  
916-741-8785

**Mike Hazen**  
Environmental, Health and Safety Director



---

CA 488531 ID RCE-37104 NV 38814 OR 187493 UT 11133033-5501 WA TILTOPC909CP

**Corporate Office**  
4150 Citrus Ave.  
Rocklin, CA 95677-4000  
(916) 630-7200 x222  
(916) 741-8785 mobile

[MHazen@tiltonpacific.com](mailto:MHazen@tiltonpacific.com)  
[www.tiltonpacific.com](http://www.tiltonpacific.com)

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**Hocker, Lauren**

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**From:** Evan Mackall <e.mackall1992@gmail.com>  
**Sent:** Thursday, July 22, 2021 10:58 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Best,  
Evan Mackall

**Hocker, Lauren**

---

**From:** Sarah Martinelli <sarahmartinelli46@gmail.com>  
**Sent:** Wednesday, July 21, 2021 3:39 PM  
**To:** Housing Element  
**Subject:** Please read

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.


Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 622 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition | Belvedere Preservation Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Sarah Martinelli

## Hocker, Lauren

---

**From:** Lyndsey Reed <lyndsey.reed@gmail.com>  
**Sent:** Thursday, July 22, 2021 3:23 PM  
**To:** Housing Element  
**Subject:** Roseville needs Historic Preservation

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

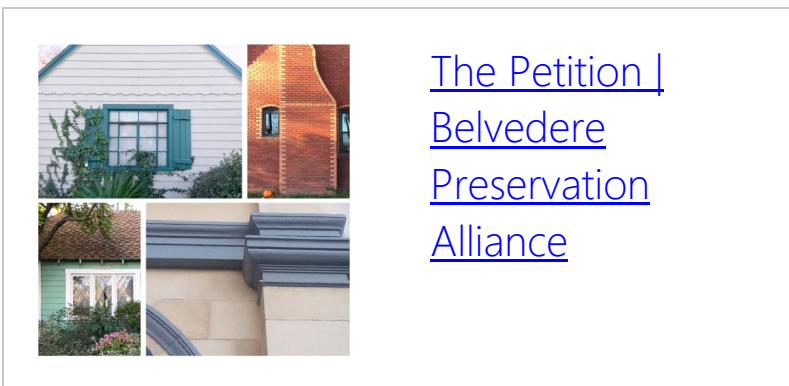
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Lyndsey Reed  
Life-long Roseville Resident

## Hocker, Lauren

---

**From:** Danny Silveira <danny.silveira1985@gmail.com>  
**Sent:** Thursday, July 22, 2021 12:19 PM  
**To:** Housing Element  
**Subject:** Public comment: 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Danielle Silveira and I am a descendant of William Sawtell (great-great grandfather) and Martin A. Schellhaus (great-great-great-grandfather) who were both influential cultural figures in Roseville history. I am also a new resident of the community and proud to call Roseville my home.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020) at:

<https://savehistoricroseville.org/the-petition>

Thank you very much for time ~

Sincerely,

Danielle Silveira



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**Table 4.6-1 Existing Traffic Noise Levels and Contour Distances**

ID	Roadway	Roadway Segment	ADT	L <sub>dn</sub> @ 100 ft	Distance to Contours		
					70 dBA L <sub>dn</sub>	65 dBA L <sub>dn</sub>	60 dBA L <sub>dn</sub>
1	Blue Oaks Blvd	From Fiddymment Rd to West	2,500	57	5	16	51
2	Blue Oaks Blvd	From Fiddymment Rd to Del Webb Blvd	12,600	64	26	82	259
3	Blue Oaks Blvd	From Del Webb Blvd to Woodcreek Oaks Blvd	22,400	67	46	146	460
4	Blue Oaks Blvd	From Woodcreek Oaks Blvd to Foothills Blvd	36,100	69	74	235	742
5	Blue Oaks Blvd	From Foothills Blvd to Washington Blvd	43,200	69	89	281	887
6	Fiddymment Rd	From Blue Oaks to North	8,500	63	18	58	183
7	Fiddymment Rd	From Blue Oaks Blvd to Pleasant Grove Blvd	16,100	65	35	110	347
8	Fiddymment Rd	From Pleasant Grove Blvd to Baseline Rd	26,000	67	56	177	561
9	Woodcreek Oaks Blvd	From Blue Oaks Blvd to North	10,100	63	22	70	222
10	Woodcreek Oaks Blvd	From Blue Oaks Blvd to Pleasant Grove Blvd	14,700	65	32	102	324
11	Woodcreek Oaks Blvd	From Pleasant Grove Blvd to Junction Blvd	14,600	65	32	102	321
12	Woodcreek Oaks Blvd	From Junction Blvd to Baseline Rd	7,400	62	16	52	163
13	Foothills Blvd	From Blue Oaks Blvd to North	7,500	62	17	54	171
14	Foothills Blvd	From Blue Oaks Blvd to Pleasant Grove Blvd	15,300	65	35	110	349
15	Foothills Blvd	From Pleasant Grove Blvd to Junction Blvd	30,100	68	69	217	686
16	Foothills Blvd	From Junction Blvd to Main St	28,700	68	65	207	654
17	Foothills Blvd	From Baseline Rd to Vineyard	34,900	69	80	252	795
18	Foothills Blvd	From Vineyard to Cirby Way	35,400	69	81	255	807
19	Washington Blvd	From Blue Oaks Blvd to Roseville Pkwy	18,200	66	38	121	382
20	Washington Blvd	From Roseville Pkwy to Pleasant Grove Blvd	14,400	65	30	96	303
21	Washington Blvd	From Pleasant Grove Blvd to Junction Blvd	19,200	66	40	128	403
22	Washington Blvd	From Junction Blvd to Main St	20,400	66	43	136	429
23	Washington Blvd	From Main St to Oak St	21,900	67	46	146	460
24	Pleasant Grove Blvd	From Fiddymment Rd to West	10,300	63	22	68	216
25	Pleasant Grove Blvd	From Fiddymment Rd to Woodcreek Oaks Blvd	24,000	67	50	159	504
26	Pleasant Grove Blvd	From Woodcreek Oaks Blvd to Foothills Blvd	33,800	69	71	225	710
27	Pleasant Grove Blvd	From Foothills Blvd to Washington Blvd	42,600	70	90	283	895
28	Pleasant Grove Blvd	From Washington Blvd to Roseville Pkwy	46,700	70	98	310	981

with the approved grading plan, including minimum pad elevations. Also required prior to acceptance of subdivision improvements are letters from each utility company indicating that all required utility work has been completed to the satisfaction of the company.

**2-21 SPECIAL NOTICES AND PERMITS** – The Consulting Engineer shall be responsible for advising the contractor to give the following notices and have in his possession the following permits and plans:

- A.** Contractor shall be in receipt of official City approved plans prior to construction.
- B.** Contractor shall notify the Development Services Department and all utility companies involved in the development at least 48 hours prior to beginning of work.
- C.** Contractor shall notify “Underground Service Alert” and have construction area marked at least 2 working days prior to any digging.
- D.** Contractor shall be responsible for the protection of all existing monuments and/or survey monuments.
- E.** Contractor shall be responsible for conducting his operation entirely outside of any prohibited area. These areas shall be clearly delineated in the field prior to construction.
- F.** Contractor shall provide copies of any and all required EIR mitigation studies or reports prior to construction.

**2-22 GRADING PERMITS, ENCROACHMENT PERMITS, IMPROVEMENT PERMITS, AND SUBDIVISION AGREEMENTS** – No work of any type shall be performed within the City right-of-ways or easements without approved plans and an encroachment permit, improvement permit or subdivision agreement. The certificate of insurance and all necessary bonds shall be posted and approved prior to approval of the plans and the issuance of any permits. This section contains the City’s requirements for each of these permits.

- A. Grading Permits** – The City Grading Ordinance requires that a grading permit be obtained from the City prior to beginning any grading activities greater than the movement of 50 cubic yards of material or as otherwise exempt as specified in the Grading Ordinance. See Section 2-7 for plan submittal requirements. NOTE: Unless prohibited by a condition of approval, a developer may obtain a grading permit to rough grade the project site prior to obtaining approval of the project’s civil improvement plans. In the event the plans show work on private

property not owned by the developer, the developer shall submit to the Engineering Division a notarized right-of-entry from the owner of said property prior to plan approval.

- 1. Fees** – For the most current fee schedule, please visit the City of Roseville website at:  
[http://roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Development%20Services/Engineering/Applications%20Forms%20and%20Handouts/Fees/Engineering%20Fees.pdf](http://roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Development%20Services/Engineering/Applications%20Forms%20and%20Handouts/Fees/Engineering%20Fees.pdf)
  - 2. Bond** – A grading performance bond shall be submitted for all activities requiring a grading permit. The amount of the bond shall be equivalent to 10 percent of the valuation of the grading and erosion and sediment control measures. Minimum bond amount shall be \$500.00. A cost estimate shall be provided to the Engineering Division for review and approval as part of plan submittal.
  - 3. Insurance** – Insurance is not required where the proposed grading is not within existing City right-of-ways and easements. Where grading is proposed within City right-of-ways and easements an encroachment permit shall be issued concurrently with the grading permit. See “B” below for information regarding encroachment permit requirements.
  - 4. Release of Bond** – The bond shall be released immediately following completion of the grading permit to the satisfaction of the City.
- B. Encroachment Permit** – An encroachment permit is required for any work performed within the City’s right-of-ways and/or public easements.
- 1. Fees** – Plan review and inspection fees (combined into one fee) for Encroachment permits are based on the value of the public improvements to be constructed within existing and proposed City right-of-ways and easements. A cost estimate for the improvements, including construction staking, shall be provided to the Engineering Division for review and approval. All cost estimates shall include a 10 percent contingency. The fee schedule shall be as adopted by City Council resolution. Contact the Engineering Division for the current schedule in effect. Where grading is proposed in conjunction with the improvements a grading permit shall be issued concurrently with the encroachment permit. See “A” above for information regarding grading permits. A Technology Fee of three (3) percent shall be applied to all plan review and

CITY OF ROSEVILLE

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# GENERAL PLAN 2035

AUGUST 2020





**CITY OF ROSEVILLE  
GENERAL PLAN  
2035**

**August 2020**



---

**Development Services Department  
Planning Division**

311 Vernon Street  
Roseville, California 95678

# **CITY OFFICIALS**

## **CITY COUNCIL**

Mayor John B. Allard II  
Vice Mayor Krista Bernasconi  
Councilmember Scott Alvord  
Councilmember Pauline Roccucci  
Councilmember Bruce Houdesheldt

## **PLANNING COMMISSION**

Justin Caporusso, Chair  
Erich Brashears, Vice Chair  
Tracy Librea  
Robert Jensen  
Charles Krafka  
Jonathan Martin  
Tracy Mendonsa

# **CITY STAFF**

## **CITY MANAGER**

Dominick Casey

## **ASSISTANT CITY MANAGER**

Dion Louthan

## **DEVELOPMENT SERVICES DIRECTOR**

Mike Isom

## **PLANNING MANAGER**

Greg Bitter

## **PROJECT STAFF**

Lauren Hocker, Senior Planner  
Gina McColl, Associate Planner  
Derek Ogden, Senior Planner

## **CONTRIBUTING DEPARTMENTS**

Fire Chief & Staff  
Environmental Utilities Director & Staff  
Parks, Recreation & Libraries Director & Staff  
Public Works Director & Staff  
Police Chief & Staff  
Roseville Electric Director & Staff




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## ACRONYMS AND ABBREVIATIONS

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A.M.	morning
AB	Assembly Bill
AB 3897	1991 Seismic Hazards Mapping Act
AB32	Global Warming Solutions Act
ac-ft/yr	acre-feet/year
ACS	American Community Survey
ADWF	Average Dry Weather Flow
AF/yr	acre-feet per year
ALS	Advanced Life Support
AMI	area median income
APCD	Air Pollution Control District
APPA	American Public Power Association's
ARB	California Air Resources Board
ARSP	Amoruso Ranch Specific Plan
ASOC	Adult System of Care
ASR	Aquifer Storage and Recover
AV	autonomous vehicles
BACT	Best Available Control Technology
BP	Business Professional
BRT	Bus Rapid Transit
CAAQS	California Ambient Air Quality Standard
CalHFA	California Housing Finance Agency Programs
Cal-OSHA	California Occupational Safety and Health Administration
CBD	Central Business District
CC	Community Commercial
CCI	Construction Cost Index
CCJPA	Capitol Corridor Joint Powers Authority
CDBG	Community Development Block Grant
CEQA	California Environmental Quality Act
CH <sub>4</sub>	methane
CHAS	Comprehensive Housing Affordability Strategy
CHP	California Highway Patrol
CI & IC	Community Involvement and Inter-jurisdictional Cooperation
CIP	Capital Improvement Plan
City	City of Roseville
CMP	Congestion Management Plan
CMU	Commercial Mixed Use
CMU/SA-RG	Commercial Mixed Use with a Special Area Overlay for the Riverside Gateway Plan Area
CNEL	Community Noise Equivalent Level
CNPS	California Native Plant Society
CO	Carbon Monoxide
CO <sub>2</sub>	carbon dioxide
CRHMFA	California Rural Home Finance Mortgage Authority
CSCDA	California Statewide Communities Development Authority
CSP	Creekview Specific Plan
CVP	Central Valley Project
DAP	Down Payment Assistance



Db	Decibel
DCWWTP	Dry Creek Wastewater Treatment Plant
DDS	Department of Developmental Services
DN	Downtown, Neighborhoods
DOE	Department of Energy
DPS	Distinct Population Segments
DTSP	Downtown Specific Plan
DWR	Department of Water Resources
DWSP	Del Webb Specific Plan
EIR	environmental impact report
ELFs	extremely low frequency fields
EMF	electromagnetic fields
EMS	Emergency Medical Services
EOP	Emergency Operations Plan
EPA	United States Environmental Protection Agency
EPS	Emission Performance Standard
ERCs	Roseville Electric purchases Emission Reduction Credits
ESA	Endangered Species Act
ESU	evolutionarily significant units
FAR	floor area ratio
FEMA	Federal Emergency Management Agency
FHWA	Federal Highway Administration
FHWA-RD-77-108	Highway Traffic Noise Prediction Model
FIRM	Flood Insurance Rate Map
FP	Floodplain
FTHB	First Time Home Buyer
G	General
GC	General Commercial
GHG	greenhouse gas
GIS	Geographical Information Systems
GMVC	Growth Management Visioning Committee
GPC	General Plan Committee
GSP	Groundwater Sustainability Plan
GWh	Gigawatt Hours
HCD	Housing and Community Development
HCM	Highway Capacity Manual
HCV	Housing Choice Voucher
HDR	High Density Residential
HEARTH	Homeless Emergency Assistance and Rapid Transition to Housing
HFCs	hydroflourocarbons
HMMP	Hazardous Materials Management Plan
HOME	Home Investment Partnership Program
HP	Hewlett Packard
HRNSP	Highland Reserve North Specific Plan
HUD	Department of Housing and Urban Development
IDEA	Invest Downtown Economic Assistance
IND	General Industrial
ISO	Insurance Service Office
ITS	Intelligent Transportation System
JH & ED	Jobs/Housing and Economic Development
kWh	kilowatt per hour
LAFCO	Local Agency Formation Commission
L <sub>dn</sub>	Day-Night Average Sound Level
LDR	Low Density Residential

Leq	Equivalent Sound Level
LI	Light Industrial
L <sub>max</sub>	maximum sound level recorded during a noise event
LOS	Level of Service
MCC	Mortgage Credit Certificate Program
MDR	Medium Density Residential
mgd	million gallons per day
MLD	Most Likely Descendant
MRF	Material Recovery Facility
MTP	Metropolitan Transportation Plan
MW	Megawatts
N <sub>2</sub> O	nitrous oxide
NAAQS	National Ambient Air Quality Standard
NC	Neighborhood Commercial
NCPA	Northern California Power Agency
NCRSP	North Central Roseville Specific Plan
NERSP	Northeast Roseville Specific Plan
NFIP	National Flood Insurance Program
NFIRS	National Fire Incident Reporting System
NIMS	National Incident Management System
NIPA	North Industrial Planning Area
NO	nitric oxide
NO <sub>2</sub>	nitrogen dioxide
NO <sub>x</sub>	nitrogen oxides
NPDES	National Pollutant Discharge Elimination System
NRSP	North Roseville Specific Plan
NWRSP	Northwest Roseville Specific Plan
O <sub>3</sub>	Ozone
OES	State Office of Emergency Services
OS	Open Space
OSHA	federal Occupational Safety and Health Administration
P.M.	evening
P/QP	Public/Quasi-Public
P/R	Park and Recreation
PCAPCD	Placer County Air Pollution Control District
PCN	Placer Collaborative Network
PCOH	Placer Consortium on Homelessness
PCTPA	Placer County Transportation Planning Agency
PCWA	Placer County Water Agency
Peaker Plant	Roseville Power Plant 2
PFCs	perflouorocarbons
PG&E	Pacific Gas & Electric Company
PGWWTP	Pleasant Grove Wastewater Treatment Plant
PIRS	Placer Independent Resource Services
Plan	City of Roseville General Plan
PM <sub>10</sub>	particulate matter smaller than or equal to 10 microns in diameter
PMC	Pacific Municipal Consultants
PPH	Person-per-household
PSAP	public safety answering point
PSI	pounds per square inch
PV	solar electric generation
PWWF	Peak Wet Weather Flow
RC	Regional Commercial
RCONA	Roseville Coalition of Neighborhood Associations



REACH	Roseville Employees Annual Charitable Hearts
REP	Roseville Energy Park
RFD	Roseville Fire Department
RGSP	Riverside Gateway Specific Plan
RHA	Roseville Housing Authority
RHNA	Regional Housing Needs Allocation
RHNAP	Regional Housing Needs Allocation Plan
RMU	Residential Mixed Use
RND	Relationship of New Development
ROG	reactive organic gases
Roseville Electric	City of Roseville operates its own electric utility
RPAL	Roseville Police Activities League
RPD	City of Roseville Police Department
RPS	Renewable Portfolio Standard
RTPAQ	Relationship to Transit, Pedestrian, and Air Quality
RWA	Regional Water Authority
RWQCB	Regional Water Quality Control Board
s.f.	square feet
SA	Study Area
SA	Special Area overlay
SACOG	Sacramento Area Council of Governments
SB	Senate Bill
SBX1 2	Senate Bill X1 2
SCIP	Statewide Communities Infrastructure Program
SCS	Sustainable Communities Strategy
SEL or SENEL	Sound Exposure Level of Single Event Noise Exposure Level
SEMS	Standardized Emergency Management System
SERSP	Southeast Roseville Specific Plan
SF <sub>6</sub>	sulfur hexafluoride
SFONA	Sacramento Federal Ozone Non-Attainment Area
SGMA	Sustainable Groundwater Management Act of 2014
SHP	Supportive Housing Program
SJWD	San Juan Water District
SMSA	Sacramento Metropolitan Statistical Area
SPA	Specific Plan Area
SPFC	State Plan of Flood Control
SPMUD	South Placer Municipal Utility District
SPRTA	South Placer Regional Transportation Authority
SRO	single-room occupancy
SRRE	Source Reduction and Recycling Element
SRSP	Stoneridge Specific Plan
SVSP	Sierra Vista Specific Plan
Systems Evaluation Report	Regional Wastewater and Recycled Water Systems Evaluation Report
TCM	Transportation Control Management/ Measures
TDM	Transportation Demand Management
the Action Plan	National Action Plan for Energy Efficiency
TMF	Traffic Mitigation Fee
TNC	Transportation Network Companies
TS	Transfer Station
TSM	Transportation Systems Management
UEC	Utility Exploration Center
ULOP	Urban Level of Flood Protection
UPRR	Union Pacific Railroad Company

UR	Urban Reserve
USBR	United States Bureau of Reclamation
USBR	Federal Bureau of Reclamation
USTs	Underground storage tanks
VC	Village Center
VMT	vehicle miles traveled
WELO	Water Efficient Landscape Ordinance
WP GSA	West Placer Groundwater Sustainability Agency
WPWMA	Western Placer Waste Management Authority
WRSP	West Roseville Specific Plan

# I. INTRODUCTION







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## INTRODUCTION

### FUNCTION AND INTENT OF THE GENERAL PLAN

State law requires that every county and city prepare and adopt a comprehensive long-range plan to serve as a guide for the development of the community. The plan must consist of an integrated and internally consistent set of goals, policies and implementation measures. In addition, the plan must focus on those issues that are of the greatest concern to the community and should be written in a clear and concise manner. City actions, such as those relating to development entitlements, annexations, zoning, subdivision and design review, revitalization, and capital improvements must be consistent with the General Plan.

The City of Roseville General Plan (Plan) serves to:

- Establish long-range development policies that will be implemented through actions by the City of Roseville (City) Council and Planning Commission;

- Provide a basis for judging whether private development proposals and public projects are in harmony with the policies; and
- Guide public agencies and private developers in designing projects that are consistent with City policies.

The Plan is designed to be:

- **Long-range:** However imperfect the vision of the future is, almost any development decision has effects lasting more than 20 years. In order to create a useful context for development decisions, the General Plan is focused on the year 2035—and beyond.
- **Comprehensive:** The Plan provides direction to coordinate all major components of the community's physical development and conservation.
- **General:** Because it is long-range and comprehensive, the Plan, in most cases, is general. The Plan's purpose is to serve as a framework for more detailed public and private development proposals.

## HISTORICAL CONTEXT

The City of Roseville is located on the Interstate 80 corridor, approximately 15 miles northeast of downtown Sacramento, California (Figure I-1), in the northeastern portion of the Sacramento Metropolitan area. Roseville is the largest city in Placer County.

Roseville is situated within the traditional territory of the Nisenan Native Americans, and specifically the Maiduan family or more commonly, Maidu. Their territory extended from the Sacramento River to the Sierra Nevada. Of the two principal divisions that made up the Maidu nation, the southern Maidu controlled the entire American River drainage area, the Bear and Yuba Rivers, and the area now encompassed by the City of Roseville.

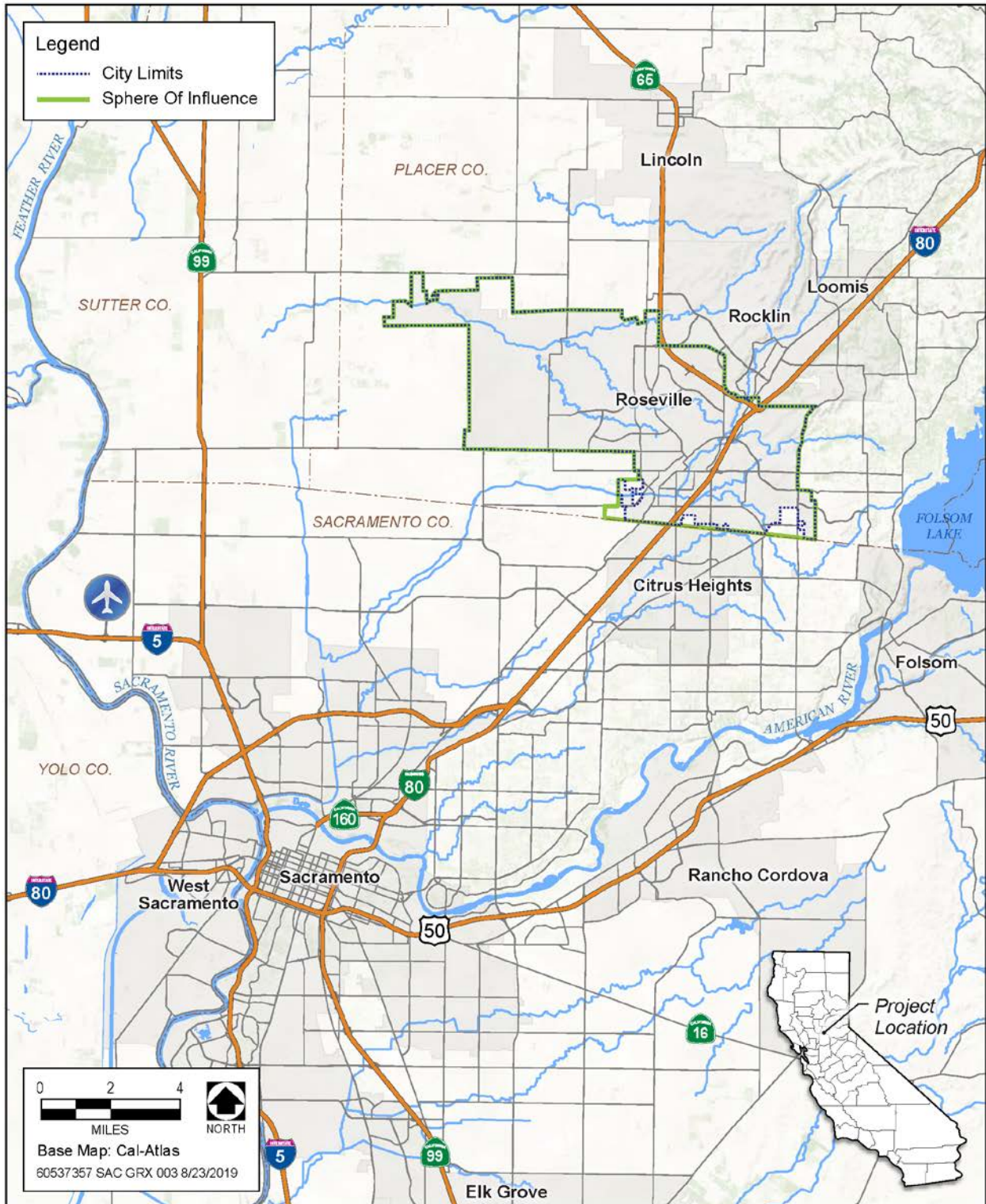
Outside exploration of the region was first recorded in the early 1800s. This included early fur trapping explorations. The discovery of gold in 1848 brought over 10,000 people to Placer County. By the 1850s, miners failing to find promised riches began turning to other pursuits, such as farming. Disgruntled miners and pioneer ranchers settled the area before it became known as Roseville.

On November 29<sup>th</sup>, 1863, during construction of the transcontinental railroad from Sacramento to Promontory, Utah, railroad graders reached "The Junction." The original map of the City was filed with the Placer County Recorder on August 13, 1864, titled "Plan of the Town of Roseville at the Junction of the Central Pacific and California Railroads." Between 1870 and 1906, small-frame buildings and roughhewn board sidewalks sprang up. A school was built. Places of worship and fraternal organizations were established, and efforts were made to stimulate industry – first by the establishment of a flourmill, and later, a winery.

In April of 1908, the Southern Pacific Railroad Company officially moved its terminal, roundhouse, and shops from Rocklin to Roseville. This move brought many jobs and residents to the community. After the railroad's relocation, an organized drive for incorporation began. On April 2, 1909, by a vote of 241 to 90, the people voted in favor of incorporation. Roseville became a Charter City on January 10, 1955 and, on March 26, 1964, during the City's 55<sup>th</sup> anniversary, Roseville was honored as an All-American City. In 2009, Roseville celebrated its 100<sup>th</sup> anniversary and was honored by winning the Governor's Trophy with its entry into the Pasadena Tournament of Roses Parade.



Figure I-1 | Regional Location Map



Today, Roseville has evolved from what was considered a “bedroom community” in the 1970s to an urban center with a mix of residential and employment uses. Roseville has generally grown outward from its historic Downtown adjacent to the Union Pacific Rail Yard. As of May 2020, the City’s population was estimated at approximately 145,163. The City has attracted a significant amount of non-residential development, including commercial, office, and industrial uses. The City and surrounding south Placer County area have been growing rapidly for the last few decades, and additional growth is anticipated during this General Plan’s planning horizon.

## PLANNING AREA

The focus of the General Plan’s land use policy is on the City’s Planning Area, which includes areas within the City limits and areas within the City’s Sphere of Influence (shown in Figure I-1).

While the City’s incorporated area and Sphere of Influence are the primary focus of General Plan policies, there are some topics in the Plan that affect or are affected by conditions outside the Planning Area. For example, regarding air quality, the City is considering conditions throughout the Sacramento Valley Air Basin. For flood protection, the City examines existing and future conditions across entire drainage basins. In many other cases, such as solid waste and recycling, transportation, and wastewater treatment, the City coordinates with other agencies, promoting mutually beneficial strategies that extend beyond the City limits and Sphere of Influence.

## PLAN DEVELOPMENT

Roseville’s first General Plan, consisting basically of a land use map, was adopted in 1963. The first comprehensive General Plan for the City was adopted in 1977.

Development of the 1992 General Plan involved an extensive process of public hearings and workshops. The focus of much of this effort revolved around the establishment of a General Plan Committee, an advisory group composed of representatives from the City’s seven commissions. The Committee’s work extended from November 1990 to May 1992. The Committee was assisted by staff from the City’s then Planning and Redevelopment Department.

The General Plan Committee was presented with issue papers for the General Plan Element areas and was asked to make policy recommendation for each General Plan Element. Draft General Plan Elements were then prepared based on the Committee’s direction. The General Plan Committee reviewed the draft Elements, made adjustments, and the document was released for public review, in conjunction with a General Plan Environmental Impact Report (EIR) in June of 1992.

The General Plan has been amended every time a new annexation area and/or Specific Plan is adopted. To date, the City has 14 adopted Specific Plans located within the City limits. These Specific Plans are incorporated as a part of the General Plan and should be referred to for specific requirements. Other more recent General Plan amendments include (but are not limited to) an amendment related to the adoption of the Bicycle Master Plan in 2008; amendments to the Circulation Element in 2007 after an update to the City’s Capital Improvement Program (CIP); the Westbrook amendment to the Sierra Vista Specific Plan in June 2012; the Fiddyment Ranch Phase 3 Specific Plan Amendment in February 2014; and the Hewlett Packard (HP) Campus Oaks amendment in 2015.

In addition, the recommendations of the City’s Growth Management Visioning Committee were incorporated into the Plan in 2005. This Committee met over the course of eight months to provide recommendations to the City Council on how the community should grow in the future. These recommendations were incorporated into the General Plan in October 2005.

The General Plan was also amended in 2008 to identify policies that would reduce greenhouse gas emissions.



The last major revision to the General Plan was in 2016 as part of the Amoruso Ranch Specific Plan. Public hearings on the General Plan and Amoruso Ranch Specific Plan EIR were held at the City's Planning, Transportation, Public Utilities, and Parks and Recreation Commissions. Final action on the updated General Plan was taken by the City Council on June 15, 2016. As part of this General Plan update, the General Plan horizon year was extended from 2025 to 2035.

Finally, the General Plan was updated in 2020 to revise goals and policies, as appropriate, to address recent changes in State law; incorporate changes to the Noise Element that are more appropriate for current and future conditions in Roseville; integrate the environmental analysis and policy planning process to promote the City's planning, environmental, economic, and fiscal goals; and to make updates for clarity and concision, moving detailed existing conditions information that goes quickly out of date to the General Plan Update Environmental Impact Report, so that the goals and policies are the focus of the body of the General Plan.

## PLAN ORGANIZATION AND APPLICATION

Two primary components constitute the City of Roseville General Plan. These are:

- The General Plan document, which incorporates the goals and policies and an appendix to the General Plan that includes implementation measures; and
- The Land Use Map, which graphically represents the City's existing and planned land use mix and pattern. The City's official land use map is available through the Development Services Department – Planning Division, located at the Civic Center at 311 Vernon Street or online at [www.roseville.ca.us](http://www.roseville.ca.us).

The General Plan document is organized into nine separate mandatory and optional elements. Elements mandated by State law include: Land Use, Circulation, Open Space and Conservation (combined), Safety, Housing, and Noise. The optional elements include Air Quality and Climate Change, Parks and Recreation, and Public Facilities.

Each Element is generally organized in the way, with a brief introduction that includes the purpose of the Element, relevant setting, and organization of the Element, followed by the goals and policies. Goals are an expression of future desired conditions or activities. Policies provide guidance for actions that must be taken to achieve the desired goal. The appendix includes implementation measures, which are more specific actions or regulatory documents needed to comply with the City's policies. The appendix is intended to be a "living document," that should be revised as conditions change, pertinent technologies and best practices emerge, State laws are enacted, and regional plans are updated.

To understand the full intent of the General Plan, the goals and policies must be reviewed together and in combination with the Land Use Map. Many individual issues have implications for goals and policies throughout the General Plan. Several policies provided in one Element help to achieve goals included in other Elements.

The general content of each Element is described below:

- **Land Use Element** discusses existing and future land use conditions, land use designations and standards, community form, community design, and growth management.
- **Circulation Element** identifies the general location and the extent of the existing and proposed roadways, highways, railroads and transit routes. The Element identifies goals and policies to enhance the freedom to choose different modes of travel, manage travel demand, and provide for goods movement throughout the Planning Area and surrounding region.

- **Air Quality and Climate Change Element** integrates related land use, transportation and circulation, transit, and energy issues. The policies are intended to improve air quality and encourage cooperation among surrounding jurisdictions involved in regional air quality efforts.
- **Open Space and Conservation Element** provides for the conservation and management of natural resources, details strategies for the preservation of open space, and provides for outdoor recreation, public health, and safety.
- **Parks and Recreation Element** provides goals and policies for both traditional active park lands and non-traditional open space-oriented park lands. It specifies standards and conditions as guidelines for planning parks and recreation facilities, including size, type, location, and multi-modal access.
- **Public Facilities Element** identifies facility and service needs of the community for civic facilities, libraries, schools, electric and privately owned utilities, water and wastewater systems, solid waste and recycling, water and energy efficiency, and the extension of City services.
- **Safety Element** establishes standards and plans for the protection of the community from a variety of hazards, including earthquakes, flooding, crime, fire, and hazardous materials.
- **Noise Element** establishes standards for transportation and fixed noise sources to protect the health and welfare of the community.
- **Housing Element** identifies the existing and projected housing needs and establishes goals and policies for the preservation, improvement, and development of housing to meet the diverse needs of the City's existing and future population.

The Plan also incorporates a glossary and an appendix. The appendix includes implementation measures, as noted above. The glossary defines certain technical terms used in the General Plan to promote a broad understanding of the City's intent.

The General Plan complies with all relevant State-mandated requirements related to substance and content.

## PLAN ADMINISTRATION AND AMENDMENT PROCEDURES

A continuing administrative program of monitoring and evaluation will accompany Plan implementation. To remain effective in dealing with changing trends and conditions, the General Plan must maintain some flexibility. The City will evaluate General Plan implementation relative to the City's goals and adopt amendments over time, as needed. Monitoring and evaluation provide an internal process for ensuring that the Plan remains dynamic and relevant, providing the necessary guidance for private development proposals and City actions.

All General Plan amendments must be adopted by resolution and require at least one public hearing by the Planning Commission and one by the City Council. State law allows Charter Cities, such as Roseville, to amend their General Plans as often as necessary. General Plan amendments will require appropriate environmental review, in accordance with the California Environmental Quality Act.

The following principles shall regulate the administration and amendment of Roseville's General Plan:

- 1 The City shall regularly evaluate the effectiveness and adequacy of the entire General Plan. Such evaluation should occur a minimum of every five (5) years starting from the date of initial adoption of the Plan or whenever any significant modification to the General Plan is contemplated. The evaluation



will consider the accuracy of data, effectiveness and relevance of goals and policies, and compliance with relevant legislation.

- 2 Policy and text amendments to the General Plan may only be considered by the City when such amendments do not result in any internal inconsistencies within the Plan. In the course of updates, the City will eliminate inconsistencies or inadvertent errors and ensure internal consistency. Such updates shall be documented with a reference to this Section and the original City Council amendment that resulted in the change.
- 3 Amendments to the Land Use Map may only be considered by the City when such amendments are consistent with the intent of the goals and policies of the General Plan.

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## II. LAND USE







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## LAND USE

### PURPOSE

The purpose of the Land Use Element is to set guidelines for managing land use change. Land use designations define allowable density and land uses. The Land Use Map illustrates the location of each of these uses. Goals and policies in this Element guide land use change to achieve many goals: maintaining and enhancing quality of life in neighborhoods; promoting revitalization and economic development; enhancing fiscal sustainability; and ensuring orderly and efficient long-term growth.

A community's ultimate land use distribution and development pattern are influenced by economic development and opportunities, the capacity and location of infrastructure and services, natural and environmental constraints, the periods of time when the community was founded and experienced growth, market opportunities and constraints, and social factors. The implementation of land policies interacts with these and other factors to improve social, economic, and environmental outcomes. Land

use patterns have complex relationships with other key planning considerations. For example, infrastructure capacity and placement can influence the distribution of land uses and the community's overall character. At the same time, the desired community character speaks to the distribution of land uses and the infrastructure necessary to serve these land uses.

It is the overall goal of the Land Use Element to promote a balanced land use pattern that supports innovative land use approaches and retains and enhances the distinct character and identity of Roseville.

## GUIDING PRINCIPLES

The City has received input from residents and business owners through surveys, task forces, committee meetings, and other mechanisms. This input was used to develop guiding principles that create the foundation for the goals and policies of the Land Use Element. These guiding principles include:

- Promote and enhance Roseville's unique character and identity.
- Distinguish Roseville from adjacent communities through the quality of development and design and the level of public services and facilities provided.
- Protect and enhance Downtown and the City's established neighborhoods.
- Promote new development and ensure that development is an integrated and connected part of the City's land use pattern.
- Provide a variety of housing types and opportunities to serve the needs and incomes of all households.
- Create a balanced land use pattern with an appropriate mix of uses to accommodate residential, employment, service, and social needs within the community.
- Preserve open space in areas with sensitive environmental resources and provide high-quality, accessible recreational amenities.
- Ensure fiscal responsibility.
- Create a land use mix and development pattern that accommodates and promotes alternative transportation modes for ease of access and improved air quality and public health.
- Proactively manage and plan for growth.

## ORGANIZATION

The Land Use Element consists of the Land Use Map and land use goals and policies. The Land Use Map visually illustrates the City's existing and planned land use mix and pattern.<sup>1</sup> Land use decision-making is guided by the goals and policies contained in the text of the Land Use Element, as well as the land use implementation measures outlined in the appendix to the General Plan. While the Land Use Map is an illustration of policy, it only reflects those policies that can be graphically shown. The Land Use Map and land use policies must be used in combination with each other, along with the policies from the other Elements.

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<sup>1</sup> A copy of the Land Use Map is available through the Development Services Department - Planning Division at 311 Vernon Street or online at [www.roseville.ca.us](http://www.roseville.ca.us).



The Land Use Element is organized into the following six components:

- 1 **Planning Area** provides a description of the Planning Area, the Sphere of Influence, and planning subareas.
- 2 **Land Use Designations** identifies and defines the City's land use categories, incorporating general use, development, intensity, and siting and compatibility guidelines.
- 3 **Development Forecast** presents estimates of future development potential within the Planning Area.
- 4 **Community Form** provides goals and policies to define and direct the future form and development pattern of the City.
- 5 **Community Design** includes goals and policies that address aesthetics, integration of the built and natural environments, and community character.
- 6 **Growth Management** focuses on the proactive management of growth in the community, including performance standards to regulate growth and development, as well as policies addressing annexations and expansion of the City's Sphere of Influence.



*It is the overall goal of the Land Use Element to promote a balanced land use pattern that supports innovative land use approaches and retains and enhances the distinct character and identity of Roseville.*

## PLANNING AREA

The focus of the General Plan's land use policy is on the City's "Planning Area" (see Figure II-1), which includes all planning subareas within the City limits, Sphere of Influence, and the City/County Memorandum of Understanding area, as described below.

### Sphere of Influence

The City's Planning Area includes 796 acres of land that is within the City's Sphere of Influence, but outside the current City limits. The City does not have jurisdiction over projects proposed within the Sphere of Influence, but will monitor, receive notices, and provide official comments on such projects. The City will use policies of the Growth Management component of this Element to evaluate annexations to the City and expansions of the Sphere of Influence, which would be subject to approval by the Placer County Local Agency Formation Commission (LAFCO).

### City/County Memorandum of Understanding Area

The City has an expanded cooperation agreement in place with Placer County, commonly referred to as the City/County Memorandum of Understanding (MOU), which provides guidelines for the City or County to follow to ensure that development within the MOU area is cooperatively planned with input from both agencies.

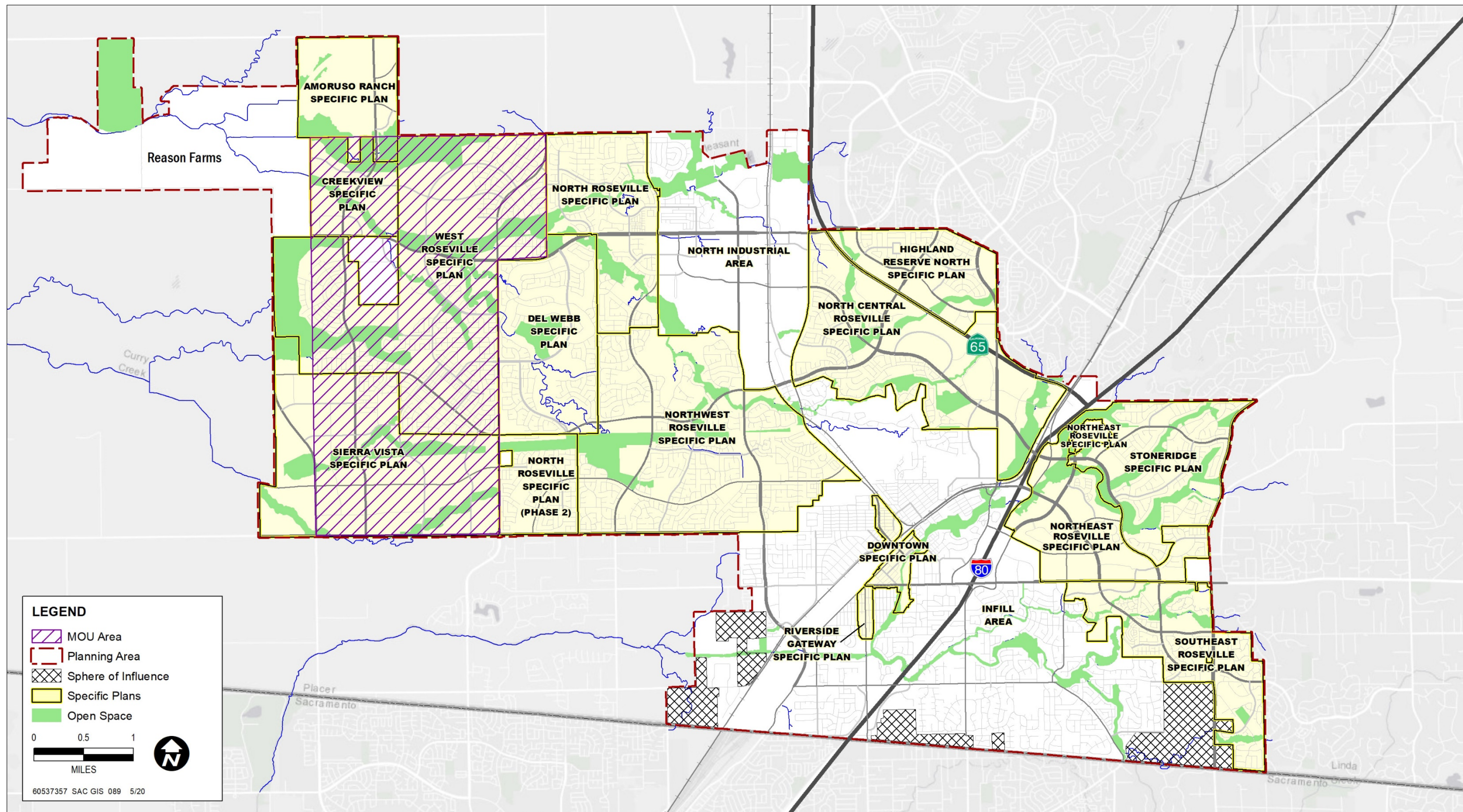
### Planning Subareas

Within the City limits, there are 16 subareas that have been defined for planning purposes. These include the Infill Area, the North Industrial Area, and the City's 14 Specific Plan Areas:

- **Infill Area** – This area has vacant and underutilized properties where the City will encourage infill development, but overall, it is mostly built out. The Infill Area includes the historic core of the community but excludes the Downtown and Riverside Gateway Specific Plan Areas.
- **North Industrial Area** – While not subject to a specific plan, this is a recognized planning subarea of the City that provides a major opportunity for industrial and employment development serving the south Placer region. The North Industrial Area has adopted design guidelines, the North Roseville Design Guidelines, which applies to the majority of the planning area. Other portions of the North Industrial Area are regulated by the Hewlett Packard Master Plan or Campus Oaks Master Plan.
- **Southeast Roseville Specific Plan (1985)** – This mixed-use Specific Plan represents the City's first effort to use the specific plan process to master plan a new development area.
- **Northeast Roseville Specific Plan (1987)** – This Specific Plan is primarily intended for commercial and employment-generating uses but also has significant residential and open space components.
- **Northwest Roseville Specific Plan Area (1989)** – The predominant land uses in this Specific Plan Area are single- and multi-family development, but the Specific Plan also provides for commercial, office, open space, and public uses.
- **North Central Roseville Specific Plan (1990)** – This Specific Plan Area includes residential, commercial, and office uses, along with a large area for wetland preservation and creation.
- **Del Webb Specific Plan (1993)** – This Specific Plan Area is planned as an age-restricted community consisting of single-family homes focused around recreational facilities with supportive private and public uses.



Figure II-1 | Planning Areas



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- **Highland Reserve North Specific Plan (1997)** – This Specific Plan accommodates single- and multi-family residential development, along with commercial and other supportive uses.
- **North Roseville Specific Plan (1997)** – This multi-phase Specific Plan includes single- and multi-family dwelling units, commercial uses, parks and other public facilities, and open space.
- **Stoneridge Specific Plan (1998)** – This Specific Plan accommodates single- and multi-family residential development, commercial and office uses, parks and other public facilities, and open space.
- **West Roseville Specific Plan (2004)** – This Specific Plan accommodates single- and multi-family dwelling units, including age-restricted units, commercial uses, industrial development, parks and other public facilities, and open space.
- **Riverside Gateway Specific Plan (2006)** – The Riverside Gateway Specific Plan is intended to guide public improvements and facilitate commercial and residential infill development between Douglas Boulevard and Darling Way.
- **Downtown Specific Plan (2009)** – This Specific Plan encourages mixed-use infill development throughout the Historic Old Town and the Vernon Street District. The associated Downtown Code implements the Plan, physically applying the Plan’s guidance to properties within the Plan Area.
- **Sierra Vista Specific Plan (2010)** – This Specific Plan accommodates single- and multi-family units, including age-restricted units, commercial development, parks and other public facilities, and open space.
- **Creekview Specific Plan (2012)** – This Specific Plan accommodates single- and multi-family dwelling units, commercial and office development, parks and other public facilities, and open space.
- **Amoruso Ranch Specific Plan (2016)** – This Specific Plan accommodates single- and multi-family dwelling units, commercial development, parks and other public facilities, and open space.

Roseville’s Specific Plans play an important role in guiding development and conservation. In many areas of the City, the Specific Plans are the primary mechanism for implementing the goals and policies of the General Plan. It is the City’s policy to plan for new development and/or reinvestment efforts through the Specific Plan process.

The Specific Plans establish detailed policies and implementation programs for portions of the City, consistent with the goals and policies established in the General Plan. Specific Plan land use designations are reflected on the General Plan Land Use Map, although Specific Plans may also use new land use categories that are more specific or tailored to a particular situation. The City’s Specific Plans are consistent with, and are hereby incorporated by this reference, as a component of the Land Use Element of the General Plan. Copies of all of the City’s Specific Plans may be obtained through the Development Services Department in the Civic Center at 311 Vernon Street or online at: [www.roseville.ca.us](http://www.roseville.ca.us).

## LAND USE DESIGNATIONS

The City’s land use designations define allowable land use, and serve as a guide for zoning, Specific Plans, and other land use regulations. Each land use designation has density and intensity guidelines (Table II-3 and II-4), which are used for planning of facilities (e.g. roadway, utilities, schools, parks, etc.) that support the various land uses, as directed by goals and policies in other Elements. The Land Use Map (Figure II-2) illustrates the location of the City’s land use designations. The City’s land use designations include:

## **Residential**

- Low-Density Residential (0.5 – 6.9 Dwelling Units/Acre)
- Medium-Density Residential (7.0 – 12.9 Dwelling Units/Acre)
- High-Density Residential (13.0 Dwelling Units/Acre or greater)

## **Commercial**

- Neighborhood Commercial
- Community Commercial
- Regional Commercial

## **Office**

- Business Professional

## **Industrial**

- Light Industrial
- Tech/Business Park
- General Industrial
- Transfer Station

## **Special Areas**

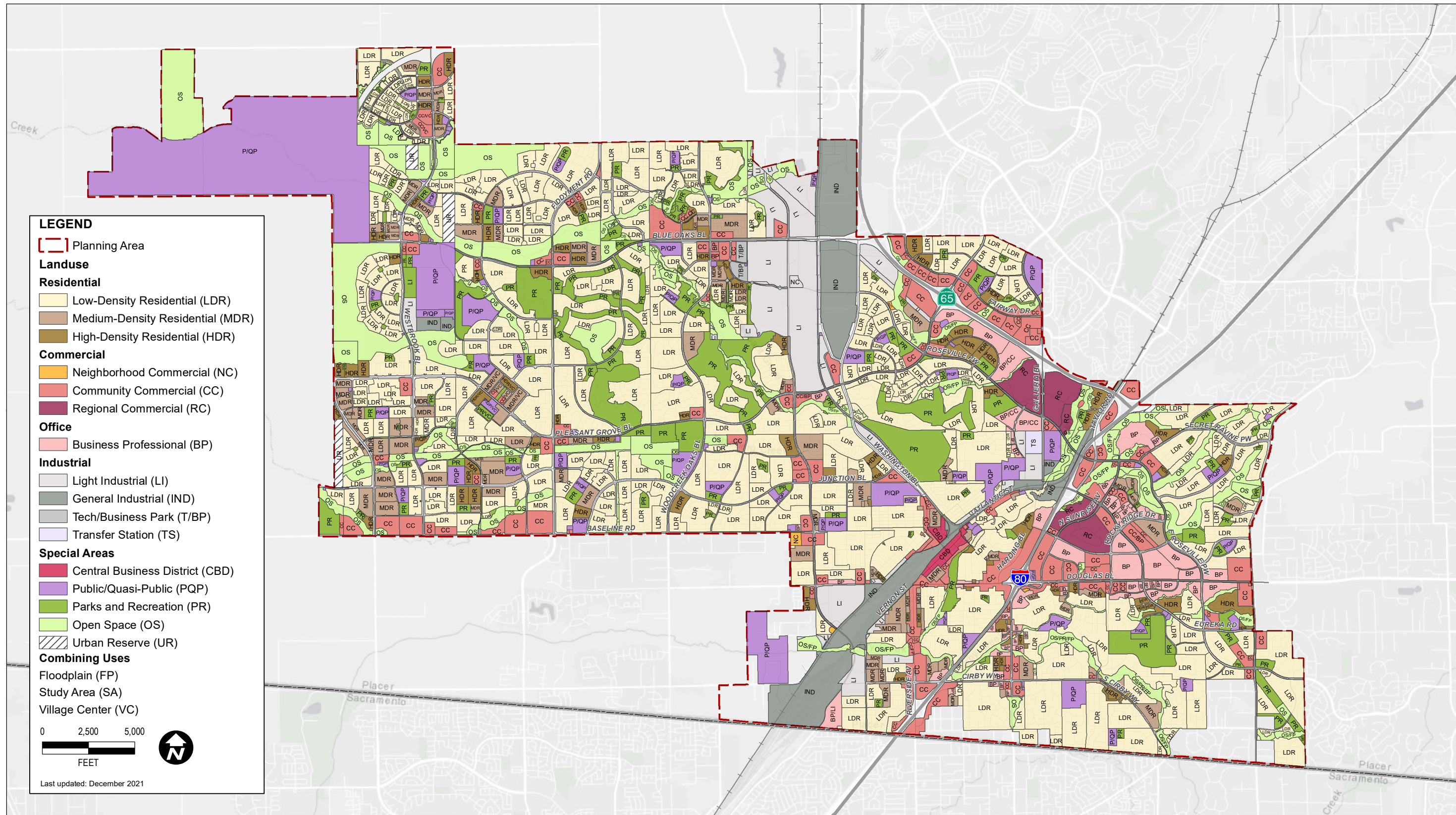
- Central Business District
- Public/Quasi-Public
- Parks and Recreation
- Open Space
- Urban Reserve

## **Combining Designations**

- Floodplain
- Study Area
- Village Center



Figure II-2 | Land Use Map



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Compared to zoning, the City's land use designations define allowable land use broadly, in part to provide the flexibility necessary to achieve the General Plan's policies related to pedestrian orientation and convenience and facilitate mixed-use, infill development. For example, in addition to primary uses, there are permitted secondary uses associated with each land use designation that allow for a more diverse land use mix. The Zoning Ordinance, Specific Plans, and Community Design Guidelines provide more specific standards to ensure compatibility among adjacent land uses. The extent of the secondary uses permitted and conditions related to their use will be as specified in the overlying zoning, Specific Plan, and/or other master plan.

Typically, a single land use designation is applied to a given area. However, to promote mixed-use development, the City may use two or more designations for certain areas that include complementary land uses. Because the Land Use Map provides a guide for future development, it is possible that more than one zoning district may be consistent with any one land use designation.



*The City's land use designations define allowable land use broadly, in part to provide the flexibility necessary to achieve the General Plan's policies related to pedestrian orientation and convenience and facilitate mixed-use, infill development.*

## **Use Types, Density, Intensity, and Compatibility**

Land use designations contain development guidelines to be applied to each use. These include density guidelines for residential uses, intensity guidelines for non-residential uses, and, where appropriate, land use compatibility guidelines. Tables II-1 and II-2 summarize density and intensity guidelines. Tables II-3 through II-8 describe the purpose, allowable uses, and development guidelines for land use designations. Table II-9 is a compatibility matrix for all land use designations. Table II-10 illustrates the relationship between land use designations and implementing zoning districts.

**Table II-1 | Residential Land Use Characteristics**

Land Use Category	Dwelling Units Per Acre	Estimated Population Per Gross Acre <sup>1</sup>
Low-Density Residential	0.5 TO 6.9	1.45-20.01
Medium-Density Residential	7.0 TO 12.9	20.3-37.41
High-Density Residential	13.0 +	27.3+

<sup>1</sup> Assumes 2.1 persons per multi-family unit and 2.9 persons per single-family unit based on the American Community Survey (2013 - 2017). The estimated population per gross acre is only an estimate and does not represent City policy.

**Table II-2 | Non-Residential Land Use Characteristics**

Land Use Category	Floor Area Ratio*	Typical Acreage	Typical Square Footage
Neighborhood Commercial	20% TO 40%	Less than 5	< 50,000
Community Commercial	20% TO 40%	5 to 25	50,000 TO 250,000
Regional Commercial	20% TO 40%	>25	>250,000
Business Professional	20% TO 40%	Varies	Varies
Light Industrial	20% TO 50%	Varies	Varies
Tech/Business Park	20% TO 50%	Varies	Varies
General Industrial	20% TO 50%	Varies	Varies
Transfer Station	Varies	Varies	Varies
Central Business District	Up to 300%	Varies	Varies
Public/Quasi-Public	Varies	Varies	Varies

\* Floor Area Ratios (FARs) are intended as guidelines and not as absolute restriction

## RESIDENTIAL LAND USES

The residential designations include areas designated for a broad array of housing types with different densities. Each residential designation includes a purpose statement, primary and secondary uses, and development guidelines for each designation.

The Low-, Medium-, and High-Density land use designations are based on the number of allowable dwelling units per gross developable acre. A gross developable acre is defined as the land designated as residential use excluding overhead power lines and their easements, areas within the designated 100-year floodplain, and for the Low- and Medium-Density land use designations, any right-of-way and landscape corridors associated with collector and arterial roadways.

Each residential land use designation is indicated on the Land Use Map as an abbreviation (e.g., LDR) and will be followed by a number, indicating the number of dwelling units per gross developable area (e.g., LDR-6.0). Roseville generally uses the Specific Plan or master planning process to establish land use designations. Minimum and maximum densities for each residential land use designation are included within the development guidelines listed for each designation.

Each residential designation includes both primary and secondary land uses. As expected, the primary land uses are residential in each of these designations, but also include public parks, resource preservation and open space areas, and landscape corridors and other public utility easements. Secondary uses include those uses such as schools, places of worship, private recreation, limited office, and childcare facilities – uses that are normally associated with residential areas and are of such a limited size that a separate or distinct land use designation (e.g., public facility or commercial) is not always warranted.



Table II-3 outlines the purpose, allowable uses, and development guidelines for the residential land designations.

## NON-RESIDENTIAL LAND USES

The non-residential designations include areas designated for commercial, office, industrial uses, special areas, and combining districts. Like the residential designations, each non-residential designation includes a purpose statement, primary and secondary uses, and development guidelines for each designation.

Intensity development guidelines for non-residential development are expressed as floor area ratios (FARs). This is a ratio of the total floor area (including all floors and not just the “footprint” of a building) divided by the total lot or parcel area. The City expresses this ratio as a percentage. Typical commercial FARs range from 20 to 50 percent, but may be as high as 300 percent (i.e. a three-story building covering 100 percent of the lot area) in locations such as downtown Roseville.

Intensity and compatibility guidelines for the commercial, office, and industrial land use designations are guidelines and not absolute restrictions. Factors such as General Plan policies, intensity of use, anticipated traffic levels, and availability of public facilities and infrastructure will be assessed as part of the development review or Specific Plan process to determine the appropriate level of floor area to land area ratio.

Unlike the specific secondary uses listed in the residential designations, which are intended to be subordinate and may be permitted only to support neighborhood convenience, the relationship of secondary uses in non-residential areas differ. It is the intention of the non-residential land use designations to permit secondary land uses that support and complement primary uses. These secondary land uses do not need to be subordinate. The size of these areas would typically be limited and would, therefore, not warrant a separate land use designation for the secondary land use. Tables II-4, II-5, and II-6 outline the purpose, allowable uses, and development guidelines for the non-residential land designations.

## SPECIAL LAND USE DESIGNATIONS

In addition to the residential, commercial, office, and industrial land use designations, the City has also established Special Land Use Designations for Central Business Districts, Parks and Recreation, Open Space, public uses, and Urban Reserve Areas. Table II-7 outlines the purpose, allowable uses, and development guidelines for the Special Land Use Designations.

## COMBINING DESIGNATIONS

These designations are only applied in combination with another land use designation and modify the uses and development guidelines of that designation. Table II-8 outlines the purpose, allowable uses, and development guidelines for the Special Land Use Designations.

Table II-3 | Residential Land Use Designations

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Low-Density Residential (LDR)</b>	Applies to lands where single-family dwelling units, which comprise the majority of Roseville’s housing supply, are located. Assigned to lands with the flexibility to accommodate development constraints (e.g., slopes, trees, etc.). Typically, low-density residential lands should require minimal grading or disturbance of natural features. Avoidance of land use limitations (topography, vegetation, easements, etc.) can be achieved by designing larger or smaller lots or by clustering and attaching units.	Attached and detached single-family residences, public parks, resource preservation and open space areas, landscape corridors, and other public utility easements.	Secondary uses include accessory dwelling units, public and private schools, religious assembly, private recreation, and limited office, commercial childcare facilities, and neighborhood retail and services.	0.5 to 6.9 dwelling units per gross developable acre.  Lot sizes average 6,000 to 7,500 square feet but may be larger or smaller.
<b>Medium-Density Residential (MDR)</b>	Applies to lands characterized by small-lot single-family detached dwelling units and attached patio homes, halfplexes, duplexes, townhouses, condominiums, and mobile home parks. Should accommodate a variety of housing types and designs. Often located as a transition between higher-intensity land uses and low-density residential uses.	Attached and detached single-family, halfplexes, duplexes and multi-family residences; and public parks, resource preservation and open space areas, landscape corridors and other public utility easements.	Secondary uses include accessory dwelling units, public and private schools, religious assembly, private recreation, and limited office, commercial childcare facilities, and neighborhood retail and services.	7.0 to 12.9 dwelling units per gross developable acre.
<b>High-Density Residential (HDR)</b>	Provides for apartments or condominiums with multiple-story structures containing multiple attached dwelling units. The broad range of densities in this category will yield a variety of design options. May be combined with commercial uses to form a mixed-use development where higher densities could be desirable and beneficial.	Multiple-family dwellings in attached units and public parks, resource preservation and open space areas, landscape corridors, and other public utility easements.	Secondary uses include public and private schools, religious assembly, private recreation, and limited office, commercial childcare facilities, and neighborhood retail and services.	13.0 and above dwelling units per gross developable acre.  Should be applied to lands adjacent to bicycle and transit corridors, and in close proximity to services.



Table II-4 | Non-Residential Land Use Designations: Commercial

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Neighborhood Commercial (NC)</b>	Provides basic commercial retail and services for the convenience of surrounding neighborhoods within walking distance of major residential areas.	A limited range of goods and services intended for the convenience of the residents in the immediate neighborhood and compatible with adjacent land uses.	Medical offices, veterinary clinics, other professional offices and commercial child care facilities.	Goods and services may be provided in stand-alone buildings or in small centers, typically on parcels less than five (5) acres in size with a floor area ratio between 20% and 40%. Developments will have a pedestrian scale and orientation and provide convenient pedestrian and bicycle access to reduce the need for an automobile trip. Should be adjacent to collector and/or arterial streets, and residential neighborhoods.
<b>Community Commercial (CC)</b>	Provides a broader range of goods and services to an expanded service area.	Retail stores and businesses selling a full range of goods and services including auto sales and repair, and commercial child care facilities.	Professional offices uses, including medical offices and clinics.	Due to the larger service area, the acreages are larger than in the neighborhood commercial land use category. Typically, the acreages range from 5 to 25 acres, the square footage ranges from 50,000 to 250,000 square feet, and the floor area ratio ranges from 20% to 40%. Should be located at intersections of, or adjacent to arterials.
<b>Regional Commercial (RC)</b>	Accommodates the larger shopping centers and commercial activities where uses provide goods and services to a citywide and regional service area.	Major department and discount stores, auto malls, hotels and motels, and commercial recreation or entertainment.	Office and financial institutions.	Typically, Regional Commercial developments would encompass more than 25 acres. Should be located adjacent to and with immediate access to major transit linkages, arterials, regional roadways, and highways. Sites should possess good automobile and truck access. Shopping centers in the regional commercial land use would typically exceed 250,000 square feet with a floor area ratio between 20% and 40%.

Table II-5 | Non-Residential Land Use Designations: Office

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Business Professional (BP)</b>	Provides areas for small and large office uses, including uses supportive of offices.	Administrative, professional, government, and medical offices, and research and development (not including any manufacturing or assembly). Hospitals, clinics, and general medical may also be permitted.	Limited service commercial uses (e.g., banks, restaurants, commercial day care centers, travel agencies, florists, etc.) are encouraged where they would minimize the need for vehicle travel for convenience trips but only as secondary uses in proximity to large office parks and complexes. In association with clinics and hospitals, general medical, pharmacies and other medical related retail may be permitted.	Offices developed in stand-alone buildings or in a business park or campus setting. The business professional land use designation may be applied to lands that are adjacent to regional and community commercial designated lands. May also be used as a buffer between residential areas and arterials, community commercial, and light industrial. Floor area ratios should range between 20% and 40%.

Table II-6 | Non-Residential Land Use Designations: Industrial

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Light Industrial (LI)</b>	Applies to lands reserved for office, industrial, and research and development uses that generate very limited noise, vibration, odor, dust, smoke, light, or other pollutants, and are either integrated or compatible with surrounding uses.	Research and development (which may include manufacturing and assembly), electronics assembly, warehousing, intensive commercial uses (e.g., auto body repair, landscaping material sales, retail and wholesale lumberyards), and associated administrative offices.	Limited service commercial uses (e.g., banks, restaurants, commercial day care centers, travel agencies, florist, etc.) are encouraged where they would minimize the need for vehicle travel for convenience trips, but only as secondary uses. Service uses with large space requirements, such as health clubs, religious assembly, dance and gymnastic studios, and off-peak public assembly uses may also be permitted.	Floor area ratios range from 20% to 50%. Should be located adjacent to major roadways with convenient truck access to accommodate the needs of the businesses that require this land use.



Table II-6 | Non-Residential Land Use Designations: Industrial (Cont.)

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Tech/Business Park (T/BP)</b>	A variant of the LI designation and is envisioned as more of a campus type use. The land use designation provides for a mix of uses that are compatible with and act as a transition between the light industrial use types and commercial and residential uses.	Allowed use types include professional offices, light manufacturing, research services, and light wholesale and distribution.	Limited service commercial uses (e.g., banks, restaurants, commercial day care centers, travel agencies, florist, etc.) are encouraged where they would minimize the need for vehicle travel for convenience trips but only as secondary uses. Service uses with large space requirements such as health clubs, religious assembly, dance and gymnastic studios, and off-peak public assembly uses may also be permitted.	Floor area ratios range from 20% to 50%.
<b>General Industrial (IND)</b>	Provides areas for industrial uses that tend to generate noise, vibration, odor, dust, smoke, light, and an aesthetic appearance not compatible with residential and other sensitive receptors. The intent of this category is to provide a place for industrial uses within the City that is properly buffered from other uses.	A wide range of activities, including manufacturing, wholesale distribution, large storage areas and other industrial uses, are permitted.	Incidental retail and service commercial uses associated with large employment areas and industrial parks.	Areas developed under this designation should be located with direct access to a major or minor arterial or both, freeways, or rail lines. Floor area ratios range from 20% to 50%.

Table II-6 | Non-Residential Land Use Designations: Industrial (Cont.)

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<p><b>Transfer Station (TS)</b></p>	<p>Reserves and protects industrial areas that may be suitable for a solid waste transfer station.</p>	<p>Intermediate waste handling facilities where solid waste is transferred from hauling vehicles to a transfer vehicle where the waste or portion thereof undergoes processing, recycling, or further handling before transport to a disposal site, waste processing facility, or other facility.</p>	<p>None.</p>	<p>Only be applied where all of the following is satisfied:</p> <ul style="list-style-type: none"> <li>• All adjacent land use designations are General Industrial or Light Industrial;</li> <li>• All areas within 200 feet of the transfer station facility property shall be zoned such that the transfer station facility use is protected from incompatible adjacent uses;</li> <li>• The area has access from major arterials capable of providing access for transfer vehicles and the public; and</li> <li>• The use of the area as a transfer station facility is consistent with the existing or planned character of the area.</li> </ul> <p>Transfer stations shall be designed and maintained to, at a minimum, include enclosed processing areas, paved access, fenced and screened storage areas for recycled goods, dust mitigation, and be in compliance with other City, county, state, and federal standards.</p>



Table II-7 | Special Land Use Designations

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Central Business District (CBD)</b>	Accommodates significantly greater intensities and traditional mixed retail, office, and apartment uses. Limited in its application to Downtown Roseville but may be applied to areas of greater urban intensity.	A mix of retail and office uses, including municipal offices, public assembly, theaters, and restaurants.	Medium-density and high-density residential uses.	Floor area ratios may be as high as 300% (three times the site area).
<b>Park and Recreation (P/R)</b>	Accommodates public parks and public and private recreation facilities.	Public park and recreation facilities, including ball diamonds and fields, golf courses, pools, bike trails and community buildings; and private recreation uses when they include outdoor facilities, such as golf course, tennis courts, and similar uses.	Libraries, child/elder care facilities, resource mitigation, and drainage detention.	For public recreation, the Parks and Recreation Element contains policies and standards that establish locational criteria, acreage requirements, and the types of improvements planned for each of the City parks.
<b>Open Space (OS)</b>	Preserves and protects public and private lands that are significant due to wildlife habitat, natural features, or flood hazard. Within new development areas, the 100-year floodplain will be designated as Open Space. Sensitive or unique natural features, including, but not limited to, wetlands, vernal pools, and oak woodlands are also to be designated as Open Space as part of specific plans and other major development review processes.	Preserved natural lands, passive recreation and minor recreation facilities (picnic tables, restrooms), walking and bike trails, and resource interpretive facilities.	Resource mitigation and drainage detention.	All permitted uses shall be compatible with the preservation and protection of open space values (habitat and visual) and shall comply with the policies and standards contained in the Open Space and Conservation Element.
<b>Public/Quasi-Public (P/QP)</b>	Establishes areas for education, religious assembly, governmental offices, municipal corporation yards, and water treatment plants.	Municipal, governmental or public facilities, places of worship, and related uses.	None.	This land use designation shall apply to all municipal facilities and may also be applied to quasi-public facilities where the size of such facilities warrants an individual land use designation.

**Table II-7 | Special Land Use Designations (Cont.)**

Designation	Purpose	Primary Uses	Secondary Uses	Development Guidelines
<b>Urban Reserve (UR)</b>	Applies to those lands that are anticipated to receive urban land entitlements, but at the present time, are constrained by growth management policies, availability of services or other limitations.	Agriculture, open space, passive recreation and resource protection.	Caretakers' residence.	A caretaker's residence may be established at a density of 1 unit per 300 acres. Prior to the allocation of any urban land use entitlements, the applicable constraints must be resolved, consistent with the policies contained in the Growth Management component of this Element.

**Table II-8 | Combining Designations**

Designation	Purpose	Permitted Uses and Guidelines
<b>Floodplain (FP)</b>	Identifies lands that are within the regulatory floodplain boundaries as defined in the Safety Element. Development is strictly regulated by the City. In areas with existing development, the floodplain designation is an overlay or a combining land use. As part of a specific plan, the land use designation may be combined with an open space or parks designation, if found consistent with the policies of the Safety Element.	Uses are limited to those that minimize flooding impacts on upstream and downstream areas and are consistent with both the policies of the Safety Element and the underlying land use designation.
<b>Study Area (SA)</b>	Identifies future General Plan or neighborhood study areas. This combining designation may be applied to any area, in which the City believes that additional land use analysis and amendment of the General Plan may be desirable to resolve specific neighborhood or land use issues.	Concurrent with a Land Use Map amendment to apply this combining designation, the City shall also adopt an ordinance regulating interim land use development. Such regulations shall relate to the land use issue that requires such regulations and shall include an expiration date.
<b>Village Center (VC)</b>	Allows for a mix and density of land uses common to a traditional downtown, urban setting. Allows for flexibility and deviation from the development guidelines and permitted uses contained in the primary land use designation for which it is combined.	Use of this combining designation requires comprehensive land use planning through approval of a Specific Plan. The permitted uses, development guidelines, and extent of deviation are to be defined in the Specific Plan.



Table II-9 | Compatibility of Adjacent Land Use Designations as Applied on the General Plan Land Use Map

	LDR	MDR	HDR	NC	CC	RC	BP	LI	IND	T/BP	CBD	P/QP	P/R	OS	UR	VC
LDR	Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
MDR	Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
HDR	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
NC	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
CC	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
RC	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
BP	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
LI	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
IND	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
T/BP	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
CBD	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
P/QP	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
P/R	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible
OS	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible	Conditionally Compatible
UR	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible	Conditionally Compatible
VC	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Conditionally Compatible	Compatible

Compatible  
 Conditionally Compatible  
 Not Compatible

- BP = Business Professional
- CBD = Central Business District
- CC = Community Commercial
- HDR = High Density Residential
- IND = General Industrial
- LDR = Low Density Residential
- LI = Light Industrial
- MDR = Medium Density Residential
- NC = Neighborhood Commercial
- OS = Open Space
- P/QP = Public/Quasi Public
- P/R = Park and Recreation
- RC = Regional Commercial
- T/BP = Tech/Business Park
- UR = Urban Reserve
- VC = Village Center

Note: for purposes of this table, "adjacent" includes land uses separated by collectors and local streets but does not include land uses separated by major arterials or highways or by a buffer greater than 50 feet defined as open space, parks, paseos, or landscape setbacks, provided the adjacent use is not heavy industrial or manufacturing.

**Table II-10 | Land Use Designations, Special Areas, and Combining Designations and Implementing Zones**

<b>LAND USE DESIGNATION</b>	<b>IMPLEMENTING ZONES</b>
Low-Density Residential (LDR)	R1, R2, RS, RMU, PD
Medium-Density Residential (MDR)	R2, R3, RS, RMU, PD
High-Density Residential (HDR)	R3, RM, PD
Neighborhood Commercial (NC)	NC, PD
Community Commercial (CC)	NC, CC, PD, GC, HC, CMU
Regional Commercial (RC)	CC, RC, GC, PD
Business Professional (BP)	BP, PD
Light Industrial (LI)	M1, MP, MMU, PD, CMU
General Industrial (IND)	M1, M2, MMU, MP, PD, CMU
Central Business District (CBD)	HD, CBD, R3, RMU, P/QP, CMU, BP, NC, PR, OS, PD
Public/Quasi-Public (P/QP)	P/QP, PR, OS, UR, PD
Parks and Recreation (P/R)	PR, P/QP, OS, UR
Open Space (OS)	OS, P/QP, PR, UR
Urban Reserve (UR)	OS, P/QP, PD, UR, PR
Tech/Business Park (T/BP)	BP, MMU, CMU, MP, M1
Village Center (VC)	R1, R2, R3, RS, CC, CMU, PD, NC

Note: Land use designation implementation is not necessarily limited to these zones, especially when combined with an RS or PD zone. Additional zones may be consistent for transitional or interim land uses consistent with General Plan policies. Mixed land use designations may require a variety of land use designations, overlay and/or a PD zone.

#### Implementing Zones Legend

BP = Business Professional; CBD = Central Business District; CC = Community Commercial; CMU = Commercial Mixed Use; GC = General Commercial; HC = Highway Commercial; HD = Old Town Historic District; M1 = Light Industrial; M2 = General Industrial; MMU = Industrial Mixed Use; MP = Industrial/Business Park; NC = Neighborhood Commercial; OS = Open Space; P/QP = Public/Quasi-Public; PD = Planned Development; PR = Park and Recreation; R1 = Single-Family Residential; R2 = Two-Family Residential; R3 = Multi-Family Housing; RC = Regional Commercial; RMU = Residential Mixed Use; RS = Small Lot Residential; UR = Urban Reserve.



## DEVELOPMENT FORECAST

The City can influence the pace of development and the number of dwelling units, building square footage, jobs, population, and other characteristics of development through General Plan policy and implementing actions. The pace and nature of buildout of the General Plan is also dependent on factors outside of the City's control, including, but not limited to:

- Global, national, state, and regional economic conditions
- Federal budget and regulatory actions
- State budget allocations, relevant policy direction, and regulatory actions
- Perceptions about the quality of life in the region
- Housing costs, demographic trends, and community character
- Job and educational opportunities
- Infrastructure, resource, and land availability and cost

While it is difficult to accurately predict the amount and pace of long-term development, it is important for long-range plans to provide such estimates. The location, timing, and financing for infrastructure and public facilities depend on these forecasts. They also allow communities to assess land availability for different housing types and inform updates to plans that are needed as demand and capacity for different housing types change over time. Estimates of development capacity also allow the City to assess whether it can accommodate existing and future needs for non-residential development.<sup>2</sup> Development forecasts are used in the City's environmental impact analysis and inform mitigation measures that are needed to reduce or avoid such impacts.

With buildout of the General Plan, the City is estimated to have a total population of approximately 198,000, with approximately 75,200 dwelling units, 60 million square feet of non-residential building square footage, and between 120,000 and 150,000 local jobs (Table II-11).

The estimates of future population, housing units, local jobs, and square footage of development are not City policy. These assumptions are derived strictly for the purposes of analysis. The General Plan does not specify a maximum growth rate. Certain areas designated for urban use may or may not be developed between the present and 2035. Some areas may be developed at the upper end of the density ranges, while other areas may develop at the lower end. It is likely that, over time, the underlying factors driving these development forecasts will change. The City may update land use change assumptions from time to time, either in the context of a General Plan amendment or update, or as a separate exercise for planning purposes.

The City may also update the General Plan, Specific Plans, or implementing documents for policy purposes based, in part, on development forecasts and changes to these development forecasts in the future. For example, the Land Use Element contains policies that are intended to promote a beneficial jobs/housing balance. The right balance is related to the number of residents that commute, the transportation mode used for that commute, and the commute distance and time required. The relationship between jobs and housing affects and is affected by local employment opportunities, household incomes, housing prices, and non-residential lease rates and land costs. The City could

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<sup>2</sup> This includes an assessment of the capacity for both "basic" and "non-basic" activities and services. While there is some overlap, in general, basic activities serve an export market, and are the driver of economic growth, while non-basic activities serve the local market.

consider plan amendments to the General Plan or Specific Plans to ensure an adequate supply of land for housing and economic development purposes.

**Table II-11 | Existing and Future Development**

<b>Development Factor</b>	<b>2016</b>	<b>2035</b>
<b>Dwelling Units</b>	52,900	75,200
<b>Population</b>	135,800	198,000
<b>Non-Residential Square Footage</b>	33,000,000	60,000,000
<b>Jobs</b>	82,000	120,000 to 150,000
<b>Jobs to Dwelling Units</b>	1.55	1.6 to 2

Notes: The population estimate assumes 2.1 persons per multi-family unit and 2.9 persons per single-family unit based on the American Community Survey (2013 - 2017), 1.8 persons per household for age-restricted dwelling units based on the 2010 Census, and 350 square feet for each resident for congregate care/assisted living facilities. The 2016 jobs estimate is from the Sacramento Area Council of Governments (SACOG) 2020 Metropolitan Transportation Plan/Sustainable Communities Strategy Appendix C – Land Use Forecast. The future non-residential square footage was estimated by the City of Roseville in 2019 and does not include square footage devoted to fairgrounds, schools, or structures within golf courses, parks, or cemeteries. The estimate for local jobs in 2035 is derived using existing jobs-to-housing, jobs-to-population, and employment per square footage ratios applied to 2035 estimates for dwelling units, population, and non-residential square footage.

Achieving the City’s planning objectives requires more than the right ratio between housing and local jobs. This is not just a mathematical exercise, but rather, requires both a quantitative and qualitative analysis of commute behavior, employment opportunities by occupation and wage, housing need and income type, and the rate of both job and housing growth in a regional context. Similarly, while the relationship between jobs and housing is important to monitor, Roseville also strives to be a complete community with neighborhoods and districts that offer a diverse array of housing, commercial and public services, recreational and cultural opportunities, and multiple transportation options to reach daily destinations.



## COMMUNITY FORM

The Community Form component is intended to go a step beyond the identification of land uses and the rules and regulations for their development. Goals and policies related to community form address the physical characteristics that lend shape, appearance, and identity to a community. A community's character is tied to expressions of familiar physical characteristics - landmarks, streets, buildings, parks, and natural features that create a unique identity. Roseville's policies are intended to influence the shape, form, and appearance of both new development and reinvestment in existing districts and neighborhoods, so that development appropriately reflects the vision and goals of residents and decision makers.

Community form has been the focus of regional long-range planning efforts, particularly since the adoption of the Sacramento Region Blueprint by the Sacramento Area Council of Governments (SACOG) Board of Directors in 2004. The Blueprint Principles focus on high-quality design for compact development that provides walkable communities; compact development that helps preserve open space, allow multi-modal transportation access, and facilitate more efficient infrastructure provision; reinvestment to allow better use of existing infrastructure; mixed-use development that provides for more vibrant neighborhoods; and open space that is incorporated into development and conserved on the fringes of the developed region for agriculture and habitat. These Blueprint Principles are broad and are expected to be applied differently in different parts of the Sacramento region. In 2005, the City went through a process to identify how these Principles, including the following Roseville Blueprint Implementation Strategies, which are embodied in the Community Form and Community Design components of this Element, should be applied locally.<sup>3</sup>

- **Transportation Choices:** Provide a variety of transportation choices. Development should be designed to encourage people to walk, ride bicycles, ride the bus, ride transit and heavy rail, or carpool. Land use concepts are intended to encourage the use of these modes of travel and reduce congestion.
- **Mixed Land Use:** Provide a variety of services in proximity to residential uses to reduce the reliance on automobile travel and give residents transit options... A mix of land uses can be provided within the same building and/or project. There are many examples of this type of development: housing near employment centers; a building with ground-floor retail with housing such as apartments or condominiums above; etc.
- **Compact Development:** Take advantage of compact building design. Creating environments that are more compactly built and that use space in an efficient but aesthetic manner can encourage more walking, biking, and public transit use, and shorten auto trips.
- **Housing Choices:** Create a range of housing opportunities and choices. Providing a variety of places where people can live such as apartments, condominiums, townhouses, and single-family detached homes on varying lot sizes is important in serving all aspects of the community including families, singles, seniors, and people with special needs. This issue is of special concern for residents with very low-, low-, and moderate-incomes (often our teachers, entry-level public safety personnel, and other public employees and professionals) as well as retail employees, service workers, and others for whom finding housing close to work is challenging, especially as land values increase. By providing a mix of housing options, residents will have more choices.
- **Use Existing Assets:** Use of existing assets to strengthen and direct development toward existing development areas. Ongoing public and private investment in the Downtown and historic core is critical to maintaining and enhancing the economic vitality of Roseville. Development of infill or vacant lands, intensification of underutilized parcels, or redevelopment can make better use of existing public

<sup>3</sup> Please see *Smart Choices for Roseville's Future: Implementation Strategies to Achieve Blueprint Project Objectives* (May 2005) for more details.

infrastructure. This can include rehabilitation and reuse of buildings, introduction of mixed-use opportunities, and joint use of existing public facilities, such as parking garages.

- **Natural Resource Conservation:** Natural resource conservation of open space and agricultural land. Encourage the incorporation of public-use open space (such as parks, town squares, trails, greenbelts, paseos, and preserves) within development projects and protect wildlife and plant habitat through open space preservation, agricultural preservation, and promotion of environment-friendly practices, such as energy efficient design, water conservation, and stormwater management. In addition to conserving resources and protecting species, natural resource conservation improves the overall quality of life by providing places for everyone to enjoy the outdoors with family outings and by creating a sense of open space throughout the community.
- **Quality Design:** Foster distinctive, attractive communities with a strong sense of place and use land efficiently. The design details of any land use development, such as the relationship to the street, setbacks, placement of garages, sidewalks, landscaping, the aesthetics of building design, and the design of the public right-of-way (sidewalks, connected streets and paths, bike lanes, and the width of streets), are all factors that can influence the attractiveness of living in a compact development. Design also facilitates the ease of walking and biking to work or neighborhood services. Good site and architectural design are important factors in creating a sense of community and a sense of place.

The Community Form component addresses the following topics:

- **General** policies that identify the desired quality of design and public services, along with the connectedness of all neighborhoods and commercial districts of the City.
- **Development Patterns, Transportation, and Air Quality/Greenhouse Gas Emissions** provide guidance for land use patterns that allow residents a range of viable transportation options, including walking, bicycling, transit, and vehicular travel.
- **Downtown and Neighborhoods** indicates the City’s priority in retaining, enhancing, and preserving its historic business district and existing neighborhoods and the development of new areas that provide neighborhood services.
- **Relationship of New Development** emphasizes the importance of ensuring that the forms of new development cohere with those of the existing community, and that all portions of the City are linked and compatible with one another.
- **Jobs/Housing and Economic Development** establishes policies that support the fiscal viability of the City, focusing on jobs and housing for residents and a prosperous business climate.
- **Community Involvement and Inter-jurisdictional Cooperation** addresses the need for community and regional involvement on major development applications, City studies, and regional issues such as air quality, solid waste and transportation. Community involvement will be broad and inclusive and continue to engage the Roseville Coalition of Neighborhood Associations.

## GOALS AND POLICIES

### COMMUNITY FORM: GENERAL

- Goal LU1**      **Define Roseville’s overall identity and character by the following attributes:**
- Distinction from other communities through the quality of development and the high level of services provided to citizens.**



- b. **A commitment to preserving its small-town attributes and cultural heritage and a dedication to promoting a strong sense of community, while preserving individual neighborhoods and promoting a prosperous business community.**
- c. **Continuing to be a family-oriented community that offers opportunities to pursue various lifestyles.**
- d. **Residential development that includes clusters of high to low densities balanced with large expanses of open space.**
- e. **Ensuring high standards of public safety.**

- Policy LU1.1** *Ensure high-quality development in new and existing development areas, as defined through specific plans, the development review process, and the Community Design Guidelines.*
- Policy LU1.2** *Through both public and private efforts, develop clearly defined entries at major entrances into the City through the use of open space, landscaping, signage, and other distinctive elements as a way of defining the City's boundaries and identity.*
- Policy LU1.3** *Continue to provide a full range of public services and maintain high levels of service for public facilities, services, transportation, open space, and parks and recreation.*
- Policy LU1.4** *Promote a diversity of residential living options (e.g. density ranges, housing types, affordability ranges), while ensuring community compatibility and well-designed residential development.*
- Policy LU1.5** *Promote land use patterns that result in the efficient use of urban lands and preservation of open space, as specified in the Open Space and Conservation Element.*
- Policy LU1.6** *Through development approvals and City programs (e.g., revitalization, Capital Improvement Program, parks and recreation programs, etc.), ensure that all portions of the community are linked and integrated.*
- Policy LU1.7** *Promote land use patterns that result in the dispersion of secondary or satellite services including libraries, schools, parks, public meeting places, and commercial uses throughout the community through the establishment of neighborhood centers.*

## COMMUNITY FORM: DEVELOPMENT PATTERNS, TRANSPORTATION, AND AIR QUALITY/GREENHOUSE GAS EMISSIONS

### Goal LU2 **Achieve a community form that supports convenient and safe pedestrian, bicycle, and transit access.**

- Policy LU2.1** *Promote development patterns that support a variety of transportation modes and accommodate pedestrian mobility.*
- Policy LU2.2** *Allow mixed-use development that integrates residential and non-residential land uses, so that residents may easily walk or bike to shopping, services, employment, and leisure activities.*

- Policy LU2.3** *Concentrate higher-intensity uses and appropriate support uses in Pedestrian Districts and within close proximity of transit and bikeway corridors, as identified in the Transit Master Plans and Bicycle Master Plan. Public uses, such as parks, plazas, public buildings, community centers, schools, and/or libraries, should be easily accessible to the public.*
- Policy LU2.4** *Promote and encourage the location of employee services, such as child care, restaurants, banking facilities, convenience markets, and other daily needs within major employment centers for the purpose of reducing mid-day vehicle trips.*
- Policy LU2.5** *Where feasible, improve existing developed areas to create better pedestrian, bicycle, and transit accessibility.*
- Policy LU2.6** *Require proposed neighborhood-serving uses (e.g. neighborhood commercial uses, day care, parks, schools, and other community facilities and services) to be physically linked with adjacent residential neighborhoods through multi-modal transportation connections.*

**COMMUNITY FORM: DOWNTOWN AND REVITALIZATION**

**Goal LU3.1** **In partnership with private interests, the City of Roseville will continue to promote a vibrant town center offering government services, social and cultural activities, and commercial opportunities in Downtown Roseville. Roseville will also encourage the creation of additional social, cultural and commercial satellite opportunities throughout the community.**

**Goal LU3.2** **Through the designation of special study areas and revitalization efforts, the City of Roseville will preserve, revitalize, and enhance its business districts, existing neighborhoods, and mixed-use corridors.**

- Policy LU3.1** *Create and maintain a strong and identifiable Downtown that offers the surrounding community a cluster of municipal offices and services, commercial, retail, and office uses, higher education opportunities, and higher-density residential uses, consistent with the Downtown Specific Plan.*
- Policy LU3.2** *Facilitate population and economic growth in areas having the potential for revitalization*
- Policy LU3.3** *Direct resources to facilitate revitalization of Downtown, neighborhoods in the Infill Area, and mixed-use corridors.*
- Policy LU3.4** *Encourage infill development and reinvestment that:*
  - *Upgrades the quality and enhances the character of existing areas;*
  - *Enhances the mix of land uses in proximity to one another so that more households can access services, recreation, and jobs without the use of a car;*
  - *Facilitates pedestrian activity and public transit use;*
  - *Efficiently utilizes and does not overburden existing services and infrastructure; and*



- *Results in land use patterns and densities that provide the opportunity for the construction of a variety of housing types that are affordable to all income groups.*

**Policy LU3.5** *Promote active citizen involvement in defining, maintaining, and improving the character and identity of existing neighborhoods, including consideration of cultural and artistic enhancements.*

**Policy LU3.6** *Support the maintenance and rehabilitation of existing residential units within established neighborhoods.*

**Policy LU3.7** *Identify locations where special study is necessary to develop strategies for preserving, enhancing, and revitalizing existing developed areas.*

## COMMUNITY FORM: NEW DEVELOPMENT

**Goal LU4** **Design new development to be integrated, connected, and related to existing development areas within the City.**

**Policy LU4.1** *Require new development areas and associated community-wide facilities (open space resources, parks, libraries, etc.) to be linked and oriented to existing developed areas of the community through road networks, public transit systems, open space systems, bikeway and pedestrian systems, and other physical connections.*

**Policy LU4.2** *Encourage a development pattern that is contiguous with existing developed areas of the City.*

## COMMUNITY FORM: JOBS/HOUSING AND ECONOMIC DEVELOPMENT

**Goal LU5.1** **Roseville will strive to be a complete community with a mix of land uses, housing types, and job opportunities that meet the diverse needs of its existing and future residents and businesses.**

**Goal LU5.2** **Roseville will promote and encourage the availability of a variety of goods and services and retain a positive business climate in the City.**

**Policy LU5.1** *Implement a land use mix and pattern of development that provides linkages between residents' jobs and local employment-generating uses, facilitates a match between the number and type of local jobs and the local labor force, and maintains the fiscal viability of the City.*

**Policy LU5.2** *Support density bonuses in the construction of affordable housing, in accordance with the Density Bonus Ordinance and the Housing Element, to promote affordable housing options in areas particularly in areas where with few such housing opportunities and where employment centers exist or are planned.*

**Policy LU5.3** *Consider the fiscal impacts to the City from projects proposing a General Plan land use change.*

**Policy LU5.4** *The City may approve a project that is identified as having a negative fiscal impact on the City if overriding findings are made that the project benefits outweigh its impacts. Such benefits may relate to the provision of affordable housing, significant open space or recreation facilities, job creation, infill development near transit service, or other public benefits.*

- Policy LU5.5** *Uphold the City’s Affordable Housing Goal by requiring an affordable housing target for projects seeking a General Plan Amendment, Specific Plan Amendment, and/or rezoning to a residential designation proposing 25 or more new dwelling units. For these projects, the target is for a minimum of 10% of all new housing units to cost no more than 30% of the total monthly income of very low-, low-income, and moderate-income households (the City also uses the term “middle” in certain Specific Plans to refer to moderate-income households earning no more than 100% of the Area Median Income- AMI). The breakdown of the affordable units will be, at a minimum, 40% for rental to very low- and 40% for rental to low-income households. The remaining 20% may be reserved for moderate-income purchase (which will be priced to be affordable to households earning 95% of the Area Median Income) or may be distributed equally among the rental obligations, as approved by the City. Variations in affordable housing ratios may be approved through a Development Agreement where the following criteria are met:*
- *A need has been identified for a specific affordable housing type (very low-, low- or moderate-income) and the project meets this need;*
  - *The project does not rely on or obtain City subsidies; and*
  - *Units proposed within these criteria would allow for individuals to stay within their units as their future income grows.*

**Policy LU5.6** *Maintain land use patterns, intensities, and densities that ensure an adequate supply of land for office, commercial, industrial, and other employment-generating development.*

**Policy LU5.7** *Support activities that attract employment uses to the City, as identified in the Economic Development Strategy.*

**COMMUNITY FORM: COMMUNITY INVOLVEMENT AND INTER-JURISDICTIONAL COOPERATION**

**Goal LU6.1** **Roseville recognizes its role within the Sacramento and Placer County region and is dedicated to exploring regional solutions to regional issues.**

**Goal LU6.2** **Provide inclusive community engagement opportunities for individuals and community groups to produce timely and meaningful input leading to proactive, consensus-driven actions by the City and its partners.**

**Policy LU6.1** *Encourage active involvement by individuals and citizens in the planning process through ongoing public participation opportunities and informational programs.*

**Policy LU6.2** *For major development proposals (e.g. major General Plan amendments, adoption of specific plans and amendments), encourage and provide public participation opportunities at early stages in the process.*

**Policy LU6.3** *Coordinate and take a lead role, where feasible, with local, state, federal, and other agencies on regional issues of importance, including but not limited to air quality, climate change mitigation and resiliency, transportation, water supply, sewage treatment, solid waste disposal and recycling, flood control, hazardous waste management, resource protection, and transit.*



**Policy LU6.4** *To the extent feasible, coordinate land use planning and public improvements with neighboring jurisdictions.*

**Policy LU6.5** *Encourage early consultation with adjacent jurisdictions and refer development proposals that may have an impact to these jurisdictions to the respective agencies for their review and comment. Respond and comment on development proposals in other jurisdictions that may have an impact on Roseville to minimize such impacts and ensure consistency and compatibility with existing and planned development in the City.*

## COMMUNITY DESIGN

Design influences the aesthetics, character, desirability, and function of a community. Roseville, through its development review process, promotes high-quality design that balances aesthetic and functional considerations; integrates the natural and built environments; and creates inviting, convenient, safe, and comfortable human-scale connections between different land uses.

The emphasis of the Community Design component of this Element is on presenting a design framework that reflects the City's goal of high-quality, community-wide design. To assist in achieving this goal, the City has developed policies that address aesthetics and function, the integration of the built and the natural environments, art in public places, and community character. The application of these design principles will help to establish an aesthetically pleasing city and a distinct community identity.

The goals and policies in this Element will be implemented through the application of the City's Community Design Guidelines. The Guidelines provide detailed standards that establish common design elements and concepts to be used in the design and review of new development proposals in Roseville. The intent of the Guidelines is to ensure consistent quality, while supporting flexibility and the ability to provide unique solutions that fulfill the intent of the Guidelines through alternative means. The City anticipates that the Community Design Guidelines will need to be updated periodically to implement the General Plan's direction in a dynamic regulatory and economic environment. The design concepts contained in this Element, and further refined by the Community Design Guidelines, indicate Roseville's desire to create a City that has a distinct character notable for its high-quality design.

## GOALS AND POLICIES

### COMMUNITY DESIGN

**Goal LU7.1** **Achieve a consistent level of high-quality aesthetic and functional design through the development of, and adherence to superior design concepts and principles, as defined in the Community Design Guidelines.**

**Goal LU7.2** **Encourage, promote, and support the maintenance and expansion of a wide range of programs that serve to increase public understanding, appreciation, and enjoyment of cultural and artistic forms, and the display of artistic expression in public spaces to contribute to the cultural experience and the sense of place and community.**

**Goal LU7.3** **Encourage the planning and building of a city that sensitively integrates open space and natural resources, and promotes compatibility within and between the natural and the urban environments.**

**Goal LU7.4 Emphasize the preservation and enhancement of historically and culturally significant buildings, native oak trees, woodlands, and other significant features, as a primary element in defining Roseville’s community character.**

- Policy LU7.1** *Through the design review process, apply design standards that promote the use of high-quality building materials, architectural and site designs, landscaping signage, and amenities.*
- Policy LU7.2** *Continue to develop and apply design standards that result in efficient site and building designs, pedestrian-friendly projects that stimulate the use of alternative modes of transportation, and compatibility between adjacent developments.*
- Policy LU7.3** *Encourage designs that strike a balance between the incorporation of aesthetic and development requirements, and the economic considerations associated with development.*
- Policy LU7.4** *Promote flexibility in the design review process to achieve design objectives, and encourage projects with innovative, unique, and creative architectural style and design.*
- Policy LU7.5** *Encourage, promote, and support art in public spaces and programs to enhance the design of the City.*
- Policy LU7.6** *Encourage project designs that place a high priority and value on open space, and the preservation, enhancement and incorporation of natural resources and other features including consideration of topography, vegetation, wetlands, and water courses.*
- Policy LU7.7** *Encourage and promote the preservation of historic and/or unique, culturally and architecturally significant buildings, features, and important visual resources.*
- Policy LU7.8.** *The location and preservation of native oak trees and oak woodlands shall be a primary factor in determining site design, building location, grading, construction and landscaping, and in establishing the character of projects through their use as a unifying element in both new and existing development.*
- Policy LU7.9** *Control artificial lighting to avoid spill-over lighting onto adjacent properties. Use anti-reflective architectural materials and coatings to prevent glare.*



## GROWTH MANAGEMENT

In general, growth management can be defined as certain actions taken by local government to influence the location, composition, rate, or total amount of development in a community. The City manages growth to help coordinate development opportunities and constraints, as dictated by the physical, social, and economic characteristics of the areas planned for development, for the City as a whole.

The City recognizes two primary candidates for growth potential. The first is within existing developed parts of the City's corporate boundaries through reinvestment in the community. The second is either inside or outside City limits through new development of "greenfield" areas (non-urbanized or vacant land). "Greenfield" development has been the focus of the City's growth management efforts, but as the City matures and approaches buildout, infill development and reinvestment have an increasing role in meeting the City's needs for housing and economic development.

Inherent in the term "growth management" is the assumption that there will be growth. With growth, there are many potential tangible and intangible benefits, as well as impacts. The right type of growth can be beneficial to the community's economy and quality of life through additional employment opportunities, housing availability, improved delivery and variety of services, opportunity for greater access to destinations without the use of a car, enhanced efficiency of public service provision and fiscal sustainability, and increased commercial, social and cultural opportunities. At the same time, if growth is not well planned and managed, it can have negative impacts on the community. These may include increased reliance on the automobile for reaching destinations, public health effects related to air pollutant emissions, increased costs of construction and maintenance for public infrastructure, impacts to environmental resources, loss of community character, loss of the sense of safety and security, and other adverse effects.

### Growth Management Principles

The challenge is to accommodate and manage growth that balances the positive and negative impacts in a fashion that results in an overall benefit to the community. This is best accomplished proactively. To this end, the overarching principles that guide the City's approach to managing growth include:

- Maintain quality of life through a balance of land uses;
- Maintain the City's fiscal health in the long term;
- Continue to add and enhance the value of the built environment;
- Maintain and further define the City's physical form through creation of an open space transition area along the western interface with County lands.

In the recent past, the City has used the Specific Plan process, with appropriate updates to the General Plan, to manage and direct growth in a way that is relatively more comprehensive, compared to a project-by-project approach. This approach allows the City to plan for and finance necessary infrastructure and facilities, address area-wide development opportunities and constraints, and identify key growth management issues that may not be apparent in the context of individual project analysis.

### Growth Management Visioning Committee

In 2004, the City Council appointed a 20-member Growth Management Visioning Committee. The Committee was charged with reviewing growth management policies and developing a vision and policy recommendations to guide the City's long-range physical development. The Committee's Vision includes 11 characteristics that define the preferred future:

- A Distinct Community Identity;
- Well-Planned Neighborhoods and Communities;
- A Vibrant Downtown;
- A Balance Between New Growth and Revitalization;
- Abundant Parks and Open Space;
- A Diverse Range of Housing Types;
- Mobility and Transportation Choices;
- Economic Vitality;
- Convenient Access to Higher Education;
- Sustainable Environmental Resources and Infrastructure;
- Innovative Design and Land Use Planning; and,
- On-going Partnerships with Neighboring Communities.

The Committee recommended three additional policy concepts: Maintain Roseville's Identity and Character; Promote Stakeholder Involvement and Ensure Accountability; and Work Aggressively to Address Traffic Generated Outside of Roseville. Further, the Committee recommended that the following Policy Concepts be used to evaluate and influence potential growth that could affect the City within its current boundaries, within its Sphere of Influence, and in unincorporated land where the development will impact the City:

- Maintain an Open Space Transition Buffer;
- Ensure Fiscal Sustainability;
- Encourage High-Quality Infrastructure, Programs, and Services;
- Promote Comprehensive Large-Scale Planning;
- Use Performance-Based Standards to Manage Growth;
- Ensure Community Benefit;
- Maintain Roseville's Identify and Character;
- Promote Stakeholder Involvement and Ensure Accountability; and,
- Work Aggressively to Address Traffic Impacts Generated Outside of Roseville.

## **Guiding Principles for Growth**

The City Council adopted a set of 13 Guiding Principles for new development areas in May of 2001. The intent of the Guiding Principles is to supplement General Plan policies by creating guidelines for new development proposals for areas located outside of City limits. They are intended to articulate the City's expectations relating to any potential development proposals and are to be applied as performance



measures for annexation proposals. These principles are contained as policies of this Growth Management component.

The Growth Management component focuses on the development of performance standards rather than artificial timelines or growth rates for future development. This approach has resulted in goals and policies that emphasize performance (e.g., maintaining levels of service, providing adequate park acreage, financing needed school facilities, etc.) rather than on specific dates, growth rates, or build-out of existing plans. The performance standards provide the criteria for planning and managing growth by requiring the mitigation of growth impacts and the provision of both tangible and intangible benefits to the community.

## GOALS AND POLICIES

### GROWTH MANAGEMENT - GENERAL

- Goal LU8.1 Proactively manage and plan for growth.**
- Goal LU8.2 Encourage a pattern of development that promotes the efficient and timely provision of urban infrastructure and services, and that preserves valuable natural and environmental resources.**
- Goal LU8.3 Growth shall mitigate its impacts through consistency with the General Plan goals and policies and shall provide a positive benefit to the community.**
- Goal LU8.4 Continue a comprehensive, logical planning process, rather than an incremental, piecemeal approach.**
- Goal LU8.5 Encourage public participation in the development and monitoring of growth management policies and programs.**
- Goal LU8.6 Manage and evaluate growth in a regional context, not in isolation.**
- Goal LU8.7 Potential population growth in Roseville must be based on the long-term carrying capacities and limits of the roadway system, sewer and water treatment facilities, and electrical utility service, as defined in the Circulation Element and the Public Facilities Element.**
- Goal LU8.8 Growth and development must occur at a rate corresponding to the availability of desired facilities' capacity.**
- Goal LU8.9 Growth should be managed to minimize negative impacts to existing businesses and residents within the City.**
- Goal LU8.12 Use growth management as a tool to maintain the City's identity, community form, reputation in the region, to maintain high levels of service for residents, and to influence projects outside the City's boundaries that have the potential to affect the quality of life and/or services that are provided to residents.**

**Policy LU8.1** *Growth must provide a strong diversified economic base and a balance between employment and affordable housing.*

- Policy LU8.2** *Growth should occur on the basis that projected revenue should be sufficient to meet public costs.*
- Policy LU8.3** *Growth shall be managed to ensure that adequate public facilities and services, as defined in the Public Facilities Element, are planned and provided, and public health, safety, and welfare is protected.*
- Policy LU8.4** *The City shall accommodate projected population and employment growth in areas where the appropriate level of public infrastructure and services are planned or will be made available concurrent with development.*
- Policy LU8.5** *The City shall use the specific plan process to ensure a comprehensive, logical growth process for new development areas (e.g., annexations) or any areas where significant land use changes are considered.*
- Policy LU8.6** *The City shall oppose urban density residential, commercial, or industrial development in unincorporated areas unless adequate public facilities and services can be provided and mechanisms to ensure their availability and provision are secured during the land use entitlement process. It is the City's preference that urban development occur within incorporated areas.*
- Policy LU8.7** *The City will manage growth in such a way to ensure that significant open space areas will be preserved.*
- Policy LU8.8** *Retain and enhance Roseville's identity and character to ensure that Roseville, even as it grows, remains consistent with the Growth Management Visioning Committee's Vision Statement.*
- Policy LU8.9** *Work aggressively to address traffic generated outside of Roseville by working in collaboration with neighboring jurisdictions, regional, state, and federal entities to ensure that traffic through Roseville is mitigated by regional solutions. The City will encourage changes in land use mix and community design that promote walking, biking, and transit.*
- Policy LU8.10** *In addition to being consistent with the other goals and policies of the General Plan, Specific Plans shall comply with the following:*
- a. Provide a public focal point, community, and/or theme feature. These features shall be specific to each area and be designed to promote and enhance community character. A special feature may include, but is not limited to, a community plaza, central park, or some other type of gathering area; outdoor amphitheater; community garden; regional park with special facilities; sports complex; or cultural facilities.*
  - b. Provide entryways at entrances to the City in accordance with the Community Design Guidelines. Where possible, the entryways shall take advantage of and incorporate existing natural resources into the entry treatment. The Specific Plans shall identify the location and treatment of the entryways, and shall consider the use of open space, oak regeneration areas, signage, and/or special landscaping to create a visual edge or buffer that provides a strong definition to entryways into the City.*
  - c. The Specific Plan areas shall be planned and oriented to be an integral part of the City consistent with the policies of the Community Form component of this Element.*
  - d. Develop design guidelines, specifying screening and a transition between public utilities (e.g. substations, pump stations) and other uses, in conjunction with the public utility departments and agencies. In addition, development along power line and*



*pipeline easements shall incorporate design treatment to ensure compatibility and safety. Design guidelines and treatment may include minimum setbacks, building and landscape design standards, and possible limitations on certain types of uses and activities.*

- e. *Preserve natural resource areas where they exist, and where feasible, along new roadways. Such roadways may create a public boundary between the resource area and other uses. The Specific Plans shall identify locations and standards for the preservation of natural resources along roadways, and shall identify sources of financing for such road segments.*

## GROWTH MANAGEMENT – NEW GROWTH AREAS

**Goal LU9.10** Growth should be planned in a way that addresses the appropriate interface between City and County lands.

**Goal LU9.11** New growth should be designed to meet the Guiding Principles for Growth.

**Goal LU9.13** New development shall be consistent with the City’s desire to establish an edge along the western boundary of the City that fosters: a physical separation from County lands through a system of connected open space; a well-defined sense of entry to City from the west; opportunities for habitat preservation and recreation; and view preservation corridors that provide an aesthetic and recreational resource for residents.

**Policy LU9.1** *The City may consider modification to the General Plan for new growth where adequate public services and facilities and preservation and conservation of natural resources can be provided in conjunction with the following:*

- a. *Additional land to accommodate demand for housing or employment uses*
- b. *Projects that will provide community benefits, including, but not limited to the provision of public transit services*
- c. *Ensure that growth provides benefits to the community as a whole and weigh community benefits against public costs*

**Policy LU9.2** *Prior to the consideration of any General Plan amendment to modify land use designations or expand the City’s boundaries or Sphere of Influence, the City shall complete or cause to be completed the following City-wide studies/plans:*

- a. *Long-range transit plan*
- b. *Fiscal studies*
- c. *Public facilities and services capacity study*
- d. *Transportation system capacity study*
- e. *Utility capacity and supply (i.e., water, sewer, drainage, and electric)*

*The studies shall define overall holding capacities and identify additional performance standards that will need to be met to ensure the achievement of the goals and policies of the General Plan.*

**Policy LU9.3**

*The City shall require the submittal of a specific plan for the consideration of new development areas or any areas where a significant modification to the General Plan land use allocation is proposed. The specific plan process shall, at a minimum, include the following:*

- a. General Plan Amendment*
- b. Development Agreement*
- c. Zoning Entitlements*
- d. Environmental Impact Report*
- e. Phasing, Financing, Capital Improvements Plan*
- f. Fiscal Impact Analysis*

**Policy LU9.4**

*Specific plans will be evaluated based on the following minimum criteria:*

- a. Government Code requirements for specific plans*
- b. Demonstrated consistency with General Plan goals and policies*
- c. Demonstrated consistency with the identified City-wide studies and holding capacity analyses*
- d. Justification for proposed specific plan boundaries*
- e. Community benefit (e.g., affordable housing, significant open space or recreation facilities, job creation, infill development near transit service).*
- f. Ability to substantially mitigate impacts*
- g. Impact on the City's growth pattern*

*Each specific plan proposal shall include, with its initial submittal, a full analysis of how the plan complies with, and relates to the above factors.*

**Policy LU9.5**

*Apply the City's adopted Guiding Principles for Growth to any new development proposed in and out of City's corporate boundaries that is not already part of an adopted Specific Plan or within the Infill Area:*

- 1. Any new development proposal shall, on a stand-alone basis, have an overall net neutral or positive fiscal impact on the City's General Fund Services.*
- 2. Any new development proposal shall include logical growth/plan boundaries.*
- 3. Any new development proposal shall not create a direct or indirect conflict with the ongoing operations of the Pleasant Grove or Dry Creek Wastewater Treatment Plant operations or any City-owned power generation facilities.*
- 4. Any new development proposal shall maintain the integrity of existing neighborhoods and create a sense of place in new neighborhoods.*
- 5. Any new development proposal shall include a plan to ensure full funding and maintenance of improvements and services at no cost to existing residents (including increased utility rates). A proposal shall not burden, increase the cost of, or diminish the supply or reliability of public services.*



6. *Any new development proposal shall aid in regional transportation solutions and in right-of-way preservation.*
7. *Any new development proposal that does not have a sufficient supply of surface water shall secure additional supplies above what the City currently has available. New development proposals shall also provide the funding necessary to incorporate the new source of supply into the City's water supply portfolio (surface water, groundwater and recycled water); and new development proposals shall include measures to reduce water demand by implementing the use of conservation best management practices, recycled water, and other off-sets.*
8. *Any new development proposal shall consider development potential within the entire City/County Memorandum of Understanding Area in the design and sizing of infrastructure improvements.*
9. *Any new development proposal shall aid in resolution of regional storm water retention.*
10. *Any new development proposal shall incorporate mechanisms to ensure schools, and, if necessary, new schools, are available to serve residents anticipated for new development and that new development does not adversely affect existing schools.*
11. *Any new development proposal shall include a significant interconnected public open space component/conservation plan consistent with the City of Roseville/U.S. Fish and Wildlife Service Memorandum of Understanding.*
12. *Any new development proposal shall include a public participation component to keep the public informed and solicit feedback throughout the specific plan process.*
13. *Any new development proposal shall provide a community benefit to the City and residents.*

- Policy LU9.6** *As new development is proposed in or outside the City's Sphere of Influence, project proponents shall provide a transitional area between City and County lands, through a system of managed interconnecting open space or other buffers, such as separation by arterial roadways.*
- Policy LU9.7** *Monitor and participate in development proposals and/or General Plan updates in Placer County to ensure that potential impacts to City residents are minimized, with respect to traffic, service levels, and other quality of life matters.*
- Policy LU9.8** *New development proposals to the north and west of the City limits shall meet the objectives and terms of the Memorandum of Understanding between the City of Roseville and the County of Placer.*
- Policy LU9.9** *Development proposed on the western edge of the City shall provide a distinctive open space transition to create a physical and visual buffer between the City and County that ensures that the identity and uniqueness of the City and County will be maintained.*
- Policy LU9.10** *Consistent with the County/City Memorandum of Understanding, the City shall continue to support and endorse the maintenance of the one-mile buffer zone around landfill operations, as set forth in Policy No. 4.G.11 of the Placer County General Plan. The buffer zone should, consistent with relevant performance criteria, be sufficient to maintain the long-term viability of the landfill, while at the same time protecting City residences from nuisances.*

**Policy LU9.11** *Promote stakeholder involvement and ensure accountability between property owners, Placer County, and surrounding jurisdictions on defining and shaping the vision for growth to the west and north of the City.*

## **GROWTH MANAGEMENT - ANNEXATIONS AND SPHERE OF INFLUENCE**

**Goal LU10** **Evaluate Sphere of Influence amendments and annexations that promote efficient use of land and public service provision and advance General Plan goals.**

**Policy LU10.1** *The City may initiate studies to investigate the potential of (1) annexing areas within its Sphere of Influence; and (2) expanding its Sphere of Influence boundaries. The studies should be focused on those areas that may affect General Plan goals and policies and would be logically served and planned by the City. The studies shall include the identification, availability, and funding of public services, as well as the costs and impacts to the City and other service providers. Issues to be analyzed include, but are not limited to present and planned land uses, water, sewer, electric, library, parks, schools, circulation, and affordable housing. Based on these studies and resident and property owner input, the City may take steps to annex or expand its Sphere of Influence.*

**Policy LU10.2** *The City may consider annexations that:*

- *Are contiguous with City boundaries and provide for a logical expansion of the City;*
- *Create clear and reasonable boundaries;*
- *Are beneficial from a fiscal standpoint to the City and its residents;*
- *Are consistent with state law and Placer County Local Agency Formation Commission (LAFCO) standards and criteria;*
- *Ensure the preservation of open space and agriculture lands; and,*
- *Are consistent with the General Plan.*

**Policy LU10.3** *The City may consider expanding its Sphere of Influence to incorporate areas that, in the future, should be logically planned and serviced by Roseville. The City shall consider the following factors, as identified by LAFCO, when making determinations involving Sphere of Influence boundaries:*

- *Present and planned land uses in the area;*
- *Present and probable need for public facilities and services in the area;*
- *Present capacity of public facilities and adequacy of public services;*
- *Existence of any social or economic communities of interest in the area; and,*
- *Open space and agricultural lands.*

# III. CIRCULATION







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## CIRCULATION

### PURPOSE

The physical, social, and economic well-being of the City depends on successful planning for the circulation of people, goods, and services. This Element identifies Roseville’s goals for circulation, the framework circulation system, level of service standards, design requirements, and policies for circulation that are balanced with the City’s other planning, economic, social, and environmental goals. The underlying goals for the Circulation Element are to provide accessibility to essential destinations by all travel modes, to maximize the travel choices of residents, workers, and visitors, and to maintain the transportation network in a state of good repair.

### SETTING

State law requires that a Circulation Element include “the general location and extent of existing and proposed major thoroughfares, transportation routes, terminals and other public utilities and facilities.” In addition, State law requires cities to plan for a multimodal transportation network that meets the needs of all users for safe and convenient travel. This includes bicyclists, children, persons with disabilities, motorists, movers of commercial goods, pedestrians, users of public transportation, and seniors.

Circulation in Roseville includes:

- Motor vehicles, including cars and trucks
- Heavy rail trains, for both freight and passenger traffic
- Transit
- Bicycles
- Pedestrian travel

Other public utilities and facilities are addressed in the Public Facilities Element.

There are crucial relationships between the City's transportation goals and goals for economic development, fiscal sustainability, and public and environmental health. The operation of the City's circulation system affects air quality, noise, energy use, community appearance, public safety, and other factors. The efficiency and affordability of a community's circulation system influences economic opportunities. The City's economic development goals and fiscal sustainability will be enhanced with development patterns that allow for more efficient and cost-effective circulation systems. Policies that encourage walking, biking, and transit provide for better air quality, reduce household transportation costs, improve energy efficiency, and minimize up-front and ongoing infrastructure costs. The City's land use and circulation planning policies determine whether the community is accessible for all segments of the population, including the disadvantaged, the young, the poor, the elderly, the disabled, and those that prefer active transportation. These and related factors must be considered in developing and implementing the City's circulation policies.

Roseville and surrounding areas are expected to experience continued population and employment growth over the next 15 years, which will increase travel demand in the City. The increase in travel demand will make it difficult to implement the City's vehicular level of service (LOS) policy in many locations. At the same time, the State of California has adopted laws and regulations intended to improve air quality and reduce greenhouse gas (GHG) emissions which will facilitate reductions in vehicular travel demand. The City's goals for public and environmental health and fiscal sustainability will be advanced by a reduction in vehicular travel demand and an increase in transit use, bicycling, and walking. However, the anticipated patterns and density of development in Roseville, and the typical distance between the locations of residents' homes and workplaces create challenges for transit, bicycle, and pedestrian modes of travel.

The Circulation Element addresses these challenges in an effort to expand circulation system and mode access, while also accommodating planned development. The City is committed to actively pursuing policies and implementation measures that promote carpooling, transit, and non-vehicular modes of travel (bicycles and walking) as alternatives to single-occupant automobile use. The City's plans also include coordination of circulation improvements with neighboring jurisdictions and regional and state plans. In this effort, the City is making a long-term commitment to provide more freedom in the circulation mode choices for local residents, employees, and visitors.

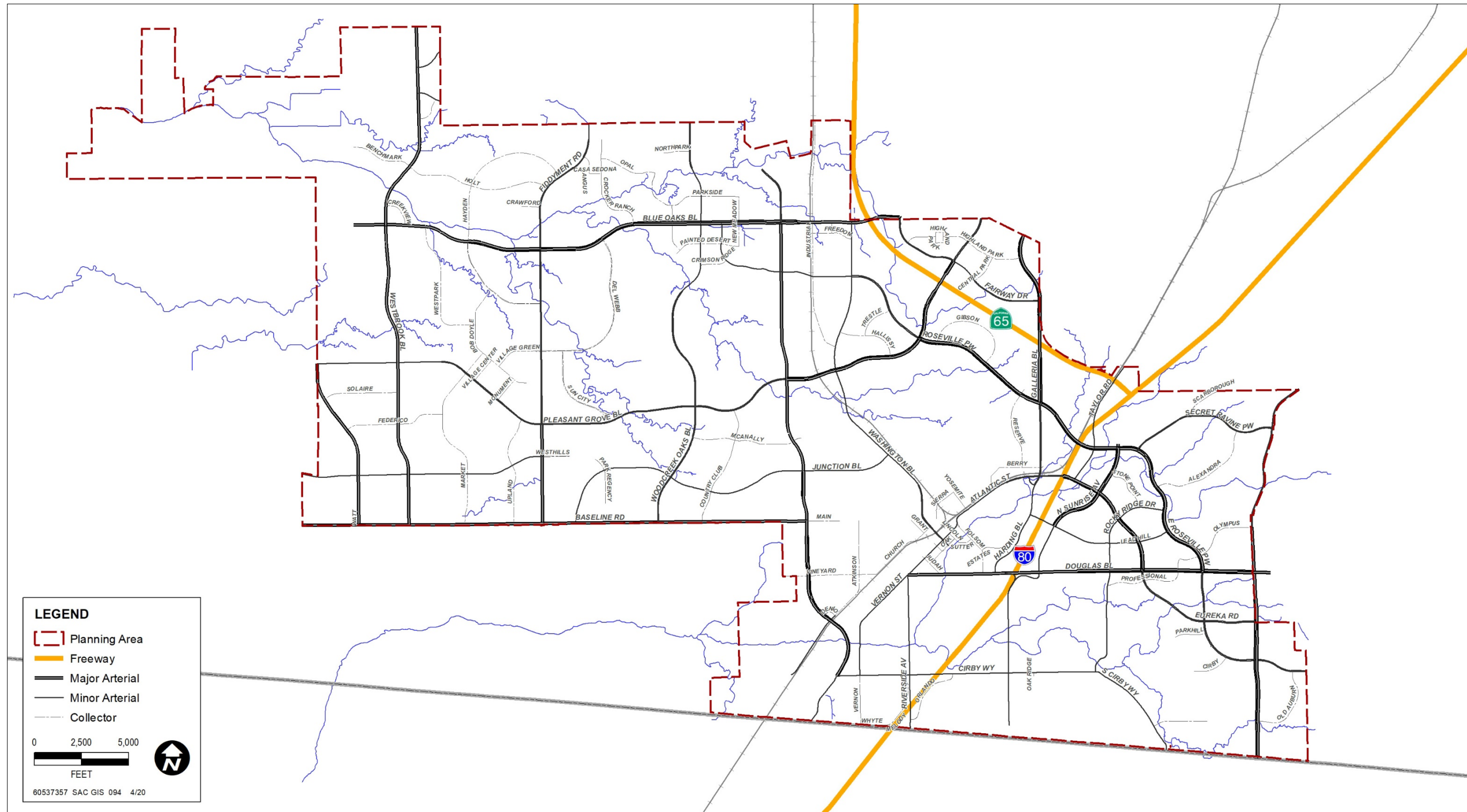
## ORGANIZATION

The contents of the Circulation Element are divided into the following six components:

- **Functional Classification** underscores the need to guide long-range planning of the City's roadway system by establishing a comprehensive designation of all roadways throughout the City. General criteria for each type of roadway is provided as well as a functional classification map of arterial and collector roadways (Figure III-1).



Figure III-1 | Roadway Functional Classification



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- **Level of Service (LOS)** expresses the City's targeted level of driver comfort and convenience, provides exceptions in designated Pedestrian Districts, and describes the technology utilized to monitor traffic flows in the City.
- **Transit** details the City's policies to define potential transit corridors, identify areas where service is desired, and identify the transit types and levels of service desired to provide residents, employees, and visitors with an alternative to driving.
- **Travel Demand Management** stresses the need to manage the operation of the roadway network and the demand for automobile travel generated within the City. The main objectives of this management framework are to better allow the City to implement its LOS policies and minimize future increases in vehicular travel demand. Consistent with guidance from the State, vehicle miles traveled (VMT) is a measurement of travel demand - it is the number of miles traveled by vehicles in some amount of time (e.g., VMT per day or annual VMT). Since VMT is directly related to fuel consumption and emissions for non-electric vehicles, it serves an important role in understanding how the City's land use and transportation decisions influence subsequent environmental effects, especially for air quality and greenhouse gas emissions.
- **Bikeways/Trails** discusses implementation of the Bicycle Master Plan for the planning and implementation of an integrated bikeway and trail system. A map illustrating the City's planned bikeway system is provided (Figure III-5).
- **Pedestrian Access** promotes walking as a form of transportation, discusses implementation of the Pedestrian Master Plan, and provides policies to encourage a complete pedestrian network.

## FUNCTIONAL CLASSIFICATION

The objective of functional classifications is to identify and group roads and streets according to their role and function. The primary function of a roadway is to provide access to destinations. The speed of travel on roadways is directly influenced by the design of the roadway and specific priorities for its function. A functional classification system describes the hierarchy of street types based on the desired speeds and whether the street provides direct access to destinations. The City's functional classification system is used for:

- Long-range planning and coordination
- Determining right-of-way requirements and preserving right-of-way
- Defining design standards and operations of facilities in each classification
- Integrating the appropriate bicycle and pedestrian facilities within the roadway network
- Developing budgets and funding programs according to priority
- Determining acceptable levels of traffic volumes, especially on the local and collector street systems

The City's functional classification system includes:

- **Arterials:** The primary function of arterials is to move large volumes of traffic at relatively high speeds through the City and beyond.
- **Collectors:** Collectors link residential and commercial districts to arterials.
- **Local Streets:** Local streets provide direct access to residences, services, and other destinations from collector streets.

- **Truck Routes:** Truck Routes link with Sacramento County’s designated truck routes on Roseville Road, Auburn Boulevard, Sunrise Boulevard, and Hazel Avenue. Within Placer County, they link routes associated with major truck destinations, including the Western Regional Sanitary Landfill and Materials Recovery Facility.

The existing and planned arterial and collector system is summarized in Figure III-1. Generally, roadways not included as freeway, arterial, or collector roadways on Figure III-1 are local streets. Figure III-2 displays designated truck routes.

The City’s functional classification system, along with design standards, will implement the Circulation Element. These standards are used to classify existing and planned roadways and will also be applied to future roadway systems.

Vehicle and mobility technology is changing. The disruptive nature of these changes could influence how the City allocates use of roadway right-of-way and pavement between vehicle types and modes. While it would be speculative today to modify roadway cross-sections and curb space treatments, the City recognizes that the roadway network use is evolving, and that future updates to the General Plan or other planning documents could establish changing priorities on how City right-of-way is used and allocated.

## GOALS AND POLICIES

### FUNCTIONAL CLASSIFICATION

**Goal CIRC1**      **Provide guidance to the long-range planning of the City's roadway system, including design standards, right-of-way requirements, and coordination with surrounding jurisdictions.**

**Policy CIRC1.1**      *The functional classification system shall guide the planning and design of the City's roadway system.*

**Policy CIRC1.2**      *Coordinate with surrounding jurisdictions to achieve compatible functional classifications for roadways that cross the City's boundaries.*

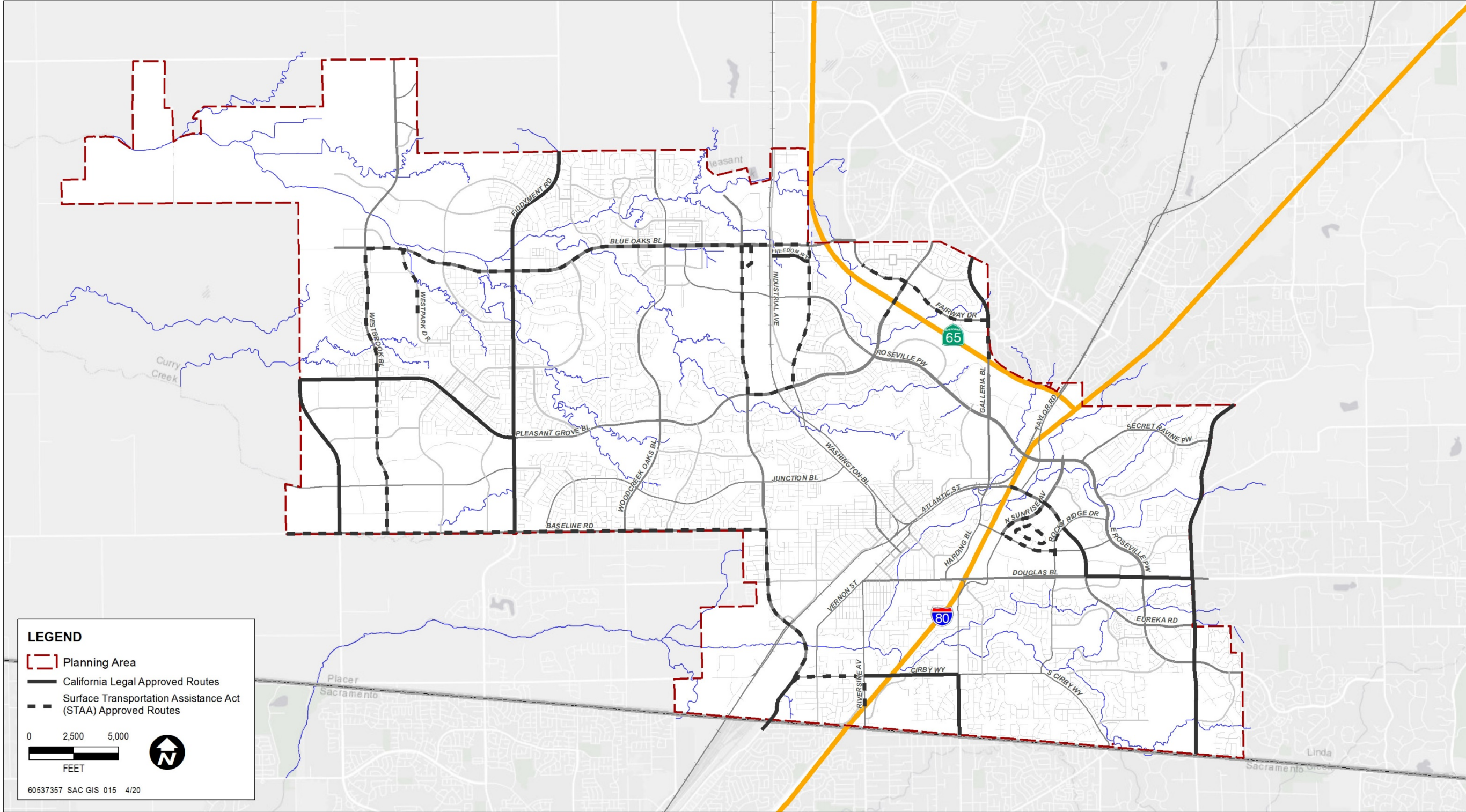
**Policy CIRC1.3**      *Maintain a comprehensive set of design standards for the City's roadway system by functional class.*

**Policy CIRC1.4**      *Maintain a system of truck routes to provide for the safe and efficient movement of goods and to avoid impacting residential neighborhoods.*

**Policy CIRC1.5**      *Design intersections and public rights-of-ways in accordance with state and federal accessibility requirements.*



Figure III-2 | Truck Routes



**LEGEND**

- Planning Area
- California Legal Approved Routes
- Surface Transportation Assistance Act (STAA) Approved Routes

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*There are crucial relationships between the City's transportation goals and goals for economic development, fiscal sustainability, and public and environmental health.*

## LEVEL OF SERVICE

The operational performance of the City's roadway system is expressed using "levels of service" that generally describe traffic operations, as perceived by the motorist. There are six levels of service (LOS), ranging from "A" through "F," with LOS "A" representing the best range of operating conditions (high speeds and low delay) and LOS "F" representing the worst (low speeds and high delay). The transition between LOS E and LOS F tends to represent peak-hour capacity conditions. These ratings do not capture the perspectives of pedestrians or bicyclists.

The specific terms in which each LOS is defined vary with the type of facility involved. A freeway's LOS is generally defined by density (vehicles per mile per lane) and average travel speed, while an intersection's LOS is generally defined by the average vehicle delay. The capacity and operations of Roseville's major roadway system of arterials and collectors are principally determined by the operation of its signalized intersections, as well as the width of its roadway segments and the amount of access control on each segment. The LOS on the roadway networks is, therefore, defined primarily by intersection delay and the average travel speed on roadway segments.

## Pedestrian Districts

To encourage active transportation and infill development, the City has identified Pedestrian Districts, where there is a greater emphasis on non-vehicular travel – in particular, an emphasis on pedestrian activity and safety. In these areas, special design consideration will be given to sidewalk widths, planter strips, street furniture, automobile travel lane widths, curb radii, and other enhancements that improve the

pedestrian experience. It is understood that the establishment of a Pedestrian District and the implementation of these design features may reduce vehicle LOS, and the City's LOS policy does not apply to projects proposed within these areas.

Pedestrian Districts are shown in Figure III-3.

For more on the City's goals and policies related to walking, see the "Pedestrian Access" component, later in this Element.

## Intelligent Transportation System

Intelligent Transportation System (ITS) is the use of technology to help traffic flow more smoothly. The City invests in ITS equipment, including interconnecting traffic signals, enhanced signal controllers, and traffic cameras that allow traffic engineers to monitor real-time conditions, to make modifications to signal operations and to be alerted to problems at intersections or within the traffic signal system. ITS can also obtain congestion data and traffic counts. By making traffic flow more efficiently, the ITS prevents excessive congestion and improves the operational performance of the City's roadway system.

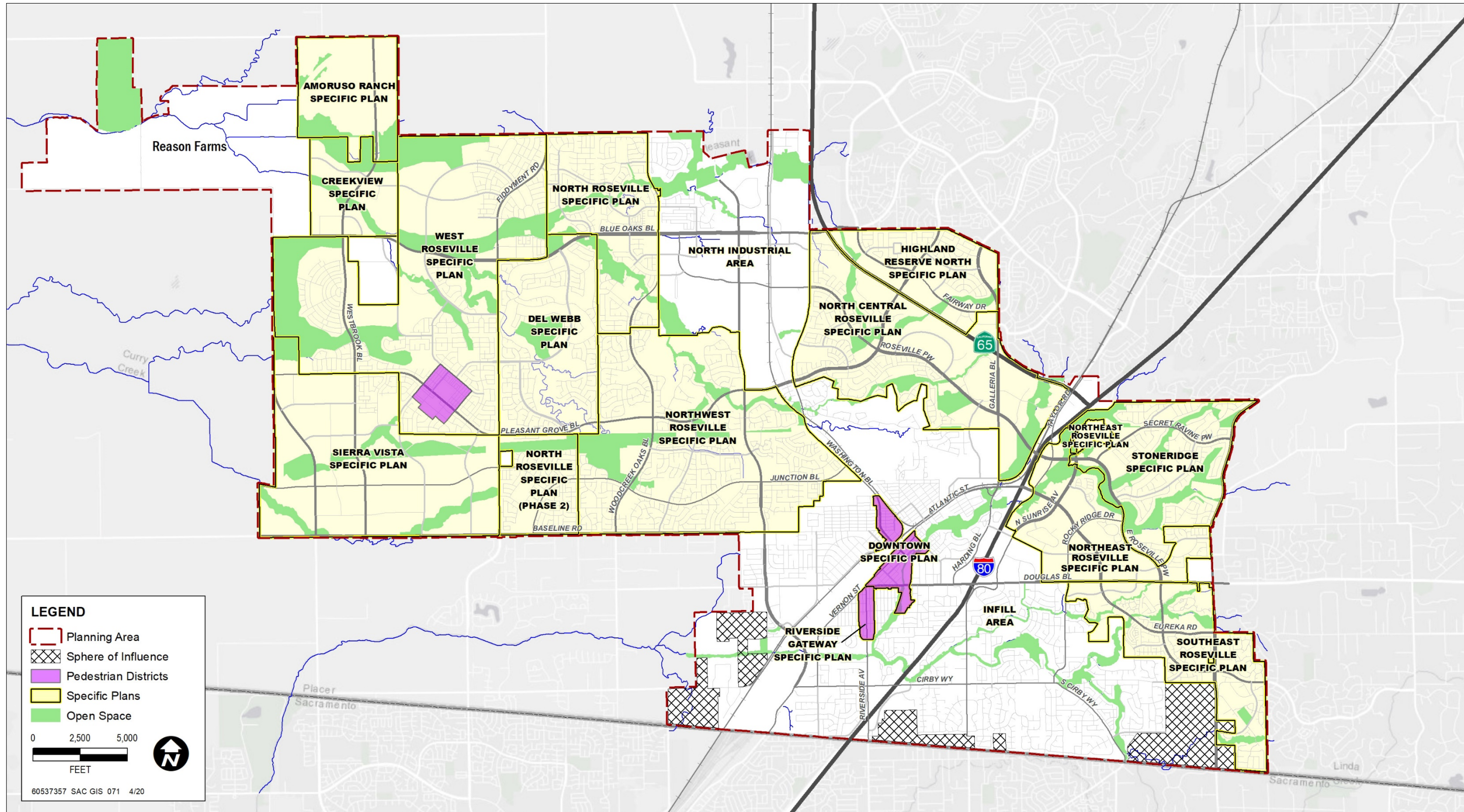
## GOALS AND POLICIES

### LEVEL OF SERVICE

**Goal CIRC2**      **Maintain an appropriate level of transportation service for all of Roseville's residents, employees, and consumers through a balanced transportation system that considers automobiles, transit, bicyclists, and pedestrians.**

- Policy CIRC2.1**      *Maintain a LOS "C" standard at a minimum of 70 percent of all signalized intersections and roadway segments in the City during the a.m. and p.m. peak hours. Exceptions to the LOS "C" standard may be considered where improvements required to achieve the standard would adversely affect pedestrian, bicycle, or transit access, and where feasible LOS improvements and travel-demand-reducing strategies have been exhausted.*
- Policy CIRC2.2**      *Strive to meet the level of service standard through a balanced transportation system that reduces the auto emissions that contribute to climate change, by providing alternatives to the automobile and avoiding excessive vehicle congestion through roadway improvements, Intelligent Transportation Systems, and transit improvements.*
- Policy CIRC2.3**      *Work with neighboring jurisdictions to provide acceptable and compatible levels of service on the roadways that cross the City's boundaries.*
- Policy CIRC2.4**      *Secure adequate funding for all components of the City's transportation system to ensure level of service policy is maintained.*
- Policy CIRC2.5**      *Pedestrian, bicycle travel, and transit access have a higher priority than automobile travel in the City's Pedestrian Districts, and development projects in these areas are exempt from the City's LOS standard.*
- Policy CIRC2.6**      *Prioritize investments in pedestrian, bicycle, and transit access in Pedestrian Districts.*

Figure III-3 | Pedestrian Districts



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*In Pedestrian Districts, such as Downtown Roseville, the City will prioritize investments in pedestrian, bicycle, and transit access.*

## TRANSIT

Roseville Transit, which is owned and operated by the City, operates three services: Commuter Service, Local Service, and Paratransit/General Public Dial-A-Ride service. Local transit routes are generally located along arterial roadways and are shown in Figure III-4.

Roseville Transit connects with two other area transit operators, Placer County Transit and Sacramento Regional Transit. Roseville Transit also has connecting service with the regional rail service, Capitol Corridor, operated by the Capitol Corridor Joint Powers Authority (CCJPA). There are several other public and private transportation systems that operate in Roseville, along with social service agencies that provide limited transportation services for their clients. Public transit options in Roseville include:

- **Roseville Transit Local Service** is a fixed-route transit system operated six days per week (Monday–Saturday) within Roseville City limits. The City has four main transfer points (Sierra Gardens, Civic Center, Louis/Orlando, and Galleria Mall) that allow Local Service users to transfer with other local transit systems.
- **Roseville Transit Paratransit/General Public Dial-A-Ride** offers origin to destination paratransit service to persons with disabilities to supplement the Local Service. Roseville Transit Dial-A-Ride also offers curb-to-curb service to the general public, operating seven days per week within the Roseville City limits.
- **Roseville Transit Commuter Service** offers express transit service to and from Downtown Sacramento, Monday to Friday, during peak commute hours.
- **Placer County Transit** is a transit system operated by Placer County that offers local, commuter and paratransit/general public dial-a-ride services principally along the Interstate 80, Highway 49, and Highway 65 corridors. The Auburn to Light Rail service connects to Roseville Transit at the Galleria Mall Transfer Point and Louis/Orlando Transit Center. The Lincoln/Rocklin/Sierra College service parallels Highway 65 and includes a stop at the Galleria Mall Transfer Point. The Placer Commuter

Express offers peak-hour commuter service between Colfax and Downtown Sacramento, including a stop in the City of Roseville at the Taylor Road Park-N-Ride Lot.

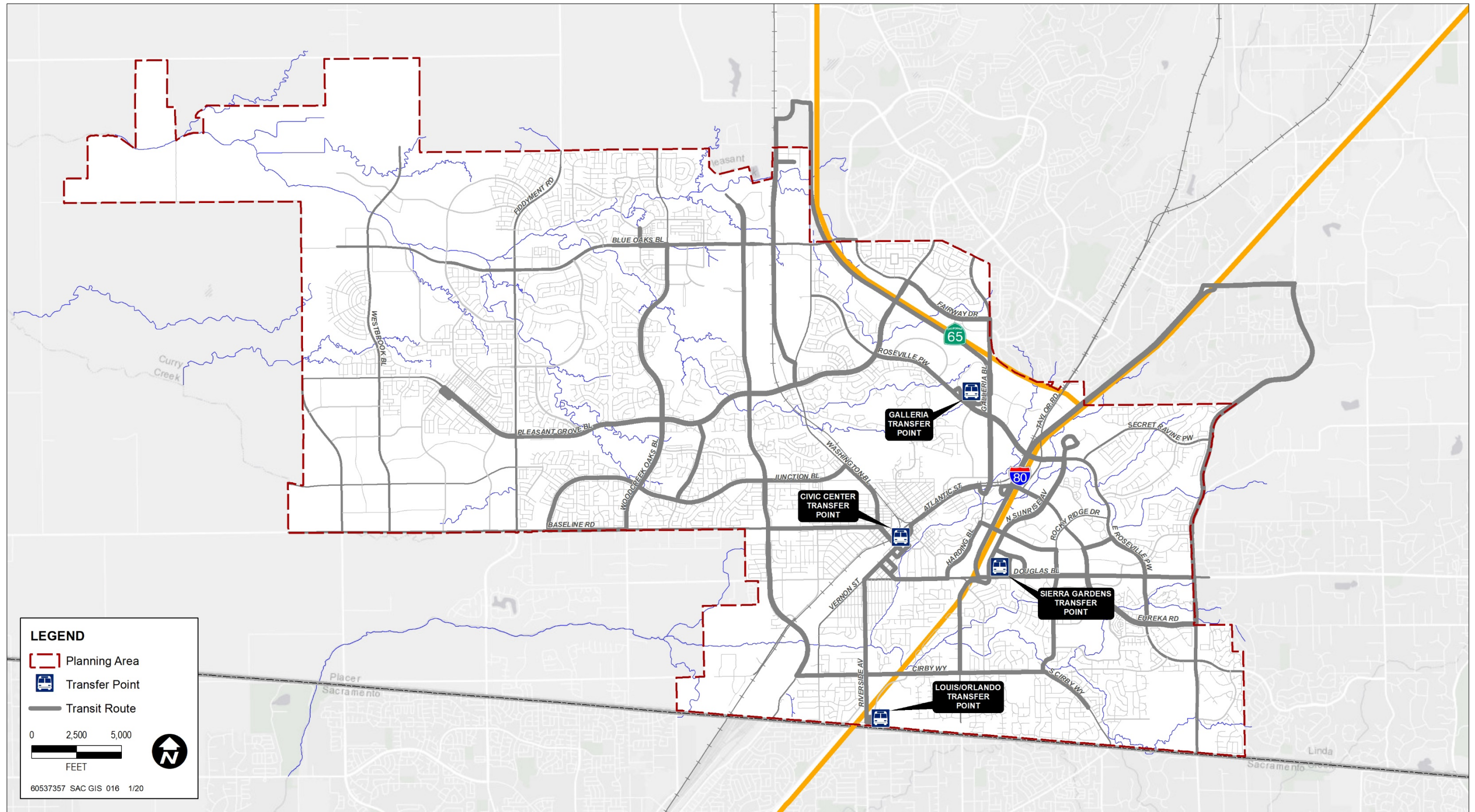
- **Sacramento Regional Transit** provides fixed-route transit service, paratransit dial-a-ride service, and Light Rail service in the city and county of Sacramento, connecting to Roseville Transit and Placer County Transit at the Louis/Orlando Transit Center, near the southern limits of the City along the I-80 corridor.
- **Capitol Corridor** is a passenger rail service that provides service from Auburn to San Jose roughly paralleling the I-80 corridor. Capitol Corridor includes connections to Sacramento Regional Transit, Bay Area Rapid Transit, and other transit providers along the Union Pacific Railroad line. The Sacramento to Roseville Third Track project will allow 10 round trips per day between Roseville and Downtown Sacramento.
- **Greyhound Bus Lines** provides service to the intermodal facility in Old Town Roseville on Pacific Street. From Roseville, passengers can continue to destinations throughout the state and country.
- **Taxi Service** is provided by several private companies.
- **Transportation Network Companies (TNC)** offer online-enabled platforms to connect passengers with drivers using their personal, non-commercial vehicles. TNCs may also offer what are referred to as micro-transit services, which are shared ride shuttle services along fixed or semi-fixed routes.

Although Roseville remains one of the largest employment centers in the region, many residents will continue to work in Downtown Sacramento, creating continued demand for commuter services. Not all of Roseville's residents desire or are able to drive, creating the need for continued local transit options. Continued technological advancement will present opportunities for innovation in transportation services. This could include continued expansion of TNC and microtransit, which may compete with traditional public transit for ridership. This may also include the use of autonomous vehicles. These technologies may provide opportunities for transit innovation and service improvements, especially those involving public/private partnerships. To this end, the City of Roseville constantly evaluates options to enhance transit services, which may be implemented as a part of the Specific Plans, in coordination with other local and regional agencies.

## Short-Range and Long-Range Transit Master Plans

The City of Roseville Short-Range Transit Plan, updated every five to seven years, evaluates transit performance within the City and offers recommended strategies to enhance transit service and meet transit demand. The South Placer County Long-Range Transit Plan is periodically updated to examine improvements, funding, and feasibility of providing expanded public transit services within the City limits and on identified transportation corridors, among other topics.

Figure III-4 | Roseville Transit Local Routes



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## GOALS AND POLICIES

### TRANSIT

**Goal CIRC.3** Provide a safe, convenient, and efficient transit system to enhance mobility; reduce congestion; reduce auto emissions, including emissions that contribute to climate change; improve the environment; and provide viable non-automotive means of transportation in and through Roseville.

- Policy CIRC3.1** Promote transit service that is convenient, cost-effective, and responsive to the challenges and opportunities of serving Roseville and surrounding communities, and explore opportunities for transit innovation and service improvements.
- Policy CIRC3.2** Pursue all available sources of funding for sustainable transit services.
- Policy CIRC3.3** Continue to study options for introducing high quality transit and/or other regional transit linkages to Roseville and developing convenient connections to Sacramento Regional Transit light rail service.
- Policy CIRC3.4** Support and remain actively involved in planning for the expansion of Capitol Corridor rail service, as well as other regional linkages.
- Policy CIRC3.5** Consider access to health care, community services and employment, and the needs of persons who may be transit-dependent when making decisions regarding transit service.
- Policy CIRC3.6** Identify opportunities to increase the number and/or capacity of park-and-ride lots as needed, to increase transit and carpool/vanpool use.
- Policy CIRC3.7** Pursue transit routes that optimize ridership.
- Policy CIRC3.8** Include transit improvements with new roadway or roadway expansion projects.



Roseville Transit is owned and operated by the City and operates Commuter Service, Local Service, and Paratransit/General Public Dial-A-Ride service.

## TRAVEL DEMAND MANAGEMENT

Travel Demand Management (TDM) reduces the need for vehicular trips by increasing use of transit, carpools, vanpools, biking, and walking as alternatives to single-occupant vehicle trips. A successful TDM plan reduces vehicle miles traveled and: allows more efficient use of roadway capacity; reduces costs associated with roadway construction and maintenance; improves the public health by reducing air pollutant emissions and promoting active transportation; and reduces transportation-related impacts to the natural environment.

Managing travel demand requires a complementary approach to land use and community design, this Element focuses on the transportation related components. For goals and policies guiding land use and community design, please see the Land Use Element.

### Transportation Systems Management

In Roseville, Transportation Systems Management (TSM) programs are codified in a TSM ordinance. TSM strategies include, but are not limited to: local and regional carpool matching programs promoted by the Sacramento Area Council of Governments (SACOG); vanpool, transit, and commuter biking subsidies; preferential carpool and vanpool parking; and secure bike parking, showers, and lockers at work sites. Roseville's TSM ordinance facilitates developer, property owner, and employer implementation of these programs, typically through preparation of a TSM plan intended to:

- Reduce total vehicle emissions in the City of Roseville by decreasing the number of vehicle trips that might otherwise be generated by home-to-work commuting.
- Reduce daily and peak period vehicle trips and VMT in the City of Roseville and reduce peak-hour home-to-work commuting.
- Increase the efficiency of the existing transportation network and contribute to achieving the goals identified in the Roseville General Plan Circulation Element.
- Cooperate and coordinate with other cities, counties, communities, and regional agencies in these endeavors.
- Continue to promote the participation of local developers, businesses, institutions, and public and private agencies to fulfill the purposes expressed herein.

The TSM ordinance provides developers, property owners, and employers with flexibility in meeting the performance standards, along with monitoring and enforcement measures.

### Safe Routes to School

The City of Roseville Engineering and Alternative Transportation Divisions participate in the nationally recognized Safe Routes to School program. This program includes right-of-way improvements that enhance safe access and promote walking and biking to school through education and incentives. The program also addresses the safety concerns of parents by encouraging greater enforcement of traffic laws, educating the public, and exploring other context-specific ways to create safer streets.

### Transit Priority Areas and Low-VMT Areas

Transit Priority Areas and Low-VMT Areas play a vital role in managing travel demand. In order to support legislation that promotes infill development, improves public health through active transportation, and reduces greenhouse gas emissions, the State has defined Transit Priority Areas as infill opportunity zones where development should be encouraged. Transit Priority Areas are located within one-half mile



of an existing or planned major transit stop. A major transit stop includes rail transit stations, ferry terminals served by bus or rail transit service, or the intersection of two or more bus routes with a frequency of service of 15 minutes or less during peak commute periods. Transit Priority Areas change over time, and in the Sacramento region, they are mapped by the SACOG. SACOG has also mapped Low-VMT Areas, where household VMT per-capita is at least 15 percent lower than the regional average. Together, the mapping of Transit Priority Areas and Low-VMT Areas can be used to focus member jurisdictions on areas where travel demand management programs would be most effective.



*The City of Roseville Engineering and Alternative Transportation Divisions participate in the nationally recognized Safe Routes to School program.*

## GOALS AND POLICIES

### TRAVEL DEMAND MANAGEMENT

**Goal CIRC4**      **Reduce vehicle miles traveled on the City's and regional roadway systems, while expanding mobility options for residents, employees, and visitors.**

- Policy CIRC4.1**      *The City will review and condition projects as appropriate, to reduce travel demand per capita and per employee by promoting increased density near transit, improving the quality of non-vehicular transportation options, providing incentives for non-vehicular travel, encouraging the mixing of complementary land uses in proximity to one another, and using other feasible methods.*
- Policy CIRC4.2**      *Work with appropriate agencies to develop implementation measures to reduce vehicular travel demand and total vehicle miles traveled and meet air quality and greenhouse gas emissions goals.*
- Policy CIRC4.3**      *Specific Plan Amendments and land use development projects not included in a Specific Plan shall be evaluated for consistency with the City's VMT Impact Standards.*
- Policy CIRC4.4**      *If the evaluation required by CIRC4.3 finds a Specific Plan Amendment or land use development project not included in an adopted Specific Plan is inconsistent with thresholds established within the City's VMT Impact Standards, on-site land use, transportation, and urban design-related VMT-reducing features should be prioritized to demonstrate consistency. If feasible on-site features cannot achieve the VMT threshold, Specific Plan Amendments and land use development projects outside Specific Plan Areas may demonstrate equivalent consistency through off-site actions or fair-share fee contributions, or if consistency cannot be achieved, shall implement all feasible measures.*
- Policy CIRC4.5**      *Policy CIRC4.3 does not apply to projects that propose residential or office uses in Transit Priority Areas or low-VMT areas. Low-VMT areas are those shown to have per-capita, per-employee, or per-service-population VMT rates that are at least 15 percent less than the baseline citywide or regional rate.*
- Policy CIRC4.6**      *Promote and incentivize Infill development, particularly affordable housing development, through assistance in obtaining outside grant funding and reductions or deferrals in impact fees.*
- Policy CIRC4.7**      *Continue to educate the public and business community about alternative modes of travel through Safe Routes to School, Transportation Systems Management, and other local and regional programs and events.*



## BIKEWAYS/TRAILS

The popularity of bicycle use has grown and will increase in Roseville for both recreation and transportation. A renewed interest in physical fitness and better health has fueled the rise of bicycle use. Bicycling is also a “clean” form of transportation that appeals to a large and growing part of the population. In addition, the bicycle is gradually proving itself in many communities to be a viable alternative to automotive transportation, one that is often used in conjunction with transit service.

Demand for safe and convenient routes for recreational and transportation-related bicycling is growing. The City’s Bicycle Master Plan provides a prioritized list of bike routes and paths to systematically expand and improve Roseville’s bikeway system. The Plan ultimately provides a blueprint for a bikeway system that will make bicycling safer, more convenient, and enjoyable for all bicyclists.

### Bicycle Routes

Bicyclists may legally share (with limited exceptions) all roadways with motor vehicles. However, many bicyclists feel uncomfortable about sharing roads with automobiles, due to either perceived or real safety disadvantages of the bicycle. The provision of separated or designated shared bikeway facilities encourages bicycling. Bikeways are defined as specific routes and classes that meet minimum design standards. Roseville generally follows Caltrans’ design standards for the following classes of bikeways:

- **Class I Bike Paths** provide a completely separated right-of-way designated for the exclusive use of bicycles and pedestrians with crossflows by motorists minimized. Class I paths often follow natural amenities such as creeks, drainage, or utility line easements, and are used by both commuter and recreational riders.
- **Class II Bike Lanes** provide a restricted right-of-way designated for the exclusive or semi-exclusive use of bicycles, prohibiting through travel by motor vehicles or pedestrians but permitting vehicle parking and crossflows by pedestrians and motorists. Class II lanes are generally developed within the right-of-way of collector streets and arterials.
- **Class III Bike Routes** provide a right-of-way designated by signs or permanent markings and are shared with motorists. Class III routes are generally located on local streets within residential neighborhoods.
- **Class IV Separated Bikeways** are bikeways for the exclusive use of bicycles with a separation required between the separated bikeway and the through vehicular traffic. The separation may include landscaping, grade separation, flexible posts, inflexible posts, inflexible barriers, or on-street parking. A separate pedestrian walkway is also provided when Class IV bikeways are provided.

Roseville also has an additional classification for bikeways:

- **Class IA Bike Paths** are paths that have been developed as parallel widened (8’–12’) sidewalk routes along major roadways and are separated from the roadway by a landscape strip. These paths are for the use of pedestrians and beginning bicyclists. Caltrans does not consider sidewalk facilities to be Class I facilities and does not recommend that they be signed as bike routes. However, the Class IA facilities are desirable, particularly for bicyclists of lower skill levels, such as children, as well as others who are hesitant to use on-street routes. Class IA bike paths are intended to supplement, not replace on-street bike lanes, but there may be occasions where they are used in lieu of on-street bike lanes.

The City continues to develop Class I bike paths in parks, greenways, paseos, and open space/recreational/creek corridors. The City develops Class II bike lanes on collector streets and arterials, and Class III routes continue to develop along local streets. Figure III-5 shows bikeways within the Roseville City limits by facility class.

## GOALS AND POLICIES

### BIKEWAYS/TRAILS

**Goal CIRC5.1** Increase the percentage of all trips made by bicycles in Roseville.

**Goal CIRC5.2** Establish and maintain a safe, comprehensive, and integrated bikeway and trail system that encourages the use of bikes and walking for commuting, recreational, and other trips.

**Goal CIRC5.3** Maintain the Bicycle Friendly Community Designation from the League of American Bicyclists.

**Policy CIRC3.1** *Develop a comprehensive and safe system of recreational and commuter bicycle routes and trails that provides connections between the City's major destinations (including employment) and housing areas and between its existing and planned bikeways.*

**Policy CIRC3.2** *Coordinate Roseville's bikeway and trail system with those of neighboring jurisdictions to provide both local and regional connections.*

**Policy CIRC3.3** *Pursue available sources of funding for bikeways and trails.*

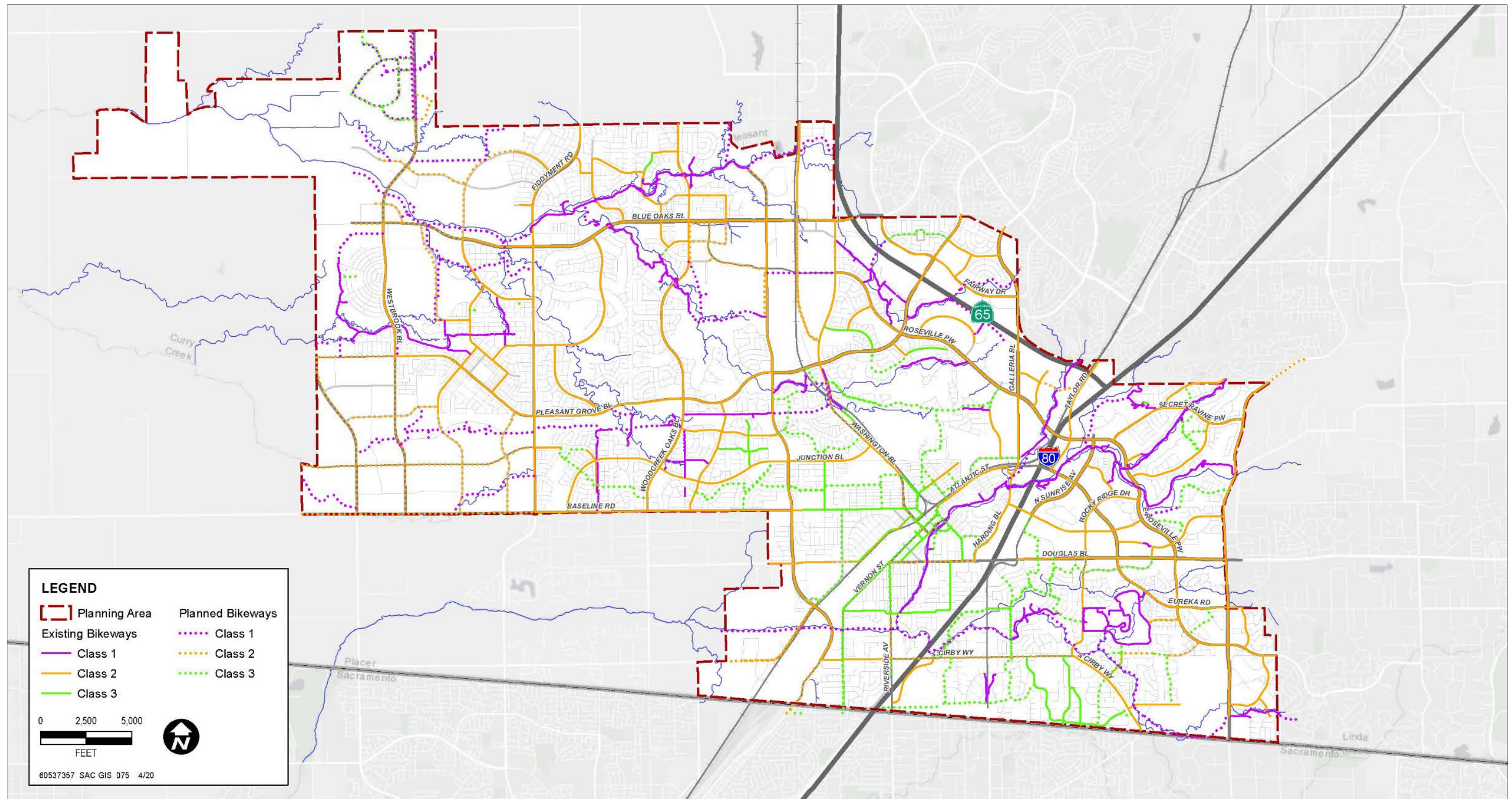
**Policy CIRC3.4** *Enhance bicycle education, encouragement, and enforcement programs targeted at adult and child bicyclists and motorists.*

**Policy CIRC3.5** *Specific Plans shall incorporate an off-street, Class I bicycle system as part of the comprehensive on-street and off-street bikeway plan.*

**Policy CIRC3.6** *Educate, encourage, and enforce programs that increase bicyclist and motorist awareness of the rights and responsibilities of bicyclists in order to foster a climate of acceptance for bicycle riding.*

**Policy CIRC3.7** *Include on-street and off-street bicycle improvements with new roadway and roadway expansion projects.*

Figure III-5 | Bikeways



Note: This map represents planned bikeways at the citywide level. The actual location of bikeways constructed to implement this diagram may be somewhat different than that represented here.

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## PEDESTRIAN ACCESS

Most travelers walk or use a mobility assistance device during some portion of their journey. Whether it is from their home to the bus stop, between home and work or school, or as a means of connecting trips, walking is the most basic form of transportation. Walking is also an important part of a healthy and an active lifestyle for many people.

To promote walking requires a continuous pedestrian network that is free of barriers and connected to related networks (transit, bicycle, etc.); a pedestrian network that promotes a feeling of safety and security; and, development patterns with destinations that are within walking distance and oriented to the pedestrian. As with any part of the transportation network, funding is required to construct and maintain pedestrian networks.

In order to allow more residents, employees, and visitors to reach more destinations by walking, these destinations need to be within walking distances of homes and places of employment. The “rule of thumb” of one-quarter mile is often used to describe the typical walking distance for most people. The City can expect a higher proportion of trips made by walking if development is planned in coordination with pedestrian facilities to increase the number of residents and employees within one-quarter mile of parks, schools, trails, commercial and civic services, and other destinations.

The Pedestrian Master Plan is the primary implementing document for Citywide goals and policies related to pedestrian access. This Plan is intended to improve the pedestrian system in Roseville and increase walking for transportation, recreation, and health by creating a safe, efficient, well-connected and aesthetically pleasing pedestrian environment that serves all types of pedestrians. The Pedestrian Master Plan covers facilities and programs for people who walk or travel by means of a wheelchair, electric scooter, crutches, or other walking devices or mobility aids. Facilities for pedestrians generally consist of walkways, roadway crossing aids, and amenities. The City has identified a recommended pedestrian network and the improvements required as a part of the Capital Improvement Program to provide this recommended pedestrian network. While the Pedestrian Master Plan focuses only on transportation facilities and not the land use environment required to support pedestrian access, the Community Design Guidelines’ design principles and guidelines promote development that supports a variety of transportation modes and facilitates pedestrian mobility, convenience, and safety.

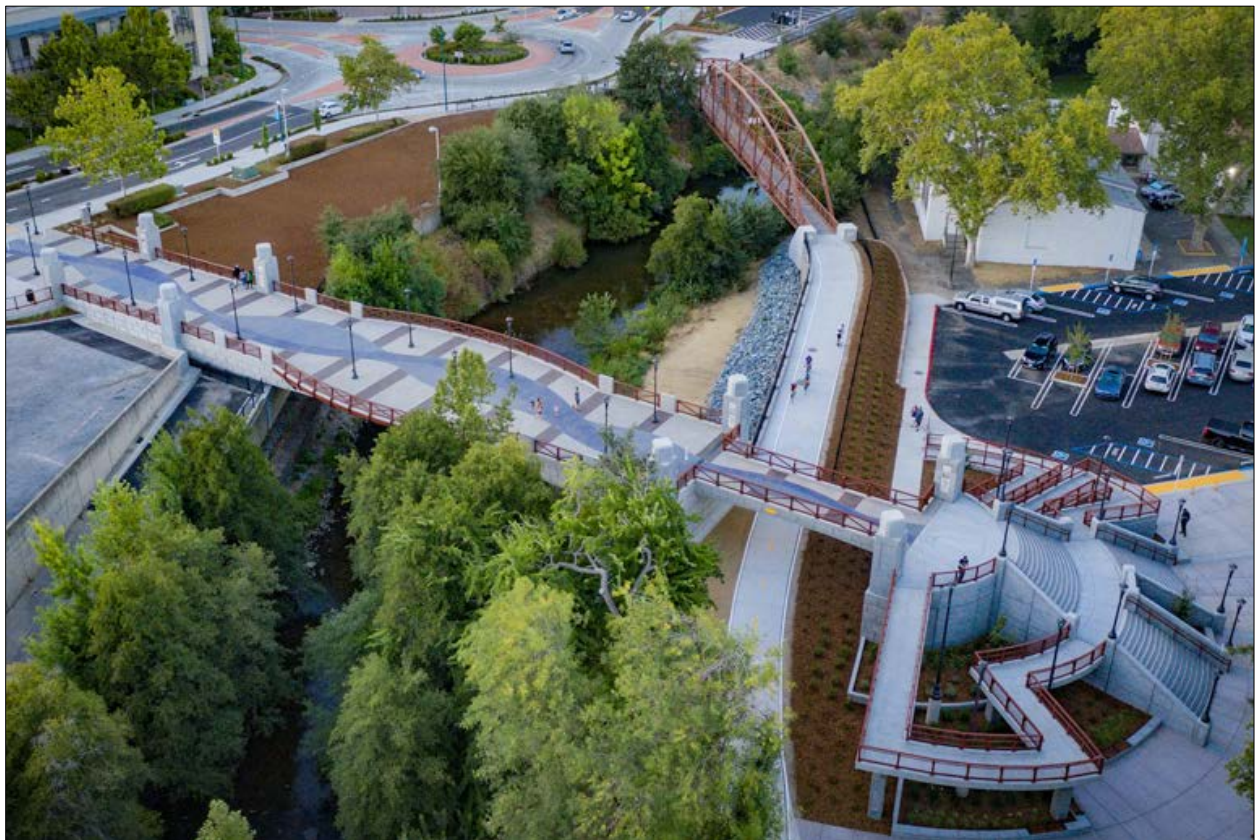
In addition to the Pedestrian Master Plan, the City’s Specific Plans play an important role in implementing the General Plan’s direction by identifying the pedestrian network within each plan area, the required width of sidewalks, streetscape designs, separation of sidewalks from curbs, and the trail systems.

## GOALS AND POLICIES

### PEDESTRIAN ACCESS

#### Goal CIRC6.1 Increase the percentage of pedestrian trips in Roseville.

- Policy CIRC6.1** *Establish and maintain a safe and continuous pedestrian network that provides connections between residential areas and commercial retail and services, employment, public services, parks, and public transit.*
- Policy CIRC6.2** *Promote development patterns that encourage people to walk to destinations.*
- Policy CIRC6.3** *Enhance pedestrian-friendly street environments and design public spaces and destinations in a way that encourages walking.*
- Policy CIRC6.4** *Sidewalks shall be required in all new Specific Plan Areas, with new roadway construction, and with roadway expansion.*
- Policy CIRC6.5** *In reviewing proposed development projects and implementing public projects, the City will incorporate standards designed to protect the security of pedestrians and minimize the potential for collisions involving pedestrians.*
- Policy CIRC6.6** *In the Infill Area, the City will actively seek funding sources to complete and maintain sidewalk networks.*



*To promote walking requires a continuous pedestrian network that is free of barriers and connected to related networks.*

## IV. AIR QUALITY AND CLIMATE CHANGE







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## AIR QUALITY AND CLIMATE CHANGE

### PURPOSE

To protect the well-being of its citizens, the City of Roseville recognizes the importance of establishing goals and implementing policies to improve air quality and address climate change. The Air Quality and Climate Change Element's goals and policies are intended to improve air quality, address climate change, and encourage cooperation between jurisdictions involved in regional air quality improvement efforts. This intent to improve air quality and address climate change is also the focus of other General Plan Elements, including:

- **Land Use Element:** contains policies that promote development patterns intended to make efficient use of land.
- **Circulation Element:** includes policies to reduce auto dependence and encourage bicycle and pedestrian travel. These measures help ensure that greenhouse gas emissions from vehicle sources are reduced or minimized.
- **Open Space and Conservation Element:** contains policies that promote sustainability by supporting open space acquisition and emphasizing an interconnected open space system with bicycle and

pedestrian connections between residential development and schools, employment, commercial areas, and other destinations.

- **Parks and Recreation:** takes into consideration energy efficiency and water conservation, including the use of treated wastewater, in park development, and design that helps ensure that the parks are sustainable.
- **Public Facilities Element:** includes policies that address energy efficiency and renewable energy, water conservation, maximization of recycled water usage, and solid waste source reduction and recycling.
- **Safety Element:** includes policies intended to minimize the potential for loss of life and property due to flooding, which has been identified as a potential impact of climate change.
- **Housing Element:** includes policies to apply energy efficiency requirements and encourage development of mixed-use projects in accordance with the goals and policies contained in the Land Use Element.

The overall goal of this Element is to protect the health and welfare of the community by promoting development that is compatible with air quality standards and which reflects the City's commitment to sustainable practices.

## SETTING

Local and regional air pollutant emissions combine with topographic and meteorological conditions to cause concentrations of air pollutant emissions that lead to adverse public and environmental health impacts. While regulations have reduced health risk for some pollutants, such as lead, for many years, areas surrounding Roseville have exceeded air quality standards for ozone and particulate matter. In addition to planning in a way that reduces vehicular travel and other major sources of some of the most common air pollutants (e.g. carbon monoxide, lead, particulate matter), otherwise known as criteria air pollutants, it is also important to reduce risk related to exposure to toxic air contaminants from the Rail Yard, railroad operations, high-volume roadways, and other sources.

While the sources and effects of most air pollutants are local or regional, the sources and effects of greenhouse gas emissions concentrations are global; the economic, environmental, and social effects of climate change are extensive and potentially catastrophic. However, strategies intended to reduce greenhouse gas emissions can also reduce household and business transportation costs, decrease harmful air pollution, enhance mobility, reduce commuting time, and provide other benefits. Compact development, which reduces greenhouse gas emissions, can also be more cost-effective to provide public infrastructure and services. Measures that promote energy efficiency reduce greenhouse gas emissions but also save on household and business utility costs. Encouraging reinvestment in existing, developed areas can reduce vehicular travel and associated greenhouse gas emissions, but also promote the City's economic development and fiscal sustainability objectives.

## ORGANIZATION

The contents of the Air Quality and Climate Change Element are divided into the following components:

- **Air Quality – General** expresses the City's overall policies related to regional coordination and development review as it relates to air quality.



# AIR QUALITY AND CLIMATE CHANGE

- **Climate Change – General** expresses the City’s overall policies related to regional coordination, adaptation, and resiliency, and greenhouse gas reduction.
- **Air Quality and Climate Change – Land Use and Transportation** focuses on policies that reduce reliance on vehicle travel, promote alternative transportation technologies, and reduce the amount of pollutant emissions and greenhouse gases which result from vehicle travel.
- **Air Quality and Climate Change – Energy Conservation** focuses on policies that encourage energy conservation, and efficient building and community design.
- **Air Quality – Hazards** focuses on policies which reduce the potential for residents to be exposed to harmful pollutant sources.

## AIR QUALITY AND CLIMATE CHANGE

### Air Quality

For many years, areas surrounding Roseville have exceeded air quality standards for ozone and particulate matter. Ozone is a public health concern because it is a respiratory irritant that increases human susceptibility to respiratory infections. Ozone, the main component of photochemical smog, is primarily a summer and fall pollution problem. Ozone is formed through a complex series of chemical reactions known as ozone precursors. The primary ozone precursors of concern are reactive organic gases (ROG) and nitrogen oxides (NO<sub>x</sub>). The period required for ozone formation allows the reacting compounds to be spread over a large area, producing a regional pollution problem. Ozone problems are the cumulative result of regional development patterns rather than the result of a few significant emission sources. Particulate matter (PM<sub>10</sub>) can aggravate existing heart and lung diseases, change the body's defenses against inhaled materials, and damage lung tissue. The primary sources of PM<sub>10</sub> are road dust and construction/demolition activities.

Vehicle exhaust is the primary source of NO<sub>x</sub> and ROG in the region. The City's and the region's population are expected to increase substantially through 2035, which will lead to more vehicles on the road. However, improved automobile emission standards and increased alternatives to fuel such as electric vehicles have reduced the amount of pollutants in vehicle exhaust. According to the PCAPCD's 2015 Triennial Progress Report, between 1990 and 2015, the overall ROG emissions declined about 47 percent, and NO<sub>x</sub> emissions decreased about 43 percent, and from 2015 to 2025, overall Placer County ROG emissions are expected to continue decreasing by approximately 6 percent with NO<sub>x</sub> emissions decreasing by approximately 30 percent.

Air quality indicators show overall reductions of peak ambient ozone and county-wide exposure to unhealthy concentrations since 1990. It represents that overall exposure to residents from ozone continues to decrease in Placer County. No single control or strategy will solve the problem. While regulatory standards are a part of the solution, the goals, policies, and implementation measures included in Roseville's General Plan also contribute toward a cleaner, healthier environment for the citizens of Roseville.

### Climate Change

Certain gases in the Earth's atmosphere, classified as greenhouse gas emissions, play a critical role in determining surface temperatures. Solar radiation enters the earth's atmosphere, and a portion of the radiation is absorbed by the earth's surface, while a smaller portion is reflected back toward space. Greenhouse gas emissions in the atmosphere absorb some of this reflected energy, resulting in a warming of the atmosphere. This phenomenon, known as the "greenhouse effect," is responsible for

maintaining a habitable climate on Earth. However, human activities—combustion of fossil fuels, industrial processes, agricultural process, and others—are increasing the concentration of greenhouse gases in the atmosphere. This is contributing to an observed increase in the average surface temperature of the earth. Global warming refers to this temperature increase, while climate change refers to the observed and predicted alterations in patterns of rainfall, seasonal temperature, and other variables caused by global warming.

Unlike criteria air pollutants, which are pollutants of regional and local concern, climate change is a global issue. Whereas pollutants with localized effects have short atmospheric lifetimes (about one day), greenhouse gases have much longer atmospheric lifetimes (one year to several thousand years), which allow their dispersal around the globe. Climate change has immediate and long-term repercussions for the economy, environment, and public health. Health risks associated with climate change include increased temperatures, which is especially problematic for children, the elderly, and people with existing health conditions, as they are more prone to risk of heat stroke and heat-related complications. In addition, energy delivery is vulnerable to extreme heat events, since high temperatures can cause mechanical failure of grid equipment, heat damage to electricity lines, and challenges related to high demand for electricity to power air conditioners.

The California Air Resources Board *Climate Change Scoping Plan* examines the primary greenhouse gas emissions sources in California, and the state's progress toward emissions reduction. Carbon dioxide is the primary GHG emitted in California, accounting for 84 percent of total GHG emissions (as of 2015).<sup>1</sup> Combustion of fossil fuels in the transportation sector is the single largest source of California's greenhouse gas emissions, followed by industry, and then electricity. While greenhouse gas emissions remain a concern, the state has made progress, achieving a 10 percent reduction in emissions since 2004. Vehicle emissions standards, an increasing portfolio of renewable energy sources, and other factors have contributed to these reductions in emissions.

At the local level, the goals, policies, and implementation measures in Roseville's General Plan constitute an incremental step. When they are implemented in coordination with efforts on a larger scale, from state to international efforts, they will contribute to counteracting the effects of climate change and reduce greenhouse gas emissions.

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<sup>1</sup> For more detail, please refer to the California Air Resources Board website: <https://ww3.arb.ca.gov/cc/scopingplan/scopingplan.htm>.



*Strategies to reduce vehicular transportation and encourage pedestrian, bicycle, and transit access are particularly important, since transportation is the top source of ozone precursors and greenhouse gas emissions.*

## GOALS AND POLICIES

### AIR QUALITY AND CLIMATE CHANGE

- Goal AQ1.1** Reduce local air pollutant emissions to assist with meeting and maintaining ambient air quality standards and minimizing public exposure to toxic or hazardous air pollutants and unpleasant odors.
- Goal AQ1.2** Integrate air quality planning with the land use and transportation planning process.
- Goal AQ1.3** Coordinate all forms of public transport to decrease vehicle miles traveled, while encouraging an increase in the commute vehicle occupancy rate.
- Goal AQ.4** Increase the capacity of the pedestrian, bicycle, and public transportation systems and promote vehicular transportation that uses less-polluting fuels, such as electricity.
- Goal AQ1.5** Provide adequate pedestrian and bicycle facilities for present and future transportation needs.
- Goal AQ1.6** Promote a well-designed and efficient transit system.

- Goal AQ1.7**      **Improve transit, bicycle, and pedestrian access to lessen dependence on automobile travel and reduce household transportation costs.**
- Goal AQ1.8**      **Reduce City greenhouse gas emissions, consistent with local, regional, and state goals.**
- Goal AQ1.9**      **Enhance Roseville’s resilience to local impacts of climate change.**

**AIR QUALITY – GENERAL**

- Policy AQ1.1**      *Cooperate with other agencies to develop a consistent and an effective approach to reducing air pollution.*
- Policy AQ1.2**      *Work with the Placer County Air Pollution Control District to monitor air pollutants of concern on a continuous basis, and support Air District efforts to minimize emissions from stationary sources.*
- Policy AQ1.3**      *Projects that could generate or expose sensitive uses to substantial air pollutant concentrations should incorporate strategies to reduce exposure to such emissions using measures recommended by the Placer County Air Pollution Control District and other applicable, feasible strategies, as needed, to avoid significant air quality impacts.*
- Policy AQ1.4**      *As part of the development review process, develop mitigation measures to minimize stationary and area source emissions.*
- Policy AQ1.5**      *Coordinate with local and regional non-profits and other agencies to substantially increase Roseville’s tree canopy, which serves as a natural air pollutant filtration system that can counter the urban heat island effect. Focus on neighborhoods without a tree canopy and areas prioritized for natural habitat restoration.*

**CLIMATE CHANGE – GENERAL**

- Policy AQ1.6**      *Require new development and City projects to reduce greenhouse gas emissions sources in the Planning Area consistent with the State’s legislative framework, to the greatest degree feasible.*
- Policy AQ1.7**      *The City will participate in and support regional greenhouse gas reduction and adaptation programs that are consistent with the General Plan and have available funding.*
- Policy AQ1.8**      *Use the Multi-Hazard Mitigation Plan and regional collaborations to guide implementation of adaptation and resilience strategies associated with the anticipated local impacts of climate change.*
- Policy AQ1.9**      *Preserve and enhance carbon sequestration resources in the City to improve air quality and reduce net greenhouse gas emissions.*
- Policy AQ1.10**      *Improve overall health and sustainability of the community by reducing emissions of greenhouse gases that contribute to climate change.*
- Policy AQ1.11**      *Promote local purchase and use of electric vehicles through incentives and strategic expansion of charging infrastructure.*



## AIR QUALITY AND CLIMATE CHANGE

### AIR QUALITY AND CLIMATE CHANGE – LAND USE AND TRANSPORTATION

- Policy AQ1.12** *Develop transportation systems that reduce vehicle emissions by improving the desirability of walking, bicycling, and public transportation relative to vehicular travel.*
- Policy AQ1.13** *Identify feasible strategies to reduce transportation emissions from new projects and existing development within the Planning Area.*
- Policy AQ1.14** *Encourage alternative modes of transportation, including pedestrian, bicycle, and transit use.*
- Policy AQ1.15** *Promote and incentivize low-emissions vehicles and associated charging infrastructure, and pursue funding from state programs and other sources to facilitate local purchase and use of electric vehicles.*
- Policy AQ1.16** *Implement land use policies that maintain and improve air quality and expand opportunities for transit-oriented development, which allows residents to significantly reduce vehicular transportation and associated air pollutant emissions.*

### AIR QUALITY AND CLIMATE CHANGE – ENERGY CONSERVATION

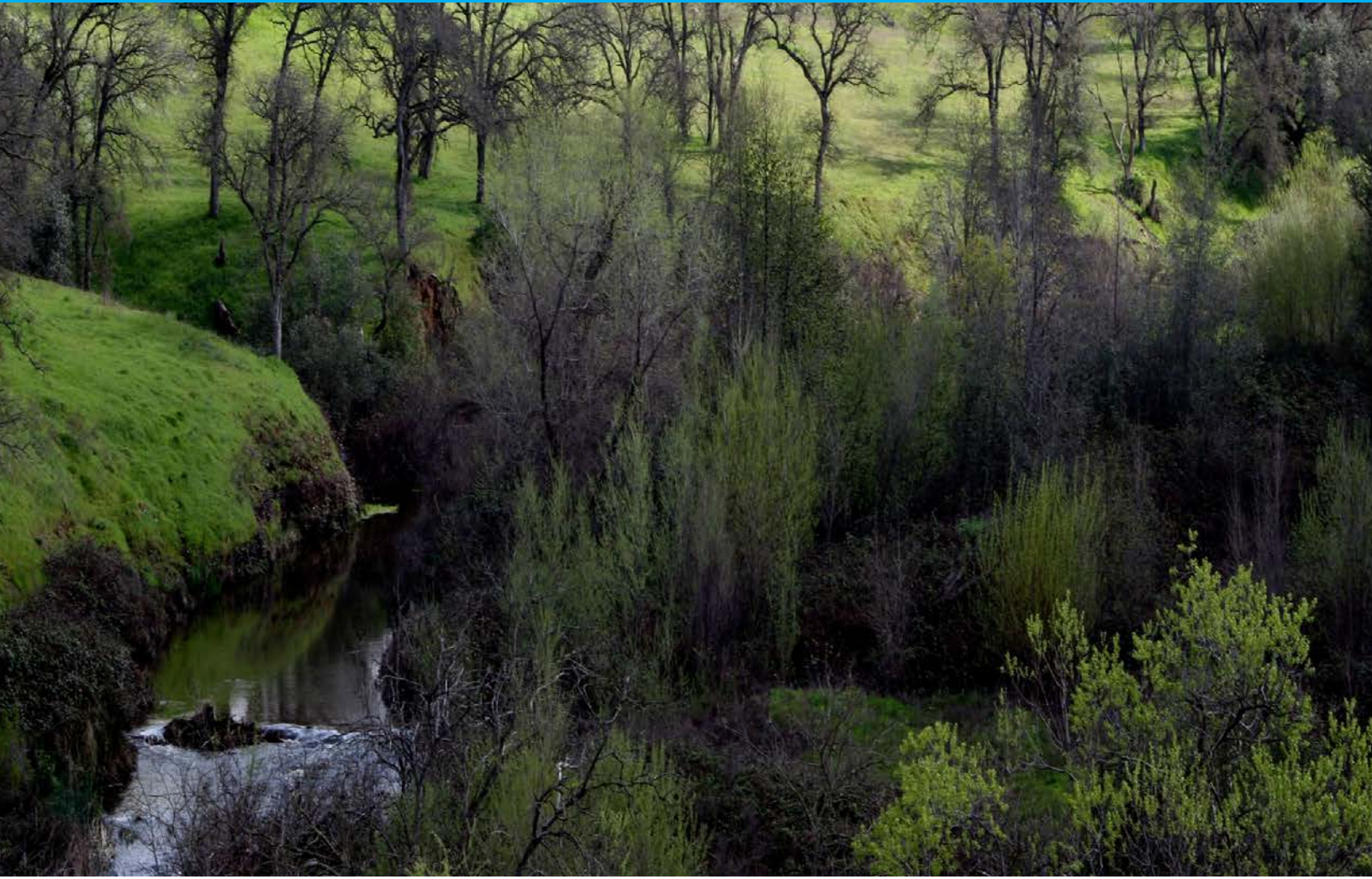
- Policy AQ1.17** *Conserve energy and reduce air pollutant emissions by encouraging energy efficient building designs and transportation systems and promoting energy efficiency retrofits of existing structures.*
- Policy AQ1.18** *Promote building and transportation energy efficiency in new residential and commercial development by encouraging and incentivizing implementation measures early in the design and development process.*
- Policy AQ1.19** *Encourage energy efficiency by identifying potential cost savings, resource, and health benefits.*

### AIR QUALITY – HAZARDS

- Policy AQ1.20** *Separate air pollution-sensitive land uses from sources of harmful air pollution.*
- Policy AQ1.21** *Protect City residents from the risks involved in the transport, distribution, storage, use, and disposal of hazardous materials, and coordinate with other agencies and organizations to reduce existing sources of health risk.*
- Policy AQ1.22** *Support improvements to diesel engines, limits on idling, and incorporation of technology and management practices that reduce harmful emissions at the Rail Yard.*

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# V. OPEN SPACE AND CONSERVATION







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## OPEN SPACE AND CONSERVATION

### PURPOSE

The Open Space and Conservation Element provides goals and policies intended to ensure the current and future preservation, enhancement, and management of natural resources in the City. It is the City's overarching goal for the Open Space and Conservation Element to preserve a comprehensive interconnecting system of open space, which encompasses the preservation and enhancement of natural habitat and significant resource areas, for the community's use, appreciation, and enjoyment.

### SETTING

The City's open space setting is a highly valued part of the community's character and identity. Preserved natural resources provide both tangible and intangible benefits of aesthetic, habitat, cultural, public health and safety, economic, educational, and recreational value. Oak woodlands and riparian areas, for example, benefit the City by supporting diversity of species and providing aesthetic appeal to City residents. Long-term planning and management strategies in Roseville are designed to optimize these

various co-benefits of local open space. The City's natural resources need to be managed in a manner that benefits residents, while ensuring the long-term value and availability of the resources.

Open space in Roseville includes natural areas in oak woodland and riparian environments along the City's creek systems, recreational areas, and areas surrounding important cultural resources, floodways and floodplains, wetlands, and grasslands.<sup>1</sup> The City recognizes that open space land is limited and that the valuable natural resources associated with this open space must be conserved, wherever possible. State law requires each general plan to address open space and conservation, including the preservation, management, and efficient use of open space and natural resources.

## ORGANIZATION

Given the strong interrelationship between open space and conservation issues, the City has chosen to combine discussion of these items into a single Open Space and Conservation Element.<sup>2</sup> This Element includes the following components:

- **Open Space System** defines the basic form, structure, and use of the City's open space system, with an emphasis on creating an interconnecting system of open space that balances natural preservation with human use. The open space system includes natural habitat, preserves, greenbelts, and park and recreation lands under public and private ownership.
- **Vegetation and Wildlife** identifies the primary components of the City's natural systems and defines their relationship to the open space network. The preservation and management of grasslands, oak woodlands, riparian areas, seasonal wetlands, and special-status species are discussed.
- **Groundwater Recharge and Water Quality** focuses on the preservation and protection of the City's groundwater and surface water quality. Domestic water supply and water conservation are addressed in the Water System and the Water and Energy Conservation components of the Public Facilities Element.
- **Historic, Cultural, Tribal Cultural, and Paleontological Resources** identifies Roseville's heritage, providing direction for the preservation, enhancement, and management of historic sites and buildings, as well as fossils that may have scientific value.

The topics addressed in this Element are also directly or indirectly covered in other Elements of the General Plan. For example, preserving open space can help to reduce flood risk, which is also addressed in the Safety Element. Open spaces in Roseville often feature bicycle and pedestrian facilities, which are a critical part of the Circulation Element. Policies in the Land Use Element that promote more efficient use of land allow the City to accommodate growth without converting important open spaces to urban use unnecessarily. Open space can be used to buffer sensitive uses from sources of air pollution and noise-generating land uses, strategies that can help meet goals outlined in the Air Quality and Climate Change and Safety Elements. The Open Space and Conservation Element should be used in combination with the other Elements to ensure full implementation of all General Plan resource-related policies.

Natural resource conservation is also important in the context of adaptation to a changing climate. Roseville's conservation efforts help protect wooded areas, enhance parkland, and plant and maintain the City's tree canopy – actions that can reduce the heat island effect. Since climate change will affect sensitive plant and animal communities, conservation efforts will need to consider adapting to future

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<sup>1</sup> There are no prime farmlands or agricultural operations that generate significant principal income in Roseville. Mineral resources, consisting of sand and gravel, are limited and no mineral extraction operations exist or are anticipated in the future.

<sup>2</sup> Because of the important part that the City plays in energy and water conservation, these topics are addressed in the Public Facilities Element.



## OPEN SPACE AND CONSERVATION

habitats. A more focused discussion of the City's policies related to climate change can be found in the Air Quality and Climate Change Element.

### OPEN SPACE SYSTEM

Open space provides relief from urbanization and access to natural areas in and around the community. In addition, open space lands provide an opportunity for habitat preservation and enhancement. Roseville has numerous natural areas that serve open space functions primarily in oak and riparian environments along the City's creek systems.

The City intends to develop and maintain a comprehensive open space network that connects public and private open space lands and provides access to destinations throughout the community and surrounding areas. Although some of the designated open space resources may not be naturally contiguous, they bear a positive and direct relation to each other through the formation of connecting corridors. Providing linkages between these components allows for wildlife, pedestrian, and bicycle circulation, as well as other potential passive recreation and educational opportunities. A regionally linked system also allows for connections to adjacent communities.

Preservation of open space and natural areas for habitat protection and enjoyment of Roseville citizens is a basic goal of the General Plan. Implementation of supporting programs, development standards, and guidelines will help preserve and enhance designated open space and natural habitat areas.

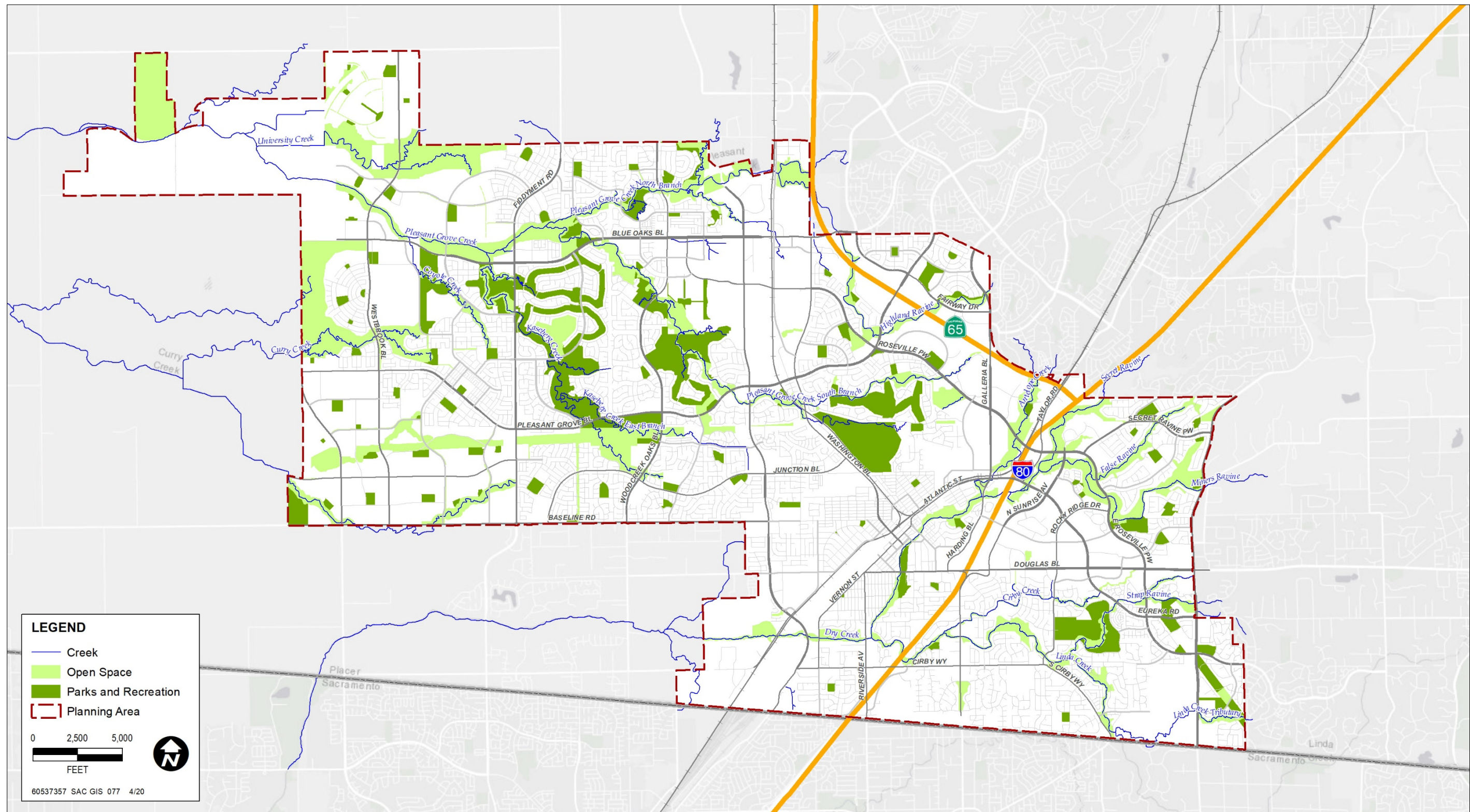
Roseville's overall open space system consists of a variety of natural and man-made elements, including land designated by the General Plan for open space, the majority of which is floodplains, wetland preserves, watershed areas, and associated woodlands. The General Plan Land Use Element identifies two land use categories: (1) Open Space and (2) Parks and Recreation. These designations are reflected in Figure V-1, Open Space Areas. Definitions for each can be found in the Land Use Element. The Open Space, Parks and Recreation, Floodway, and Floodway Fringe zoning districts further define allowable uses and limitations.

The City's open space system includes various preserve areas that were established as mitigation for development projects. The preserve areas are monitored and managed in accordance with the permit conditions of the U.S. Army Corps of Engineers, the U.S. Fish and Wildlife Service, and the corresponding City of Roseville Open Space Preserve Overarching Management Plan. State and federal resource agencies have indicated a preference for large-scale, off-site preservation for certain wetland habitats. Future open space and resource preservation strategies may require coordination with county, regional, state, and federal open space preservation and habitat conservation. These issues will require close interagency coordination.

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Figure V-1 | Open Space Areas



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## GOALS AND POLICIES

### OPEN SPACE SYSTEM

- Goal OS1.1** Establish a comprehensive system of public and private open space, including interconnected open space corridors that include oak woodlands, riparian areas, grasslands, wetlands, and other open space resources.
- Goal OS1.2** Utilize the open space system to connect neighborhoods within the City.
- Goal OS1.3** Provide access to public open space areas through a network of pedestrian and bicycle trails that will be adequately managed and protected.
- Goal OS1.4** Integrate, where feasible, passive recreational and educational opportunities with the protection of wildlife and vegetation habitat areas.
- Policy OS1.1** *Provide an interconnecting system of open space corridors that, where feasible, incorporate bikeways and pedestrian paths.*
- Policy OS1.2** *Provide interconnected open space corridors between open space and habitat resources, recreation areas, schools, employment, commercial service, and residential areas.*
- Policy OS1.3** *Work with adjacent jurisdictions to connect the City with regional open space and trail systems, providing a network of open space and habitat resources, pathways, and, where feasible, equestrian trails through the City to link nearby communities.*
- Policy OS1.4** *Require all new development to provide pedestrian and bicycle linkages to existing and planned open space systems. Where such access cannot be provided through the creation of open space connections, identify alternative linkages.*
- Policy OS1.5** *Provide access to public open space resources except in those areas determined by the City to be sensitive to human presence.*
- Policy OS1.6** *Take into account natural habitat areas when designating access to and preserving open space areas. Identify alternate locations and design for access where sensitive habitat areas have the potential to be adversely impacted.*
- Policy OS1.7** *Consider alternatives to City ownership and management of open space preserve areas.*
- Policy OS1.8** *Maximize opportunities for preservation and maintenance of open space resources, including establishment of private open space areas. Consider coordination with non-profit organizations and investigate the potential for conservancy ownership and/or management of open space areas.*
- Policy OS1.9** *Provide opportunities for public education through the City's public open space system, natural resource areas, and parks and recreation facilities.*

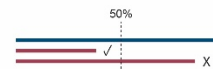
- Policy OS1.10** *Where feasible, entryways into Roseville shall incorporate the preservation of natural resource areas, such as oak woodland, riparian, and grassland areas, as a way of defining the City's boundaries and identity.*
- Policy OS1.11** *Consider the use of open space for the location of flood control facilities, where such facilities allow compatible passive recreational use and resource preservation.*
- Policy OS1.12** *In new development, properties adjoining open space should be oriented toward this open space in order to reduce maintenance, security, and aesthetic concerns. Not more than 50 percent of residential and non-residential properties, as measured by the length of adjoining parcel boundaries, should back up to adjacent open space.*



**A. Calculate the outer boundary of designated open space**



**B. Calculate length of the back of properties that back onto designated open space**



**B must be ≤ 50% of A**



## VEGETATION AND WILDLIFE

Vegetation and wildlife resources are an important component of the overall Open Space System. These resources have been the historic focus of preservation efforts in Roseville. For woodland, riparian areas, and wetlands, the priority is to avoid impacts. If avoidance is not feasible, these resources would be preserved in an amount that ensures no net loss. Preservation efforts will require close coordination with the California Department of Fish and Wildlife, California Regional Water Quality Control Board, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service and Environmental Protection Agency and any on-going “landscape level” conservation planning efforts.

### Habitat Types

Vegetation and wildlife resources found in Roseville can be broadly classified by habitat types, including the following (see Figure V-2):

- **Annual Grasslands.** Large tracts of annual grasslands are concentrated in the western portion of the Planning Area adjacent to and overlapping agricultural lands and open space preserves. Grasslands in the Planning Area are dominated by nonnative grasses and grassland habitat supports a relatively modest diversity of wildlife species and a prey base for raptors and other predators.
- **Oak Woodland/Savannah.** Oak woodlands and savannahs occur as scattered patches throughout the Planning Area along the outer edges of riparian corridors and as small stands within agricultural, grassland, and vernal pool habitats. These habitats are dominated by native oak trees, including blue oak, valley oak, and interior live oak. Oak woodlands and savannahs provide important wildlife resources, including food, cover, shade, roosting, and breeding sites. Oak trees produce an abundance of acorns, which are an essential part of the diets of many species of native wildlife. The City regulates the protection of its native oak trees through the Tree Preservation Ordinance. This ordinance includes standards that limit disturbance within the protected zones of oaks and emphasizes protection of trees. Where avoidance is not feasible, mitigation is required on an inch-for-inch basis.
- **Riparian and Creek Areas.** Riparian areas support wide biological diversity. Situated along and within the City’s creeks and water courses, the riparian corridors are a source of food and water and provide cover, nesting sites, and migration and dispersal corridors for wildlife, as well as flood protection and natural filtering that improves air and water quality. The oak woodland areas and riparian and creek habitats are valuable City resources, not only because of the diversity of species they support but also because of their natural open space and aesthetic values. Creek and riparian areas are managed according to the Roseville Creek and Riparian Management and Restoration Plan, which provides standards for creek and riparian area management and enhancement and is a component of the City’s Open Space Preserve Overarching Management Plan.
- **Seasonal Wetlands.** Many of the wetland areas found in Roseville are seasonal in nature, receiving, retaining, or transporting water only during the wet season. Two primary types of seasonal wetlands are found in the City: intermittent drainages and vernal pools. Most intermittent drainages are wet only during the winter, transporting run-off. They typically are dry during the summer with scattered ponds but may contain water from adjacent urban runoff. Vernal pool complexes consist of uplands and ephemeral wetlands and drainages (i.e., vernal pools and swales). Vernal pools represent a significant seasonal wetland resource in Roseville. They are unique not only due to their limited natural occurrence and distribution but also because of the unique native plant and animal species they support. Numerous plant and animal species found in the Planning Area are endemic to vernal pools, and include several special-status species, such as dwarf downingia, Boggs Lake hedge hyssop, and the vernal pool fairy shrimp.

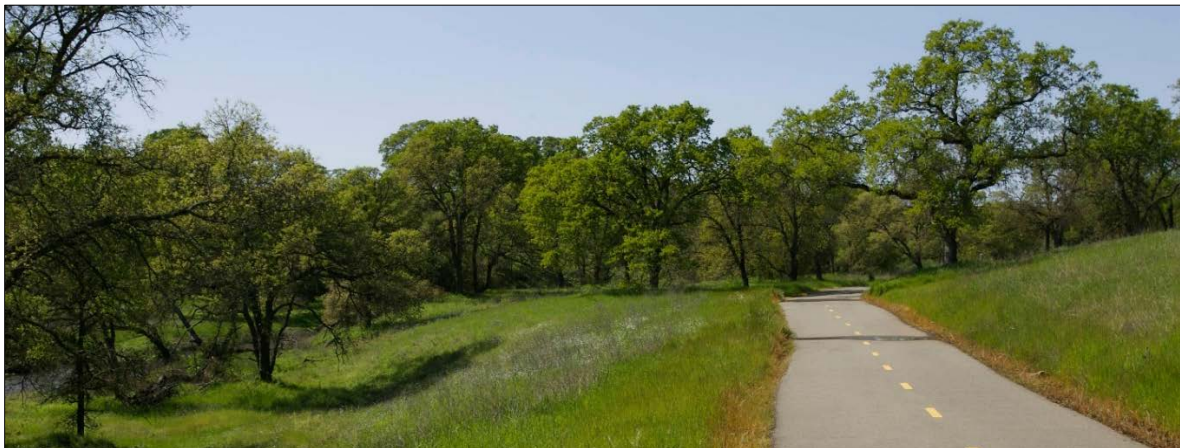
## Special-Status Species

A “special status” species is one that has been identified as having relative scarcity and/or declining populations. Special status species include those formally listed as Threatened or Endangered, those proposed for formal listing, candidates for federal listing, and those classified as species of special concern or species of concern. Also included are those species considered to be “fully protected” by the California Department of Fish and Wildlife, those granted “special animal” status for tracking and monitoring purposes, and those plant species considered to be rare, threatened, or endangered in California by the California Native Plant Society (CNPS).

The sensitive plant species that may be found within Roseville are primarily associated with vernal pool environments. Vernal pools in the City may also contain federally listed endangered vernal pool tadpole shrimp and federally listed threatened vernal pool fairy shrimp.

Anadromous chinook salmon and Central Valley steelhead are known to be present seasonally in Dry Creek and its upper tributaries. Many anadromous fish species are listed not as a species but as Evolutionarily Significant Units, Distinct Population Segments and/or based on the spawning run season. The California Central Valley steelhead Distinct Population Segment is federally threatened. Chinook salmon within the Central Valley Fall/Late Fall-Run are listed as a candidate species. Though not listed via the Endangered Species Act, the Chinook salmon Central Valley fall/late-fall run Evolutionarily Significant Unit is a federal species of concern and a state species of special concern.

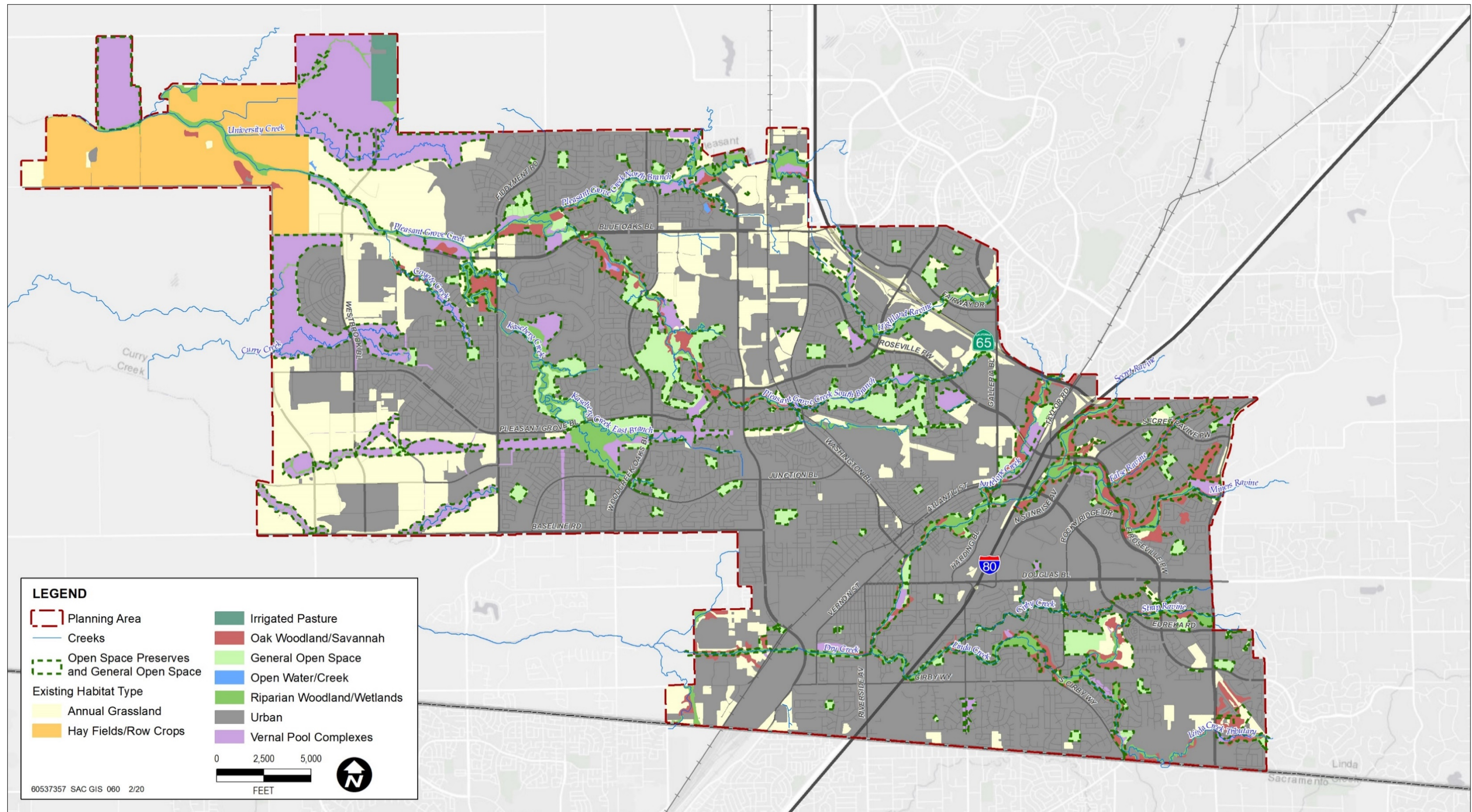
Also known to occur is the federally threatened valley elderberry longhorn beetle; western spadefoot, a state species of special concern; Cooper’s hawk, which is on the California Department of Fish and Wildlife watch list; western burrowing owl, a state species of special concern; ferruginous hawk, which is on the California Department of Fish and Wildlife watch list; Swainson’s hawk, a state threatened species; northern harrier, a state species of special concern; white-tailed kite, which is a fully protected species; bald eagle, which is a state endangered and fully protected species; loggerhead shrike, which is a state species of special concern; long-billed curlew, which is on the California Department of Fish and Wildlife watch list; and purple martin, a state species of special concern. In addition to the federal or state-classified rare or endangered wildlife species known to inhabit Roseville, favorable habitats for other listed species can be found in the Planning Area. Other special status species potentially present in Roseville include pincushion navarretia, Sanford’s arrowhead, tricolored blackbird, a state threatened species; Grasshopper sparrow, a state species of special concern; short-eared owl, a state species of special concern; pallid bat, a state species of special concern; Townsend’s big-eared bat, a state species of special concern; and American badger, a state species of special concern.



*Oak woodlands and savannahs occur as scattered patches throughout the Planning Area along the outer edges of riparian corridors and as small stands within agricultural, grassland, and vernal pool habitats.*



Figure V-2 | Habitat Types



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# OPEN SPACE AND CONSERVATION

## VEGETATION AND WILDLIFE

- Goal OS2.1** Preserve, protect, and enhance a significant system of interconnected natural habitat areas, including creek and riparian corridors, oak woodlands, wetlands, and adjacent grassland areas.
- Goal OS2.2** Maintain healthy, well-managed, and connected habitat areas that maximize the potential for habitat preservation and compatible recreation, and visual experiences.
- Goal OS2.3** Protect special-status species and other species that are sensitive to human activities.
- Policy OS2.1** *Incorporate existing trees into development projects with an emphasis on avoiding the removal of groupings or groves of trees. Where preservation is not feasible, continue to require mitigation for the loss of removed trees.*
- Policy OS2.2** *Preserve and restore continuous riparian corridors and adjacent habitat along the City's creeks and waterways.*
- Policy OS2.3** *Require dedication of the City's Regulatory Floodplain (as defined in the Safety Element) or comparable mechanism to protect habitat and wildlife values in perpetuity.*
- Policy OS2.4** *Require preservation of contiguous areas in excess of the City's Regulatory Floodplain, as defined in the Safety Element, as merited by special resources or circumstances. Special circumstances may include, but are not limited to, sensitive wildlife or vegetation, wetland habitat, oak woodland areas, grassland connections in association with other habitat areas, slope or topographical considerations, recreation opportunities, and maintenance access requirements.*
- Policy OS2.5** *Limit recreation activities within the City's Regulatory Floodplain, as defined in the Safety Element, and require appropriate setback areas for trails and other public recreation uses so that natural resource areas are not adversely impacted.*
- Policy OS2.6** *Provide for the protection and enhancement of native fishery resources, as informed by continued coordination with the California Department of Fish and Wildlife .*
- Policy OS2.7** *Require consistency with the City of Roseville Open Space Preserve Overarching Management Plan for dedication and management of on-site wetland mitigation as part of new development.*
- Policy OS2.8** *Consider off-site mitigation for federally non-regulated wetlands, provided that such mitigation will provide comparable habitat values.*
- Policy OS2.9** *Limit the access of pedestrians and cyclists to vernal pool and wetland areas so that access is compatible with long-term protection of these natural resource areas, consistent with the City's Open Space Preserve Overarching Management Plan.*
- Policy OS2.10** *Manage public open space preserves that can provide habitats for special-status species to encourage propagation of the species and discourage spread of non-indigenous, invasive species, consistent with the City's Open Space Preserve Overarching Management Plan.*

- Policy OS2.11** *Habitat preservation and mitigation for woodlands, creeks, riparian, and seasonal wetland areas should occur within the defined boundaries of the impacting projects where long-term resource viability is feasible and desirable, consistent with applicable state and federal permits.*
- Policy OS2.12** *Consider the use of City property for habitat preservation and mitigation requirements resulting from new development proposals when such efforts do not conflict with existing resources, recreational opportunities, or other City goals, policies, or programs.*
- Policy OS2.13** *Work with adjacent jurisdictions, regulatory agencies, and community organizations to explore opportunities for regional mitigation banking.*



*The City's open space setting is a highly valued part of the community's character and identity.*



## GROUNDWATER RECHARGE AND WATER QUALITY

Roseville is located within portions of three major drainage basins: the Pleasant Grove Creek Basin, the Curry Creek Basin, and the Dry Creek Basin. Although identified as a separate watershed, Curry Creek is a tributary of the Pleasant Grove Creek basin. Pleasant Grove Creek and its tributaries drain most of the western and central areas of the City north of Baseline Road, and Dry Creek and its tributaries drain the remainder of the City. The Dry Creek system has year-round flows in its major water courses, while the Pleasant Grove system is intermittent, with only seasonal flows at locations east of the Pleasant Grove Wastewater Treatment Plant and year-round flows west of the plant. The primary stream systems and drainage basins in the City are reflected in Figure V-3.

Most major stream areas within Roseville are protected by City policy that requires dedication and prohibits development of the City's Regulatory Floodplain. There are exceptions in some infill areas, where historic encroachment of development has occurred and there is private ownership of some floodplain areas. Many of the streams in Roseville are found in their natural state. Limited sections of others have been channelized.

### Development, Water Quality, and Groundwater Recharge

Urbanization has a substantial impact on water quality both short and long-term. Development results in an increase in impervious surfaces, such as roofs, streets, sidewalks, and storm drains. These impervious surfaces combine to decrease infiltration opportunities and (depending upon soil type) may increase the volume and rate of runoff. Increased runoff velocity adds to the potential for channel erosion resulting in increased sediment into the watercourses. In addition, sediment deposited in streams from construction-related activities results in degradation of spawning, rearing, and food producing habitat. Removal of riparian vegetation can have significant impacts by increasing stream temperature and reducing the input of biologic materials into the streams.

The runoff from urbanization, which enters the watercourses, may lead to long-term impacts to water quality. Reduction in permeable surface areas limits the percolation and associated filtration processes beneficial to water quality. Urban runoff from surfaces such as streets, parking lots, driveways, and landscaped areas typically includes oil, grease, heavy metals, pesticides, herbicides, fertilizers, and sediments. Increases in urban runoff have been shown to affect, among other things, aquatic habitat.

Urbanization can also impact groundwater recharge and quality. Roseville, along with a majority of the Sacramento and South Placer area, is located above the north central portion of California's Central Valley groundwater basin. This aquifer is an extensive system of different groundwater basins extending from Red Bluff to Bakersfield. Pollutants found in urban runoff can leach into aquifers impacting groundwater quality. Increased impervious surfaces associated with urbanization, particularly in areas of high recharge potential, impact percolation opportunities. Groundwater supplies are naturally recharged by rainwater that reaches the subsurface saturated zone of the soil. The rate and quantity of water reaching the saturation zone depends on factors that include the amount and duration of precipitation, soil type, moisture content of the soil, and vertical permeability of the unsaturated zone. The Roseville area is composed of several soil types with three main geologic formations. Water permeability varies with each of the formation types. In general, the primary locations for potential groundwater recharge are along the City's major watercourses.

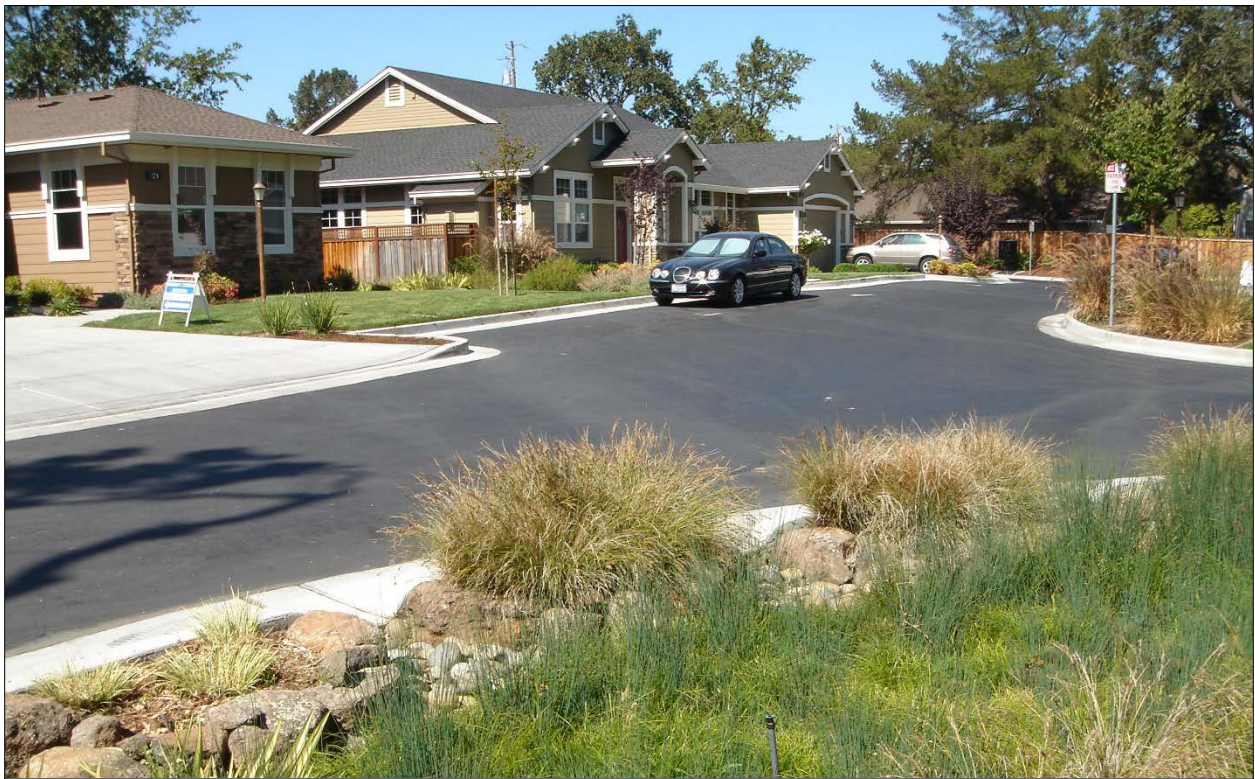
### Climate Change Resiliency

Changes in precipitation patterns and the increased incidence of droughts have been identified as a potential effect of climate change, further necessitating proactive policies and programs, such as Roseville's Stormwater Ordinance and Aquifer Storage and Recovery Program. The City's Aquifer Storage and Recovery Program enhances sustained use of the groundwater in conjunction with surface water supplies, while providing a backup water supply during critically dry years, consistent with the City's

commitments contained in the Water Forum Agreement. The program is designed to inject and store surplus drinking water in the underlying aquifer during periods of normal and above normal precipitation. This stored drinking water would be extracted and used to meet peak demands during dry years. At full buildout, the City envisions a network of up to 12 groundwater injection wells that could store up to 10,000 acre-feet per year of water.

## Water Quality Best Management Practices

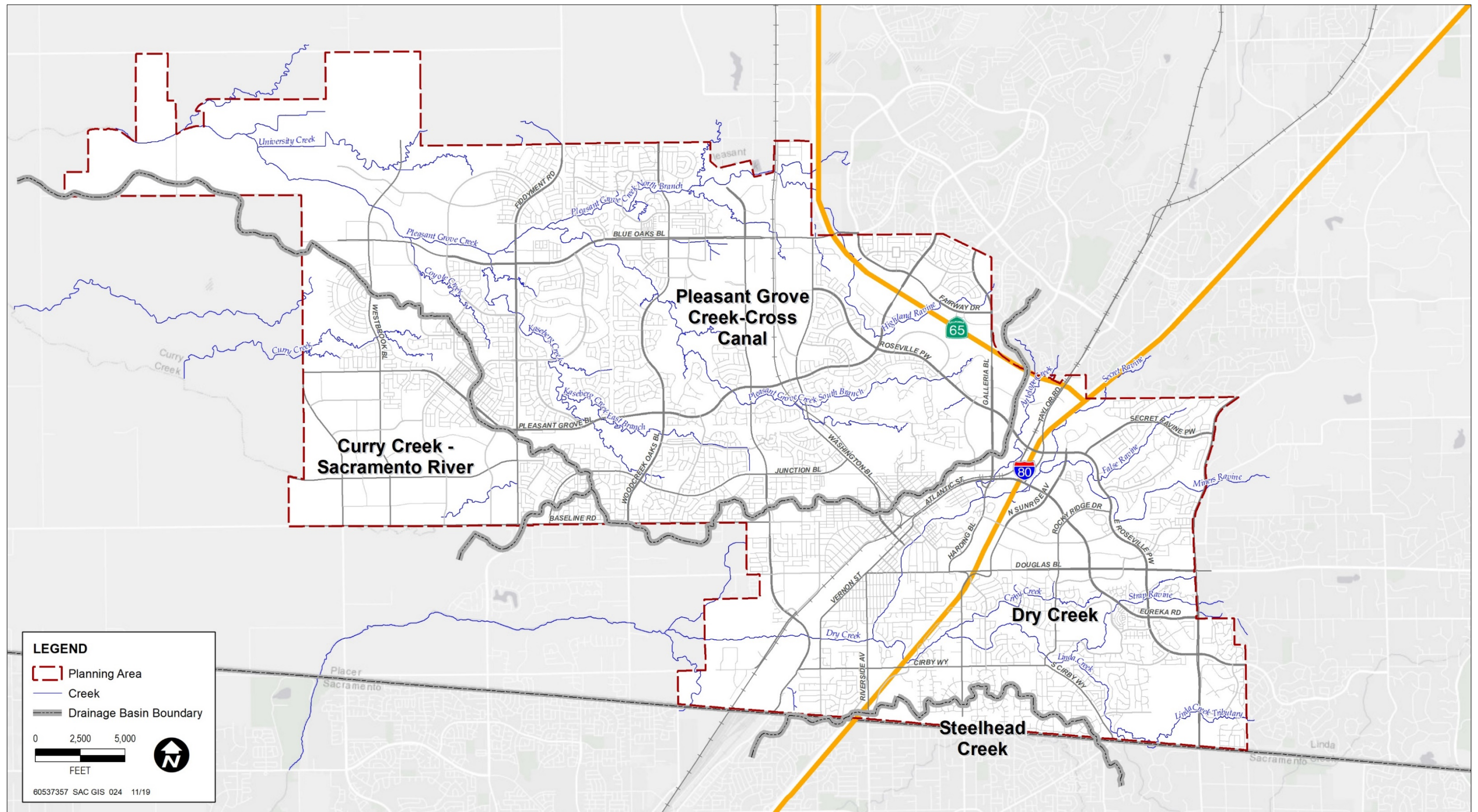
The City has and will continue to comply with Environmental Protection Agency stormwater management regulations as enforced by the State Water Resources Control Board and the Regional Water Quality Control Board. These regulations include requirements for National Pollutant Discharge Elimination System (NPDES) Phase II permits. Roseville promotes the use of cost-effective urban run-off controls, including Best Management Practices, to reduce pollutants from entering the waterways. These practices include the use of oil and sand separators, grassy swales, detention ponds, vegetative buffers, and other source control, housekeeping, and treatment measures. The City's development standards incorporate state and regional guidance to protect the City's water resources and water quality related to urban run-off, monitoring of groundwater, and protection of waterways and recharge areas.



*The City promotes cost-effective urban run-off controls, such as low impact development (above) and naturalized stormwater management features, to reduce the rate of stormwater runoff and limit urban pollutants from entering the watercourses.*



Figure V-3 | Primary Stream System and Drainage Basin Boundary



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## GOALS AND POLICIES

### WATER QUALITY AND GROUNDWATER RECHARGE

**Goal OS3.1** Continue to improve surface water quality and accommodate water flow increases.

**Goal OS3.2** Enhance the quantity and quality of groundwater resources.

**Policy OS3.1** Utilize cost-effective urban run-off controls, including Best Management Practices, such as low impact development and naturalized stormwater management features, to reduce the rate of stormwater runoff and limit urban pollutants from entering the watercourses.

**Policy OS3.2** Implement erosion control and topsoil conservation measures to limit sediments within watercourses.

**Policy OS3.3** Ensure a buffer area between waterways and urban development to protect water quality and riparian areas.

**Policy OS3.4** Continue to monitor and participate in, as appropriate, regional activities affecting water resources, groundwater, and water quality.

**Policy OS3.5** Continue to monitor groundwater resources and investigate strategies for enhanced sustainable use. Areas where recharge potential is determined to be high shall be considered for designation as open space.

**Policy OS3.6** Where feasible, locate stormwater retention ponds in areas where subsoil is suitable for groundwater recharge.



*In general, the primary locations for potential groundwater recharge are along the City's major watercourses.*

# HISTORICAL, CULTURAL, TRIBAL CULTURAL, AND PALEONTOLOGICAL RESOURCES

## Prehistory

Prior to exploration by Spanish explorers and American trappers, the Roseville region was inhabited by the Valley Nisenan. The term Nisenan (“of us” or “from our side”) is applied to the Southern Maidu Indians who made their home along drainages of the American, Yuba, and Bear Rivers and the lower reaches of the Feather River. Two large, permanent Nisenan sites have been identified within the City – these sites are located within Maidu Regional Park. Numerous smaller archaeological sites have been identified throughout Roseville. Many of the sites contain shallow midden deposits and bedrock mortar milling stations.

The City operates the Maidu Museum & Historic Site. This center incorporates the significant archaeological resources found in the area and provides interpretive information for residents. The museum has interpretive school tours that align with the 3rd and 4th grade state curriculum and 3rd Saturday evening programs representing the California Native Community.

## History

Outside exploration of the region was first recorded in the early 1800s. This included explorations conducted by Gabriel Moraga between 1806 and 1808 and fur trapping expeditions led by Jed Smith in 1827 and 1828. The discovery of gold in 1848 brought over 10,000 people to Placer County, establishing Roseville as a railroad town and a local commerce center. Building materials, mining equipment, livestock staples, and other major commodities were delivered to the region by railroad. Roseville prospered as a principal rail head that provided the frontier towns with goods and services. By 1854, agricultural and ranching pursuits (fruit, grain and beef stock) had begun in the area.

Traces of Roseville’s ranching and mining past are still evident today. Holdings of the Spring Valley Ranch were enclosed by rock walls built by Chinese laborers. Several of these walls can still be found in the City. In addition, numerous historic features, including ditches, pits, small mounds, and low terraces exhibit evidence of historic mining operations along several of the City’s creeks. An inventory of significant historic sites has been prepared by the Roseville Historical Society. Three local sites, the Haman House, the Maidu Indian sites, and Fiddyment Ranch are listed on the National Register of Historic Places.

## Paleontology

The Planning Area has geologic formations that have yielded scientifically valuable fossils and have the potential for future discovery of paleontological resources. In Roseville, the Modesto, Riverbank, Turlock Lake, Mehrten, and Lone Formations are at the surface in the majority of the Planning Area and have yielded thousands of important fossils throughout the Central Valley. Exposures of a specific rock formation at any given site are most likely to yield fossils that are similar to those previously recorded from the rock formation in other locations. Therefore, the paleontological sensitivity of a rock formation is based on the types and numbers of fossils that have been previously recorded from that rock unit.



## OPEN SPACE AND CONSERVATION

### ARCHAEOLOGICAL, HISTORICAL, CULTURAL, TRIBAL CULTURAL, AND PALEONTOLOGICAL RESOURCES

#### **Goal OS4.1 Strengthen Roseville's unique identify through the protection of its archaeological, historic, paleontological, and tribal cultural resources.**

- Policy OS4.1** *Consult with local Native American Tribes that are traditionally and culturally affiliated with resources that could be affected by City plans or projects, identify areas that may be of cultural or tribal cultural significance, and determine appropriate treatment for the areas.*
- Policy OS4.2** *When items of historical, cultural, or archaeological significance are discovered within the City, a qualified archaeologist or historian shall be called to evaluate the find and to recommend proper action.*
- Policy OS4.3** *When feasible, incorporate significant archaeological and tribal cultural resource sites into open space areas.*
- Policy OS4.4** *The City shall coordinate with the appropriate federal, state, local agencies, and Native American Tribes upon discovery of artifacts. The City shall offer the Maidu Museum & Historic Site as a temporary housing location for artifacts that are discovered and subsequently determined to be "removable."*
- Policy OS4.5** *Preserve and enhance Roseville's historic qualities through the implementation of the Downtown and Riverside Gateway Specific Plans.*
- Policy OS4.6** *The preservation of buildings and other resources that have historical or architectural value should be considered, and the City will support willing private property owners in the preservation, maintenance, and/or renovation of significant historic resources, consistent with applicable Department of the Interior historic preservation standards.*
- Policy OS4.7** *Participate in countywide inventories of historical sites.*
- Policy OS4.8** *Encourage public activities, including the placement of monuments or plaques, that recognize and celebrate historic sites, structures, and events.*
- Policy OS4.9** *Pursue funding for cultural, archaeological, and historic programs and activities.*
- Policy OS4.10** *Provide opportunities for public awareness and education through coordination with the Roseville Historical Society, local schools, and culturally affiliated California Native American tribes.*
- Policy OS4.11** *Provide guidance to construction personnel for recognizing paleontological resources and when items of paleontological significance are discovered within the City, a qualified paleontologist shall be called to evaluate the find and to recommend proper action.*
- Policy OS4.12** *The City will continue to coordinate with Native American Tribes that are traditionally and culturally affiliated with resources in the Planning Area on management of, and access to City properties that have Tribal Cultural Resources.*

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# VI. PARKS AND RECREATION







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## PARKS AND RECREATION

### PURPOSE

The presence of accessible, appropriately programmed, well-designed parks and recreation facilities contributes to the quality of life in the community. Parks serve as the setting for a number of important recreational, economic and social functions. In addition, parks help to preserve natural features, scenic areas, and cultural and historic resources that are vital to the City's environmental health and sense of place. The City is committed to implementing sustainable programs to address conservation of natural resources. Urban parks and open space areas can help to reduce the potential effects of climate change through absorbing carbon in trees and landscapes, supporting natural stormwater management, lessening the urban heat island effect, and providing other environmental and social co-benefits.

It is the underlying goal of the Parks and Recreation Element to provide a variety of both passive/informal/self-directed and active/formal/programmed recreational opportunities for all City residents.

## SETTING

A discussion of parks and recreation would generally be included as a State law requirement in the Open Space Element of the General Plan. However, Roseville's commitment to providing a high level of public facilities and services has prompted the desire for a separate Parks and Recreation Element. Although separate, the Parks and Recreation Element is closely linked with the Open Space Element. Lands designated for parks and recreation uses provide an important component of the overall open space network. At the same time, open space areas of Roseville, while not classified as traditional "active" parklands, possess some recreational value. Open space areas can include trails and multi-use paths for cyclists, pedestrians, and non-motorized vehicle use. These open space areas represent an integral component of the City's plan to provide both passive and active recreational opportunities that are the focus of this Element.<sup>1</sup>

Roseville's park and recreation facilities are operated by the City of Roseville Parks, Recreation & Libraries Department. The Department is responsible for the development and maintenance of the City's various recreational facilities, including community centers/libraries (Maidu Regional and Mahany), parks, public golf courses, public swimming pools, and open space areas. In addition, the Department manages a full range of recreation programs and community events for the residents of the community.

The City of Roseville has an adopted standard of nine acres of parkland per 1,000 residents and defines "parkland" to include public developed parks, recreational open space, and joint-use, park-school facilities. The nine-acre standard is further divided into six acres of developed parks per 1,000 residents and three acres of open space per 1,000 residents. As of the writing with this document, the City is meeting the parkland standard.

While the parkland standard is calculated on a citywide basis, park and recreation facilities are not evenly distributed throughout the City. In general, areas of the City developed through Specific Plans meet or exceed the park acreage standard, while areas of the City that were developed prior to adoption of the parkland standard are often below the standard levels. Through implementation of this General Plan, the City will increase access to park and recreational opportunities in types and amounts that are appropriate for Roseville's diverse neighborhoods.

Many of the City's residents live within close proximity to developed park space where programmed recreational activities can occur. Additional park space can be provided in underserved areas through development of other recreational opportunities.

### Parkland Definitions

The components of Roseville's park and recreation system are described further in the following sections, including descriptions of:

- Traditional Parklands
- Open Space Lands
- Other Green Space

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<sup>1</sup> Passive parkland is typically informal, in some instances, undeveloped or relatively less developed space that requires minimal development. Passive parkland can be included in neighborhood or pocket parks and offers less structured recreational activities that require little or no specialized facilities or management, such as walking and jogging, hiking and nature walks, wildlife viewing and bird watching, painting, picnicking, and photography. Active parkland accommodates structured recreational activities, such as organized sports, that generally require specialized facilities and management that may restrict general use of the park.



- Other Recreational Facilities

## TRADITIONAL PARKLANDS

Traditional parklands refer to City-owned sites that provide a variety of active and passive recreational spaces and facilities. These sites are the type of facilities most people envision when describing a park. Traditional parklands typically include formal/programmable facilities, such as ball fields, multi-use turf areas, hard court areas, and informal/self-directed amenities, such as walking and bicycling paths, non-programmed turf areas, and picnic and play areas. Such areas are normally counted on a 1:1 ratio toward the nine (9) acres per 1,000 population standard.

The City has classified its traditional parkland sites into a hierarchy of three primary categories. These include neighborhood parks, neighborhood/school parks, and citywide (regional) parks. The hierarchy is based on a number of factors, including the size of the site, facilities provided, location, and area served.

- **Neighborhood Park.** Typical Size Range: 3–5 acres. One hour to one-and-a-half hour stay per visit. A neighborhood park is generally a landscaped park designed to serve a concentrated population or neighborhood. They are often developed as a recreation facility with a balance of passive/informal/self-directed and active/formal/programmable recreation areas serving all ages. Typical improvements are play areas, picnic tables (covered or uncovered), practice athletic fields, multi-use turf, hard courts, natural areas, pathways, security lighting, and in some cases, unique or single-purpose amenities.
- **Neighborhood/School Park.**<sup>2</sup> Typical Size Range: 5–10 acres. Two- to three-hour stay per visit. School park areas are facilities developed adjacent to school land that is also available for public use. Facilities would focus on clustering active ball fields, whenever possible, in order to alleviate impacts to neighborhood parks and to provide more cost-effective maintenance practices. The facilities may be jointly used and/or developed. They are often developed as an active/formal/programmable recreation facility serving all ages. Typical facilities may include play areas, athletic fields (non-lighted, except adjacent to high school sites), picnic areas, hard courts, game courts, pathways, and security lighting. Shared or joint-use facilities could include swimming pools, splash pads, gymnasiums, hard courts, sports courts, and specialty elements. Restrooms may be included, but are not required. The facilities could be subject to use restriction and/or maintenance agreements defined in a specific joint-use agreement between the subject school district and the City.
- **Citywide Park.** Typical Size Range: 4–200+ acres. Half- to full-day recreational experience. Citywide parks are designed to accommodate a wider variety and higher intensity of recreational uses than neighborhood or neighborhood/school parks, and are frequently identified as unique recreational centers serving the entire City and/or region. These facilities are designed to “cluster” active sport elements to accommodate citywide or regional needs, such as tournaments, special events, and/or sports tourism, and to provide more cost-effective maintenance practices. These parks may include unique recreational amenities, such as plazas, town centers, large specialty recreation facilities, swimming pools, splash pads, libraries, community centers, outdoor areas, competitive sports complexes, tennis courts, sports courts and sports lighting, concessions, nature centers, large children’s play areas, large group picnic facilities, trail systems, transit stops, outdoor amphitheaters, water-oriented facilities for boating, swimming, and fishing, restrooms, and park-and-ride within parking lots. Citywide facilities may be stand-alone or located adjacent to schools.

## OPEN SPACE LANDS

Open space areas are defined as wetlands, vernal pool preserves, oak woodlands, watershed/riparian areas, and greenbelts. These lands may be used as passive/informal/self-directed recreation for visual and aesthetic enjoyment. In addition, such areas may accommodate bikeway or other multi-use trail

<sup>2</sup> The multi-use of school and park facilities is also addressed in the school component of the Public Facilities Element.

connections. Open space areas also provide value in terms of counteracting the effects of climate change and protecting special-status species and their habitat.

Recognizing that open space lands provide recreational opportunities, the City has identified these lands as having potential recreational value in meeting the park acreage standard. "Recreational value" is primarily defined as a measure of public accessibility to both active and passive/informal/self-directed recreational opportunities. This value may be increased through improvements, including bike trails, pedestrian pathways, interpretive displays, signage, and other improvements that increase use, accessibility, environmental education, and value for recreational users.

Open space lands that satisfy the City's requirement for recreational status could qualify as parkland. The City has designated a ratio of 1:1 for open space acreage (i.e., wetlands, lower watershed and riparian areas, greenbelts, oak woodlands) toward the provision of the nine acres per 1,000 residents parkland standard, up to a maximum of 3 acres of the total 9 acres required.

This system gives the City flexibility in meeting future recreational needs and recognizes the role open space plays in providing recreation opportunities. The Parkland Development section in this Element lists the conditions and type of parklands and facilities that may be considered to be applied to the parkland dedication standards.

## OTHER GREEN SPACE

- **Paseos.** Paseos promote walking and biking by establishing connectivity between residences and parks, schools, local businesses, trail systems, and other destinations. They may include sidewalks, plant materials, and bike/pedestrian trails. Paseos vary in width from 25–100 feet, depending on the intended use and location. Paseos are open to the surrounding neighborhood by maintaining a street frontage to one side, ensuring that paseos are not hidden. This provides visibility to residents and City staff for security purposes. Paseos are typically not factored into the City's parkland acreage standard. However, paseos with some passive/informal/self-directed recreational amenities, such as a bike paths and exercise pods, may be considered for an open space allocation, up to a maximum of 3 acres per 1,000 residents. This may be granted, at the discretion of the Parks, Recreation & Libraries Department, if open space parkland dedication requirements cannot be achieved because the subject project is an infill project, because the property in question is land locked, or due to other special circumstances.
- **Greenways.** Greenways are wide, usually linear, landscape corridors with sidewalks and/or bike/pedestrian trails. They usually consist of very simple landscaping features, such as turf, trees, and/or shrubs, but also may include no landscaping at all. They typically link streets together to provide opportunities for walking or biking, and they may be a prominent component of a Class I bike path system. They differ from paseos in that they can be undeveloped, are relatively more focused on transportation and movement, and usually have greater widths and lengths. While containing some characteristics of open space areas, they may also contain some formal landscaping features and irrigation. No developed parkland allocations would be applied to these areas.

## OTHER RECREATIONAL FACILITIES

- **Golf Courses and Other Private Recreation Facilities.** Golf courses provide additional recreational opportunity in the community. There are four existing golf courses, including the privately owned Sierra View County Club and Sun City Golf Course, and the publicly owned Diamond Oaks Golf Course and Woodcreek Golf Club. The City of Roseville is responsible for developing, operating, and maintaining the public courses. Other private recreation facilities in Roseville include fitness/racquet clubs, recreation areas in multi-family developments, and other commercial recreation businesses, such as entertainment centers or water parks. Although private recreation opportunities are an important part of the City's overall recreation system, the General Plan policies focus on *public* park and recreation facilities to ensure high-quality



recreation access for all residents. Typically, golf courses, whether public or private, and other private recreation facilities are not factored into the City's parkland acreage standard.

- **Bicycle and Pedestrian Paths.** Bicycle and pedestrian paths are not included in the park and recreation acreages described in this Element or in calculating achievement of the City's park standard. However, these networks are multi-purpose and can provide recreation opportunities, in addition to transportation access. These important pathways also provide residents with access to the City's park and open space areas. Bicycle and pedestrian paths are addressed further in the Circulation Element.

Figure VI-1 shows the location of the City's parks, as well as other primary components of the parks and recreation system.



*The presence of accessible, appropriately programmed, well-designed parks and recreation facilities contributes to the quality of life in the community.*

## ORGANIZATION

The contents of this Element are consolidated into one component, Parks and Recreation, which provides parkland development standards, park siting and design standards, and goals and policies for parks, open space, and recreation.

## PARKLAND DEVELOPMENT

In the development of parks and recreational facilities, the standards in Table VI-1 and Table VI-2 shall apply Citywide. The City will determine what type, location and characteristics of parkland and open space satisfy the City’s requirements in order to meet the park standards based on recreational value, accessibility, potential benefit to the community, and the benefit generated to the City as a whole.<sup>3</sup> Parkland counted toward the City’s acreage standard requires provisions to ensure that the applicable lands or facilities remain in their intended use on a long-term basis. The City’s parkland standard will be implemented, as illustrated in Figure VI-2.

**Table VI-1 | Park Standards**

Components	Traditional Parkland			Open Space Areas
	Neighborhood Park	Neighborhood / School Park	Citywide Park	Open Space
Acreage per 1,000 Residents	3 acres		3 acres	3 acres
Desired Size	3 to 5 acres <sup>1</sup>	5 to 10 acres	4 to 200+ acres	2 to 100+ acres
Population Served	2,000 to 3,000	2,000 to 3,000	All	All
Service Area	¼ to 1 miles	¼ to 1 miles	Citywide	Citywide

<sup>1</sup> Parks may be less than 3 acres (0.5 acres if existing and 1.0 acre or greater if planned). The City’s preference is that neighborhood parks be planned at 3 acres or greater to ensure adequate space for recreation needs.

### Traditional Parkland

Of the 9 acres per 1,000 residents to be provided, 6 acres will be traditional parkland, which includes neighborhood parks, neighborhood/school parks, and citywide parks. Typically, the six acres are divided into three acres for neighborhood and neighborhood/school parks and three acres for citywide parks.

Traditional parkland shall consider the identified gaps and community needs between active/formal/programmable and passive/informal/self-directed recreation and access to such recreational opportunities in the adjacent or surrounding areas. Neighborhood parks should seek to provide passive, informal, self-directed recreational opportunities, while neighborhood/school parks and citywide parks should provide active, formal, programmable recreation.

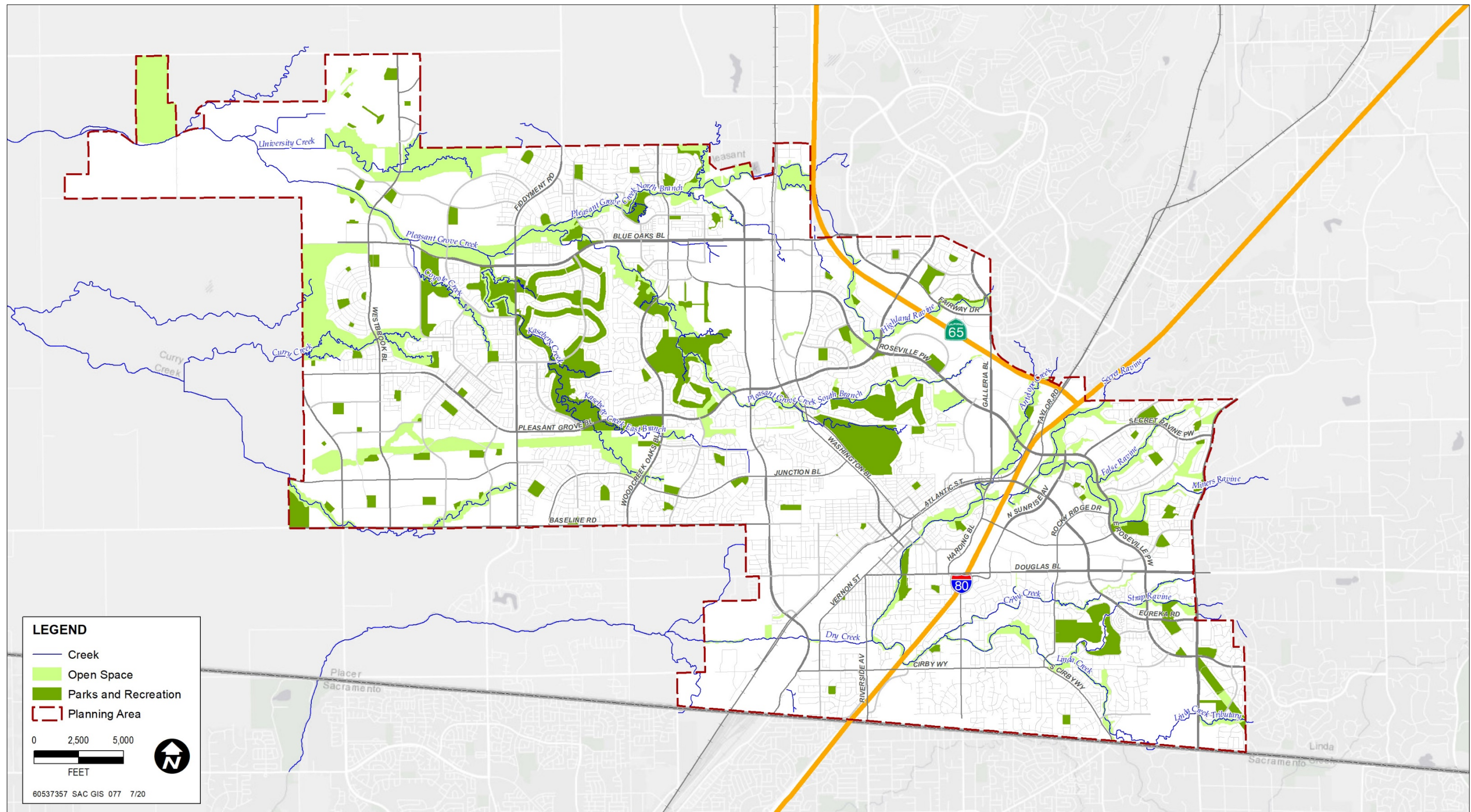
### Open Space Areas

Of the nine acres per 1,000 residents to be provided, three acres will be open space areas. Non-traditional public land may also be considered for application toward the open space standard if it can be determined that it adds a needed community recreational value, defined as a measure of public accessibility and recreational improvements. This may include providing bike paths along creeks or golf courses, or vernal pools with walking paths, picnicking areas, and interpretive signage. The dedication of open space lands in excess of three acres per 1,000 residents would not be applied toward any remaining traditional parkland standard (i.e., six acres per 1,000 residents). Other non-traditional public lands may be considered for the open space allocation as identified in Figure VI-2.

<sup>3</sup> Allocations for parklands are typically determined as a part of the Specific Plan (for projects that are located within a Specific Plan Area).



Figure VI-1 | Parks and Recreation Areas and Open Space





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Figure VI-2 | Parkland Allocation

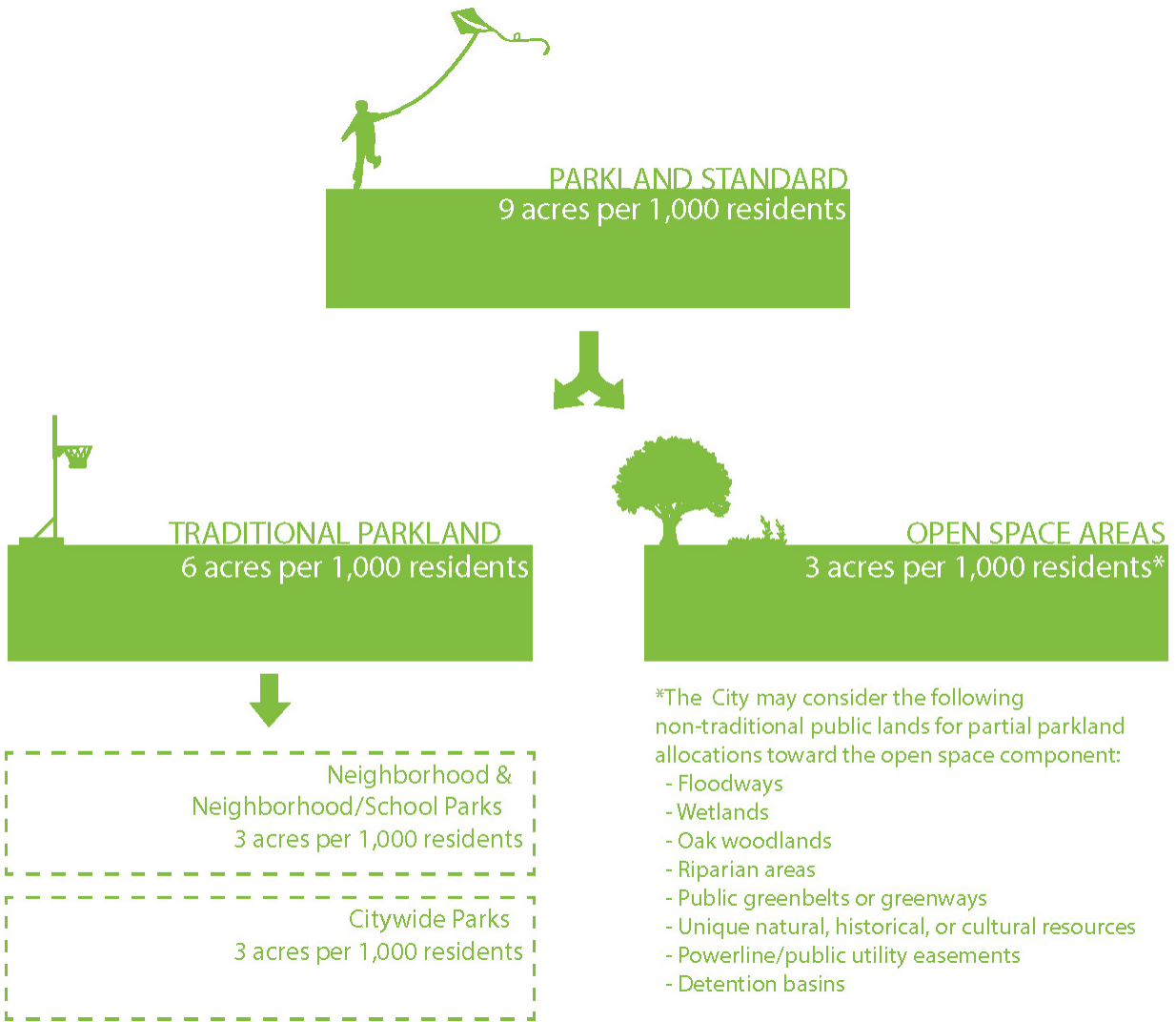


Table VI-2 presents the park siting and design criteria to be applied to future park development.

Table VI-2   Park Siting and Design Criteria	
<b>All Parks</b>	
	<ul style="list-style-type: none"> <li>• Locate strategically within designated service area</li> </ul>
	<ul style="list-style-type: none"> <li>• Provide convenient and safe access for pedestrians, bicyclists, and autos</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate with frontage on at least two public streets</li> </ul>
	<ul style="list-style-type: none"> <li>• Choose sites that have interesting or special features</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate in areas that can be viewed easily for security purposes</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate to link with existing and planned trails, the open space network, and other connections</li> </ul>
	<ul style="list-style-type: none"> <li>• Choose sites that avoid possible hazards, such as heavy traffic, railroads, industrial sites, or electrical transmission line easements</li> </ul>
	<ul style="list-style-type: none"> <li>• Provide buffers between active use areas/formal/programmable and adjacent residential development</li> </ul>
	<ul style="list-style-type: none"> <li>• Where parks are proposed with streets that include on-street bike lanes, parallel parking shall also be provided along the street frontage</li> </ul>
<b>Neighborhood Parks</b>	
	<ul style="list-style-type: none"> <li>• Locate with frontage on collector streets, when possible</li> </ul>
	<ul style="list-style-type: none"> <li>• Avoid separation of park and residential areas by major arterials or other barriers</li> </ul>
	<ul style="list-style-type: none"> <li>• Highlight neighborhood identity and create an identity with each park, but do not generally have facilities or events that are a regional attraction</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate smaller neighborhood parks within neighborhoods and in proximity to small-lot, higher-density residential development (e.g., apartments, condominium/townhouse complexes, senior housing) and within business districts</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate larger neighborhood parks within 0.5 to 1.0 miles of neighborhood to be served and avoid crossing major roadways</li> </ul>
<b>Neighborhood / School Parks</b>	
	<ul style="list-style-type: none"> <li>• Locate with frontage on collector streets</li> </ul>
	<ul style="list-style-type: none"> <li>• Avoid separation of parks from residential areas they serve by major arterials or other barriers</li> </ul>
	<ul style="list-style-type: none"> <li>• Jointly plan parks with the adjacent school to expand indoor and outdoor recreational opportunities for community recreation</li> </ul>
	<ul style="list-style-type: none"> <li>• Combine off-street parking with school parking, when possible</li> </ul>
	<ul style="list-style-type: none"> <li>• Coordinate the site planning of the joint use sites to minimize duplication of recreational amenities in order to provide a wider variety of recreational opportunities</li> </ul>
	<ul style="list-style-type: none"> <li>• Coordinate placement of security fencing to allow for community access and avoid maintenance conflicts</li> </ul>
	<ul style="list-style-type: none"> <li>• Cluster formal/active/programmable fields to the extent possible</li> </ul>
<b>Citywide Parks</b>	
	<ul style="list-style-type: none"> <li>• Locate with frontage on major collector or arterial roadway, and near major arterials or freeways to provide a maximum degree of accessibility</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate adjacent to schools or commercial/retail/hotel centers, as park features dictate</li> </ul>
	<ul style="list-style-type: none"> <li>• Locate larger, more active facilities away from residential neighborhoods</li> </ul>
	<ul style="list-style-type: none"> <li>• Provide off-street parking</li> </ul>
	<ul style="list-style-type: none"> <li>• Incorporate unique or special features and facilities</li> </ul>
	<ul style="list-style-type: none"> <li>• Consider recreational trends and gaps when identifying specific amenities</li> </ul>
<b>Open Space Areas</b>	
	<ul style="list-style-type: none"> <li>• Locate consistent with the Open Space Element</li> </ul>
	<ul style="list-style-type: none"> <li>• Provide public and service access to open space areas, except those areas sensitive to human presence</li> </ul>



### Table VI-2 | Park Siting and Design Criteria

- Ensure vehicle access for required maintenance and biological monitoring, as required in the Open Space Preserve Overarching Management Plan
- Provide an inter-connecting system of open space corridors consisting of public and private open space and, where feasible, incorporate bikeways and pedestrian paths, interpretive signage, etc.
- Highlight unique or special features in the open spaces, such as cultural heritage or historical features through outreach, educational kiosks, interpretive signs, etc.
- Consider regional linkages between open space and adjacent communities, including public access for purposes of recreation and implementation of the City of Roseville Bicycle Master Plan, Pedestrian Master Plan, or other adopted plans

#### Paseos

- Locate paseos adjacent to residential subdivisions
- Develop paseos to be open to a street or cul-de-sac on one side at all times
- Provide a minimum of 50 percent street-edge frontage on each side
- Develop with a sidewalk or a Class I bike path, and provide connectivity between residences, parks, schools, and local businesses
- Provide lighting from bollards, street lights, and/or accent lights

#### Greenways

- Locate greenways within neighborhoods and provide links to streets and other public facilities similar to paseos and may be sited underneath power lines and other areas similar to open space
- Locate greenways as a border along the back or side yards of residential neighborhoods
- Greenways are typically wider than paseos, focus on transportation and movement, and may contain Class I bike paths
- Greenways may be undeveloped and natural



*The City will maintain flexibility in applying the standards to best meet the parks and recreation needs of the community.*

## **GOALS AND POLICIES**

### **PARKS AND RECREATION**

**Goal PR1.1** Provide adequate parkland, recreational facilities, and a wide variety of programs, activities, and educational opportunities using public and private resources.

**Goal PR1.2** Maximize the use of dedicated parklands and open space areas to provide residents with both active/formal/programmable and passive/informal/non-programmed recreation opportunities.

**Policy PR1.1** *The City shall ensure the provision of nine acres of parkland per 1,000 residents, but may waive parkland acreage and fee requirements in targeted reinvestment areas, such as along mixed-use corridors in the Infill Area and the Downtown and Riverside Gateway Specific Plan Areas.*

**Policy PR1.2** *Retain flexibility in applying parkland standards, in terms of size, facilities, and service areas, so that existing and future needs can be met.*

**Policy PR1.3** *The City may consider open space lands that provide active and/or passive recreational value to residents as counting towards the parkland standards.*

**Policy PR1.4** *The City will consider payment of in-lieu fees for both development and parkland as an alternative to dedication of land in order to achieve the parkland standard.*

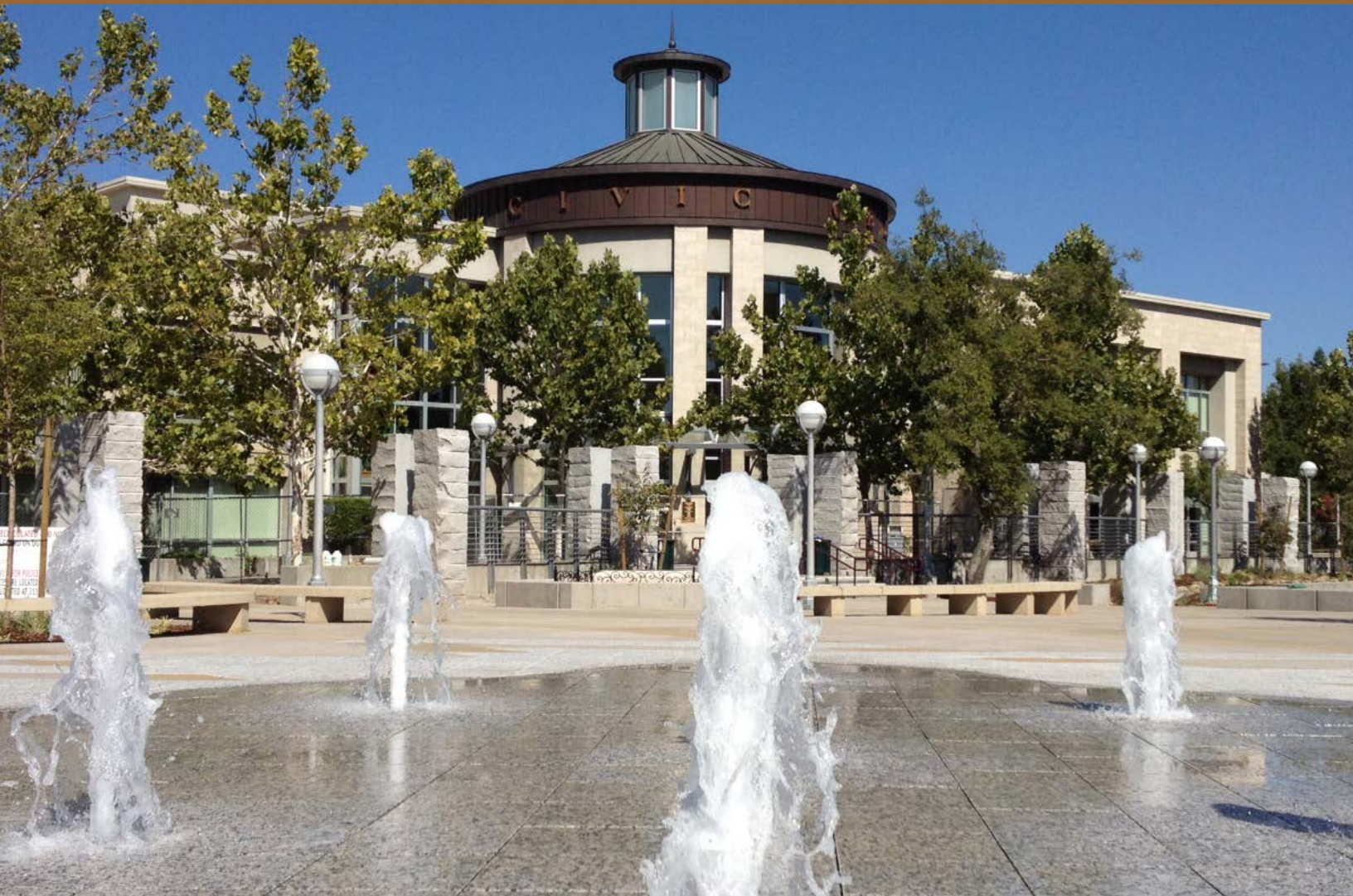


- Policy PR1.5** *The City shall prioritize discretionary and grant funding for areas of the community that are underserved in terms of access to passive and active recreation opportunities.*
- Policy PR1.6** *Identify opportunities to develop additional parks or other public recreation facilities in underserved areas of the community where access to such facilities exceeds one-half mile walking distance for residents.*
- Policy PR1.7** *Continue to collaborate with the local school district on planning, financing, and development of joint-use park and recreational facilities.*
- Policy PR1.8** *Base the provision of parks and recreation facilities on the needs of Roseville residents and assess these needs periodically.*
- Policy PR1.9** *Cooperate with other jurisdictions to provide regional recreation facilities, where appropriate.*
- Policy PR1.10** *Take into consideration energy efficiency and water conservation, including the use of treated wastewater, in design and development of parks, streetscapes, and paseos.*
- Policy PR1.11** *Plan for safe and secure parks and recreation areas.*
- Policy PR1.12** *Require that parks and recreational facilities be phased or fully completed so as to be available as adjacent residential uses are developed.*
- Policy PR1.13** *Accommodate those with special needs through parks and recreation facilities and programs, including for teenagers, seniors, and people with disabilities, and meet the requirements of the Americans with Disabilities Act.*
- Policy PR1.14** *Ensure that adequate funding is provided for initial development and ongoing maintenance and operation of new public parks, recreation facilities, open space, paseos, and greenways.*



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## VII. PUBLIC FACILITIES







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## PUBLIC FACILITIES

### PURPOSE

In order to serve the needs of its citizens, the City of Roseville recognizes the importance of establishing goals and policies related to public facilities. A city's ability to consistently provide adequate services strengthens the community by advancing the health and well-being of its residents and enterprises. Ongoing surveys of Roseville citizens show that the majority of residents are highly satisfied with the City's level of public services.

There are crucial relationships between the City's approach to providing public services and facilities and achieving the City's economic, environmental, and social goals. For example, the City's economic goals and fiscal sustainability will depend on development patterns that allow for efficient and cost-effective infrastructure and public service provision. Public services and infrastructure are important to business location and expansion decisions, as well. Efficient, cost-effective, sustainable public services and infrastructure provision, in part, will help to spur economic development. The City is interested in holding down public and private costs associated with infrastructure and services provision and passing along cost savings to future developers, businesses, and residents.

As a show of the importance of excellent public services and facilities, the City has included this optional element as a part of the General Plan. The purpose of the Public Facilities Element is to identify facility and service needs of the community as growth and development occur. The underlying goal of the Public Facilities Element is to ensure adequate services for residents and enterprises and that new development contributes a fair share toward the provision of these services and facilities.

## SETTING

Roseville prides itself on being a full-service City. As shown in the public service providers chart (Table VII-1), Roseville provides water, wastewater, recycled water, solid waste, electric, and library services to its residents. School services are provided by the local school districts, and natural gas service is provided by Pacific Gas & Electric (PG&E). While many services and facilities are provided locally, the City will continue to pursue regional solutions to issues associated with development in Placer and Sacramento counties in collaboration with neighboring jurisdictions.

**Table VII-1 | Providers of Public Services for the City of Roseville**

Service	Providers
Cable Television	<i>Comcast, AT&amp;T, Wave Broadband, Consolidated Communications</i>
Electricity	<i>City of Roseville</i>
Fire and Police Protection	<i>City of Roseville</i>
Flood Control and Drainage	<i>City of Roseville</i>
Library	<i>City of Roseville</i>
Natural Gas	<i>Pacific Gas &amp; Electric</i>
Parks and Recreation	<i>City of Roseville</i>
Recycled Water Services	<i>City of Roseville</i>
Schools	<i>Roseville Joint Union High, Eureka Union, Dry Creek Joint, Roseville City, and Center Unified School Districts</i>
Solid Waste	<i>City of Roseville</i>
Street Lighting and Maintenance	<i>City of Roseville</i>
Telephone	<i>AT&amp;T, Wave Broadband, Consolidated Communications</i>
Wastewater Services	<i>City of Roseville</i>
Water Services	<i>City of Roseville</i> <i>Citrus Heights Water District</i> <i>San Juan Water District</i> <i>Placer County Water Agency</i>

## ORGANIZATION

The Public Facilities Element is organized into the following components:<sup>1</sup>

- **Civic and Community Facilities** examines goals and policies for government and community facilities. The component reflects the vision of Downtown Roseville as the civic and cultural heart of the city. At the same time, it emphasizes the importance of extending resources to outlying

<sup>1</sup> Please see the Safety Element for a discussion of hospitals, flood control, and fire and police protection, and see the Parks and Recreation Element for a discussion of recreational facilities and spaces.



neighborhoods in the form of clustered facilities that may provide park space, senior centers, and civic meeting places, including libraries.

- **Schools** underscores the need for the City to work cooperatively with local school districts and new development to ensure adequate financing, provision, and joint-use of public school facilities.
- **Electric and Privately-Owned Utilities** acknowledges the function of energy utilities in providing the foundation for a safe, healthy, and efficiently managed community.
- **Water System** emphasizes the need to accommodate planned new development and, at the same time, satisfy the needs of current residents. This necessitates continual monitoring of the existing system's capacity to identify potential need for future expansion.
- **Wastewater and Recycled Water Systems** defines the City's approach to growth and development, both within and outside its boundaries, as it relates to wastewater and recycled water. Ongoing regulatory changes will require monitoring of development locally and regionally in order to identify the need for capacity changes, as well as opportunities to increase and expand the use of recycled water use.
- **Solid Waste Collection, Disposal, Source Reduction, and Recycling** addresses the City's role in its joint powers agreement with other Placer County jurisdictions to participate in regional solutions to solid waste disposal, reduction, and recycling. The City's goals and policies target reduction in the quantity of future generated waste, while providing a safe and efficient system for solid waste disposal.
- **Water and Energy Efficiency** outlines the goals and policies for conserving water and energy in order to provide environmental benefits and reduce ongoing household and business costs. Increasing demand as a result of development consistent with the General Plan, coupled with decreasing supplies of natural resources, challenges the City to balance conservation efforts and energy supplies, while providing maximum benefit to City residents and businesses.
- **Extension of City Services** details the City's policies related to extending water, wastewater, recycled water, solid waste, and electric service to areas outside City boundaries. These public facilities play a vital part in growth and development. It is the intent of this component to specify conditions for provision of these services to outlying areas in a manner that does not compromise the quality of life for the citizens of Roseville.

## CIVIC AND COMMUNITY FACILITIES

The City of Roseville owns and operates civic facilities comprising of buildings and properties that are used not only for the daily operation of City government, but also for community-based activities of its local citizens. Many of the primary City functions are housed Downtown, but increased demand for services will lead to more civic facilities outside the Downtown area. The City's Specific Plans each designate locations for neighborhood level recreational facilities and other multi-purpose meeting facilities, which will be provided through joint-use facilities/agreements between the City and the school districts.

Existing and planned City facilities are shown in Figure VII-1.<sup>2</sup> These facilities include:

- **Civic Center:** The Civic Center is in Downtown Roseville and houses a variety of City functions: City Manager, City Attorney, Finance, Human Resources, Risk Management, City Clerk, Economic Development, Development Services, Public Works, Alternative Transportation, Housing, Parks, Recreation, Libraries, and the administrative offices of the Fire Department.
- **Community Facilities:** The City has many different community facilities for public use. The Maidu Community Center serves the southern and eastern portions of the Planning Area as the primary facility for meetings, receptions, and recreational and educational programs. Other community facilities include the Carnegie Museum in Old Town, Maidu Interpretive Center and historic site, Roseville Sports Center at 1545 Pleasant Grove Boulevard, meeting rooms within the joint-use building housing the Martha Riley Community Library and Utility Exploration Center, Roseville Aquatics Complex at 3051 Woodcreek Oaks Boulevard, and Mike Shellito Indoor Pool at 10210 Fairway Drive. These facilities serve the meeting, reception, and recreational programming needs for the northern portions of the Planning Area. As demand for such facilities increases in the outlying newer neighborhoods of the City, additional facilities will be required to achieve the objective of creating neighborhood centers. These new facilities will include a community center planned for the Regional Sports Park area in the West Roseville Specific Plan Area to serve western portions of the Planning Area. Currently, most community center facilities are located within existing and planned park sites.
- **Public Library System:** The library system provides facilities and services for people within the community as a vital public service and contributor to the community's quality of life. The system includes three individual facilities: the Downtown Library located in Downtown Roseville in close proximity to the Civic Center; the Maidu Library located in Maidu Regional Park; and the Martha Riley Community Library located in a joint-use facility within Mahany Park that includes meeting rooms and the Utility Exploration Center.
- **Corporation Yard:** The Corporation Yard is located at 2005 Hilltop Circle and houses administrative offices and work storage areas for the following City functions: Central Stores and Purchasing; Fleet Services; Facility Services; Environmental Utilities Department; Parks Department; Fire Training Facility; and Streets Division.
- **Electric Department:** Roseville Electric operates and maintains the City's electric utility system. Its service center and corporation yard are located at 2070, 2080, and 2090 Hilltop Circle. The building houses all Roseville Electric employees. Utility billing and meter reading are handled by the City's Finance Department located at the Civic Center. The utility also operates a natural gas fired power plant, the Roseville Energy Park, at 5120 Phillip Road.

<sup>2</sup> While fire station sites are depicted on this map, specific discussion related to these facilities is included in the Safety Element. Park and golf course facilities are mapped in the Parks and Recreation Element.



- ***Al Johnson Wildlife Area (Reason Farms/Pleasant Grove Retention Basin Property):*** The property includes approximately 1,700 acres of land along Pleasant Grove Creek. The property was acquired by the City in 2004, as a site for a future retention basin project to reduce potential downstream volumetric flooding caused by urban development within the City of Roseville and certain outlying areas. The retention basin project is designed to provide opportunities for compatible passive recreation and resource-based uses. In addition to these uses, the property's southern panhandle could support future urban uses and regional transportation infrastructure (Placer Parkway). While this project is being designed and constructed, the City leases the property for rice, dry farming, and cattle grazing.

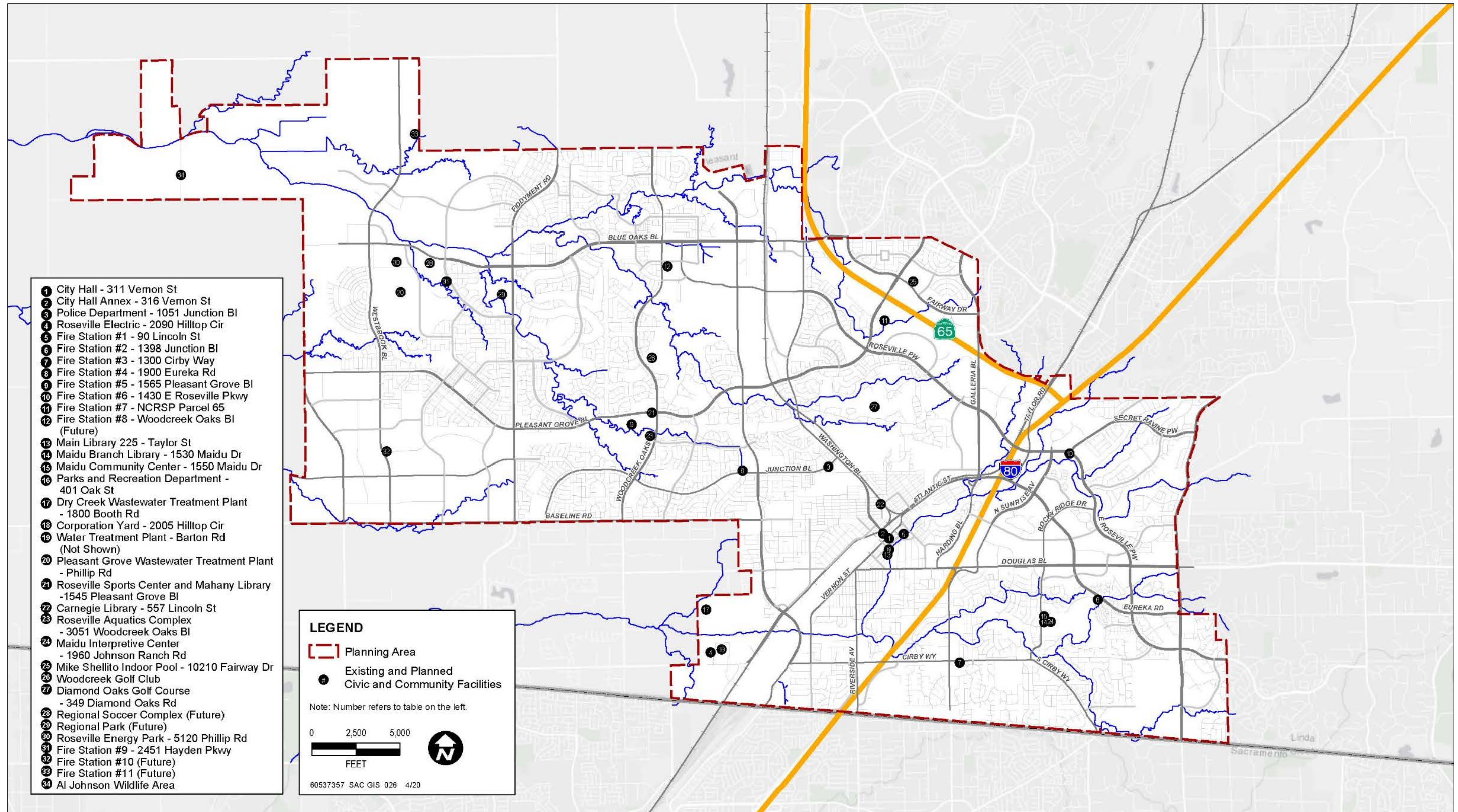


*A city's ability to consistently provide adequate services strengthens the community by advancing the health and well-being of its residents and enterprises.*

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Figure VII-1 | Existing and Planned Civic and Community Facilities



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## GOALS AND POLICIES

### CIVIC CENTER, COMMUNITY, AND MAINTENANCE FACILITIES

**Goal PF1.1** Continue to focus City administrative facilities Downtown by providing efficient expansion opportunities to fill future needs, good public service and access, and a quality civic architectural image.

**Goal PF1.2** Cluster and connect community facilities in neighborhood centers, including parks, libraries, and community centers.

**Goal PF1.3** Consider both the expansion and consolidation of public service and maintenance facilities in order to adequately and efficiently serve the needs of City residents and businesses.

**Policy PF1.1** *The City will plan for and maintain adequate City facilities in the Downtown area.*

**Policy PF1.2** *Develop clustered community facilities, including libraries, parks, schools, community centers, and public meeting places, to maintain high-quality services at the neighborhood level.*

**Policy PF1.3** *Explore collaborative or co-location agreements with public and private organizations and businesses where needed facility expansion by the City is not feasible due to limited resources and/or space.*

**Policy PF1.4** *Ensure the costs of ongoing maintenance and operations are fully considered when planning and designing new capital facilities.*

### PUBLIC LIBRARY SYSTEM

**Goal PF2.1** Recognize library services as a vital public service that contributes to the community's quality of life.

**Goal PF2.2** Provide library services and locate library facilities to adequately serve all City residents.

**Goal PF2.3** Create environments that encourage opportunities for self-learning, and cultural and civic engagement.

**Policy PF2.1** *Continue to provide a variety of library programs serving library users of all age groups.*

**Policy PF2.2** *Maintain the library in Downtown Roseville as a key public service to revitalizing Downtown Roseville.*

**Policy PF2.3** *Provide libraries throughout the City to locally serve residents, with a focus on accessible, relatively higher density infill areas along major transit routes.*

**Policy PF2.4** *Provide branch libraries to serve population increments of approximately 40,000. The City shall give priority to the construction of new libraries in communities that are deficient in library services.*

- Policy PF2.5** *Plan for the clustering and connection of community facilities in neighborhood centers that include parks, libraries, community centers, and other complementary uses.*
- Policy PF2.6** *Continue to partner with local school districts, businesses, community members, and Placer County in the provision of high-quality library services.*
- Policy PF2.7** *Encourage the transition of libraries as multi-functional facilities, cultural centers, gathering spaces, and venues for programs, including arts-related events.*



## SCHOOLS

Although not responsible for educational facilities or services, the City of Roseville is committed to supporting the local school districts and provision of educational opportunities for all citizens. The City and the district boards have a long-standing history of coordination on financing and development issues. In addition, there is high demand for higher learning institutions in Placer County, and the City will coordinate with regional partners to continue to explore and support other universities and colleges in the region.

Roseville has two high school districts, three elementary districts and one unified district (both elementary and high school). These include the Roseville Joint Union High School District, Eureka Union School District, Dry Creek Joint Elementary School District, Roseville City School District, and Center Unified School District. Figure VII-2 shows school facility locations within the City, as well as the school district boundaries. Private schools and a community college district also exist within the City of Roseville.

The Roseville Joint Union High School District serves the majority of the Planning Area and includes portions of unincorporated Placer and Sacramento Counties. Eureka Union School District serves a small area in the eastern portion of the City's Planning Area. Center Unified School District serves portions of the southwestern Planning Area and portions of unincorporated Placer County and Sacramento County.

The focus of the policies in the Schools Component is on financing, timing, and joint use of school facilities, in light of planned development throughout the Planning Area. In implementing its policies, the City will work cooperatively with the school districts to pursue all sources of financing, while pursuing opportunities for mutually beneficial joint use of facilities and recreational spaces.



*Although not responsible for educational facilities or services, the City of Roseville is committed to supporting the local school districts and provision of educational opportunities for all citizens.*

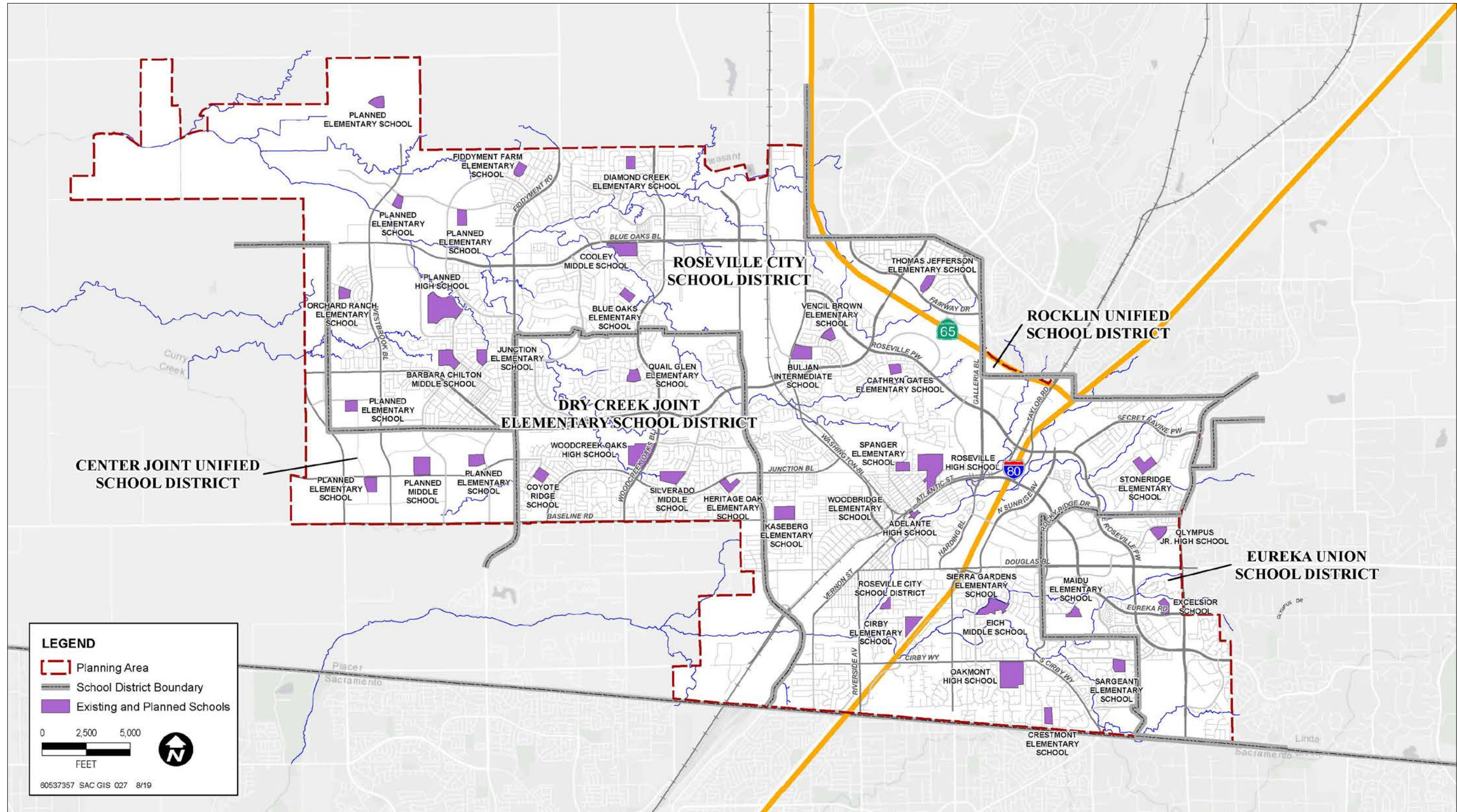
## GOALS AND POLICIES

### SCHOOLS

- Goal PF3.1**      **The provision of adequate school facilities is a community priority. The school districts and the City will work closely together to obtain adequate funding and identify locations for new school facilities.**
- Goal PF3.2**      **The City and the school districts encourage a mutually-beneficial arrangement in the joint-use of school and public facilities. Joint-use facilities shall be encouraged in all cases unless there are overriding circumstances that make it impossible or detrimental to either the school district or the City's park and recreation facilities/programs.**
- Goal PF3.3**      **The City will work with all school districts within the region to provide educational opportunities for all students.**
- Policy PF3.1*      *The City will work cooperatively with the school districts to explore all local and State funding sources in order to secure adequate funding for new school facilities.*
- Policy PF3.2*      *Financing for new school facilities should be identified and secured before new development is approved, where feasible.*
- Policy PF3.3*      *State facilities will be provided in response to needs identified by the districts and the City.*
- Policy PF3.4*      *The City and the school districts will work together to develop criteria for the designation of school sites, consider the opportunities for reducing the cost of land for school facilities, and work to minimize vehicular traffic by ensuring opportunities for bicycle and pedestrian connections. The City shall encourage the school districts to comply with City standards in the design and landscaping of school facilities.*
- Policy PF3.5*      *For proposed joint-use facilities, the City and the school districts, will pursue joint-use agreements to maximize public use of facilities, minimize duplication of services provided, and identify operational and maintenance responsibilities and financial responsibilities.*
- Policy PF3.6*      *Designate public/quasi-public land uses in clusters so that the use of schools, parks, open space, libraries, child care, and community activity and service centers create a community or activity focus.*
- Policy PF3.7*      *Schools, where feasible, should be located away from hazards or sensitive resource conservation areas, except where the proximity of resources may be of educational value and the protection of the resource is reasonably assured.*
- Policy PF3.9*      *Higher educational opportunities are a priority to the City and the region. The City will look for opportunities to support the establishment of universities and colleges in Placer County.*



Figure VII-2 | Existing and Planned Schools and District Boundaries



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## ELECTRIC AND PRIVATELY-OWNED UTILITIES

The electric system consists of transmission and generation facilities, sub-transmission and substation facilities, and distribution facilities. The City of Roseville operates its own electric utility (Roseville Electric). Telephone service is provided by Consolidated Communications, AT&T, and Wave Broadband; PG&E delivers natural gas; and, Comcast, AT&T, Wave Broadband and Consolidated Communications provide local cable television service.

Roseville Electric engages on behalf of the City of Roseville in power resource and transmission planning, acquisition, and resource management and efficiency. Roseville Electric is party to several contracts for the purchase of renewable energy including wind, solar, biogas, small hydro-electric, and geothermal energy. The City manages the costs of providing electric service, including those costs occurring from load growth, changing load patterns, and volatile wholesale power prices, while ensuring compliance with evolving State regulatory requirements.

The City has a contract for a portion of its required electric capacity and associated energy from the Western Area Power Administration, a federal agency that markets electricity produced by the hydroelectric projects within the U.S. Bureau of Reclamation's Central Valley Project (CVP). Roseville Electric operates the Roseville Energy Park, a 160-megawatt natural gas-fired generating facility, which uses state-of-the-art equipment to locally generate more than half of the City's electricity needs. Roseville Electric also operates the Roseville Power Plant 2 (Peaker Plant), a 48-megawatt natural gas fired generating facility to meet summer peaking needs and support system reliability. Additionally, Roseville Electric is a participant in the electric generation and transmission facilities, owned and operated by the Northern California Power Agency (NCPA). NCPA is a joint power agency between Roseville and other cities, utility districts, and a rural electric cooperative. Through the NCPA, Roseville is a participant in several generating facilities and power contract purchases including geothermal, large hydro-electric, and fossil-fired generation. Roseville is also a party to natural gas and electric power supply contracts consistent with the objective of maintaining an array of power supply resources that allow the City to remain strongly competitive in the electricity market. Finally, Roseville Electric engages in short-term power supply purchases to balance the hourly supply and demand.

Rising electricity costs, long lag periods for planning, permitting, and construction of new electric generation facilities, and difficulty in siting fossil fuel technology sources will make energy efficiency, load management, conservation, and promoting renewable generating technologies increasingly important. Please see the Water and Energy Efficiency component of this Element for more details related to conservation.

Roseville Electric dedicates a percentage of its sales revenue to market and incentivize energy efficiency and renewable energy programs, fund research and development, and provide low-income programs to support the broader goals of long-term contractual commitments at stable prices. To ensure system reliability and resource availability, Roseville Electric will support the siting of local generation facilities and augmentation of a high voltage transmission system to the Sacramento region. As the City grows, the distribution system will expand at a pace sufficient to guarantee high system reliability. In the next 10 years, it is expected that one 46 MW substation and one 92 MW substation will be added to the distribution system.

Roseville Electric has a strong commitment to energy efficiency and renewable energy resources to reduce greenhouse gas emissions and deliver affordable and reliable energy. The City has helped to reduce household and business energy costs and reduce environmental impacts by implementing energy efficiency programs and acquiring new renewable energy sources. In September 2006, the Roseville City Council took a major step by adopting the National Action Plan for Energy Efficiency. Roseville Electric Utility and the City of Roseville have been active supporters of solar electric generation (PV) since 1997. As a result of these and other programs, more than 50 percent of Roseville Electric's power supply is from carbon-free resources.

Roseville Electric offers its customers the choice to contribute toward Roseville Electric's purchase of clean, renewable energy for their home or business. The program is designed to allow customers to support the proliferation of renewable energy technology, renewable energy in general and the move toward national energy independence. The program is voluntary and allows customers to participate at various levels through an added premium charge to their monthly Roseville Electric bill. Businesses who participate receive recognition as a Roseville Green Business in Roseville Electric and/or City of Roseville publications. In addition, Roseville Electric offers its customers the ability to participate in a community solar project which is located here in Roseville. The community solar program, Roseville Solective, provides a solar option for customers that may not or cannot install rooftop solar on their homes or businesses. The program provides a renewable option for customers while helping the electric utility meet its regulatory requirements.

## GOALS AND POLICIES

### ELECTRIC UTILITY

**Goal PF4.1**      **Reliability: maintain a resilient and highly reliable electric system with sufficient resource capacity and reserves to meet current and future demand.**

**Goal PF4.2**      **Affordability: fulfill customer electric service needs at just and reasonable rates.**

**Goal PF4.3**      **Compliance: Comply with applicable local, state, and federal mandates.**

**Policy PF4.1**      *Secure supply-side and demand-side electric resources, as necessary, to meet forecasted demand and reserve requirements.*

**Policy PF4.2**      *Provide improvements to the sub-transmission and distribution system, consistent with facility planning studies, to maintain a reliable source of electricity.*

**Policy PF4.3**      *Develop siting and land use compatibility standards for energy facilities.*

**Policy PF4.4**      *Comply with federal, state, and local greenhouse gas reduction targets, renewable portfolio standards and carbon-free electricity requirements.*

**Policy PF4.5**      *Maintain an Integrated Resource Plan, incorporating energy efficiency, demand- and supply-side management, greenhouse gas reduction, renewable portfolio standard compliance, conservation, load management, and reliability strategies.*

**Policy PF4.6**      *Pursue reasonable and cost-effective energy efficiency, conservation, and load management programs that provide benefits to the community.*

**Policy PF4.7**      *Pursue effective measures to enhance reliability through interconnection of the electric utility system with the region-wide grid.*

**Policy PF4.8**      *Require new development to pay a fair share of the cost of new sub-transmission and distribution needed to serve the development and to dedicate sites and easements needed for substations, transmission, sub-transmission, and distribution.*

**Policy PF4.9**      *Develop and implement public education programs to increase awareness of energy issues.*



## PRIVATELY-OWNED UTILITIES

### **Goal PF5.1      Work with privately-owned utility companies to ensure adequate service is provided in a timely manner for Roseville customers.**

- Policy PF5.1**      *Provide for the review and comment of development proposals by non-City-owned utilities.*
- Policy PF5.2**      *Require the installation of communication and electric lines underground except when infeasible or impractical.*
- Policy PF5.3**      *Require the provision of necessary utility easements in all new developments.*
- Policy PF5.4**      *Work with non-City-owned utility providers to ensure that uses and equipment are planned and constructed in a manner consistent with adopted land use policies and design guidelines.*

## WATER SYSTEM

The City's water system treats and distributes water, making it available and safe to serve Roseville's needs. Reliable water supplies are the bedrock for investments and resource management. Water supply reliability is a regional competitive advantage that helps to stimulate further investment in Roseville and the region.

The Roseville Water Treatment plant, located on Barton Road south of Douglas Boulevard and east of the City limits, is designed to meet federal and State standards for domestic drinking water and is capable of treating up to 100 million gallons/day (mgd) of raw water delivered from its source at Folsom Lake. The water distribution system consists of water mains ranging in size from four to 66 inches in diameter. Pump stations are located near East Roseville Parkway and North Sunrise Avenue, as well as off Fairway Drive to provide sufficient water pressure to the higher elevations of the City and lift water into storage reservoirs. The City requires water meters on all water service connections. Some areas within the City limits are supplied by either Citrus Heights Water District, San Juan Water District or Placer County Water Agency where it is feasible and beneficial to do so. The distribution system is designed to deliver an adequate supply of water throughout the community at an acceptable pressure level for domestic and fire flow purposes.

The City continues to evaluate opportunities to increase supply using a combination of groundwater wells, reservoirs, and interagency connections in order to ensure an adequate quantity and maintain acceptable pressures; provide back-up supplies in the event of disrupted regular delivery; and permit a safety margin during peak demand periods.

The City obtains its primary water supply from the Federal Central Valley Project, owned and operated by the United States Bureau of Reclamation (USBR), of which Folsom Lake is a part. This is achieved through a contract with the USBR, which ensures water from Folsom Lake in perpetuity. In addition to USBR water supplies, the City has contracts with the Placer County Water Agency (PCWA) and the San Juan Water District (SJWD) for additional water supply to the City for municipal and industrial purposes. These contracts are needed to meet water supply needs that exceed the City's USBR water allocation. These water supplies are also accessed through Folsom under a long-term wheeling agreement with USBR.

The City has participated in the Water Forum, a regional coalition devoted to sustainable water use focused on the American River. Through this process, Roseville committed to limit water taken from the American River watershed to normal water years. In the event that water shortages occur, this amount would be reduced, based on water available, in times of extreme drought conditions. When water supply

needs exceed Water Forum limitations, the shortfall would be met through conservation programs and the use of groundwater.

The City is also a member of the West Placer Groundwater Sustainability Agency. The Groundwater Sustainability Agency was to implement the Sustainable Groundwater Management Act, the goal of which is to ensure long-term sustainability of the local groundwater basin. Currently, the City operates six groundwater well facilities. As the City expands, so too will the groundwater network. As part of the City's groundwater program, it has invested in Aquifer Storage and Recovery. Aquifer Storage and Recovery provides the capability to supplement the groundwater basin through direct injection of drinking water into the groundwater basin that can be later recovered for drinking water use during dry periods.

The City's Urban Water Management Plan details the City's water service area, treatment and distribution facilities, available water supplies, water reliability efforts, water conservation programs, and future systems to meet demand associated with planned development. Maintenance of the contract with the USBR for water supply and continued delivery of the PCWA and SJWD water will ensure adequate water service levels for City users. However, some limitations could occur in both supply and delivery with buildout of the General Plan. The City is pursuing several options for developing access to additional water supply that provide reliability in shortage times. Water conservation plans, including the Drought Contingency Plan, are also important elements of the City's water supply program for ensuring adequate service levels. Conservation issues are discussed in more detail in the Water and Energy Efficiency components of this Element.

## GOALS AND POLICIES

### WATER SYSTEM

- Goal PF6.1**      **Maintain a water system that adequately serves the existing community and planned growth levels through buildout, ensuring the ability to meet projected water demand and to provide needed improvements, repairs, and replacements in a timely manner.**
- Goal PF6.2**      **Provide water service to all existing and future Roseville water utility customers. The provision of service by another provider may be considered where it is determined that such service is beneficial to the City and its utility customers or the provisions of City service is not feasible.**
- Goal PF6.3**      **Ensure that safe drinking water standards are met and maintained, in accordance with the California State Water Resources Control Board, Division of Drinking Water and EPA regulations.**
- Goal PF6.4**      **Actively pursue water efficiency measures to ensure compliance with all State of California mandates.**
- Goal PF6.5**      **Actively pursue diverse water supplies, including surface, groundwater, and other sources for water supply reliability and system improvements that increase reliability.**
- Goal PF6.6**      **Maintain systems that are resilient and reliable for treatment, storage, conveyance, and energy infrastructure.**



- Policy PF6.1** *Secure and maintain sufficient and diverse sources of water to meet the needs of the existing community and planned growth.*
- Policy PF6.2** *Provide sufficient water treatment capacity and infrastructure to meet projected water demand through buildout of the General Plan.*
- Policy PF6.3** *Initiate, upon 75 percent of treatment plant capacity, expansion studies to determine necessary improvements, if any, to meet projected water demand.*
- Policy PF6.4** *Monitor growth trends to anticipate and plan for future water demand.*
- Policy PF6.5** *New development shall pay a fair share of the cost for adequate water supply, treatment and distribution, including extension of water mains, easement acquisitions, treatment plant expansions, water storage, groundwater wells, pumping expansions, and dry year reliability.*
- Policy PF6.6** *Design the City's water system to maintain a minimum water pressure of 50 pounds per square inch, while providing adequate water to meet fire demands in the system.*
- Policy PF6.7** *Develop a portfolio of energy supply and/or generation options to ensure sufficient energy reliability for the potable water system facilities.*
- Policy PF6.8** *Develop and expand alternatives to continue conjunctive use of water in collaboration with neighboring public agencies.*
- Policy PF6.9** *Monitor water quality regularly and take necessary measures to prevent water quality compliance violations.*
- Policy PF6.10** *Develop and implement water efficiency standards and measures as necessary elements of the water system.*
- Policy PF6.11** *Continue the management and expansion of the groundwater and aquifer storage and recovery program to increase resiliency and reliability of water supply during all supply conditions.*
- Policy PF6.12** *Continue monitoring and advocacy for legislative and regulatory requirements that would provide local benefits for the City's water utility customers.*

## WASTEWATER AND RECYCLED WATER SYSTEMS

The City collects and conveys wastewater to two regional treatment plants through a system of lift stations and collector and trunk lines measuring up to 78 inches in diameter. The collection system is primarily a gravity flow system. Where gravity flow is not feasible due to topography, sewer lift stations are used.

The Dry Creek Wastewater Treatment Plant (DCWWTP) is in the southern portion of the Planning Area on an 80-acre parcel at 1800 Booth Road. The Pleasant Grove Wastewater Treatment Plant (PGWWTP) is in the western portion of the Planning Area on a 110-acre parcel at 5051 Westpark Drive. These plants are owned and operated by the City of Roseville on behalf of the City, the South Placer Municipal Utility District (SPMUD), and Placer County.<sup>3</sup> The full service area is reflected on the Regional Wastewater Service Area Boundary Map (Figure VII-3).

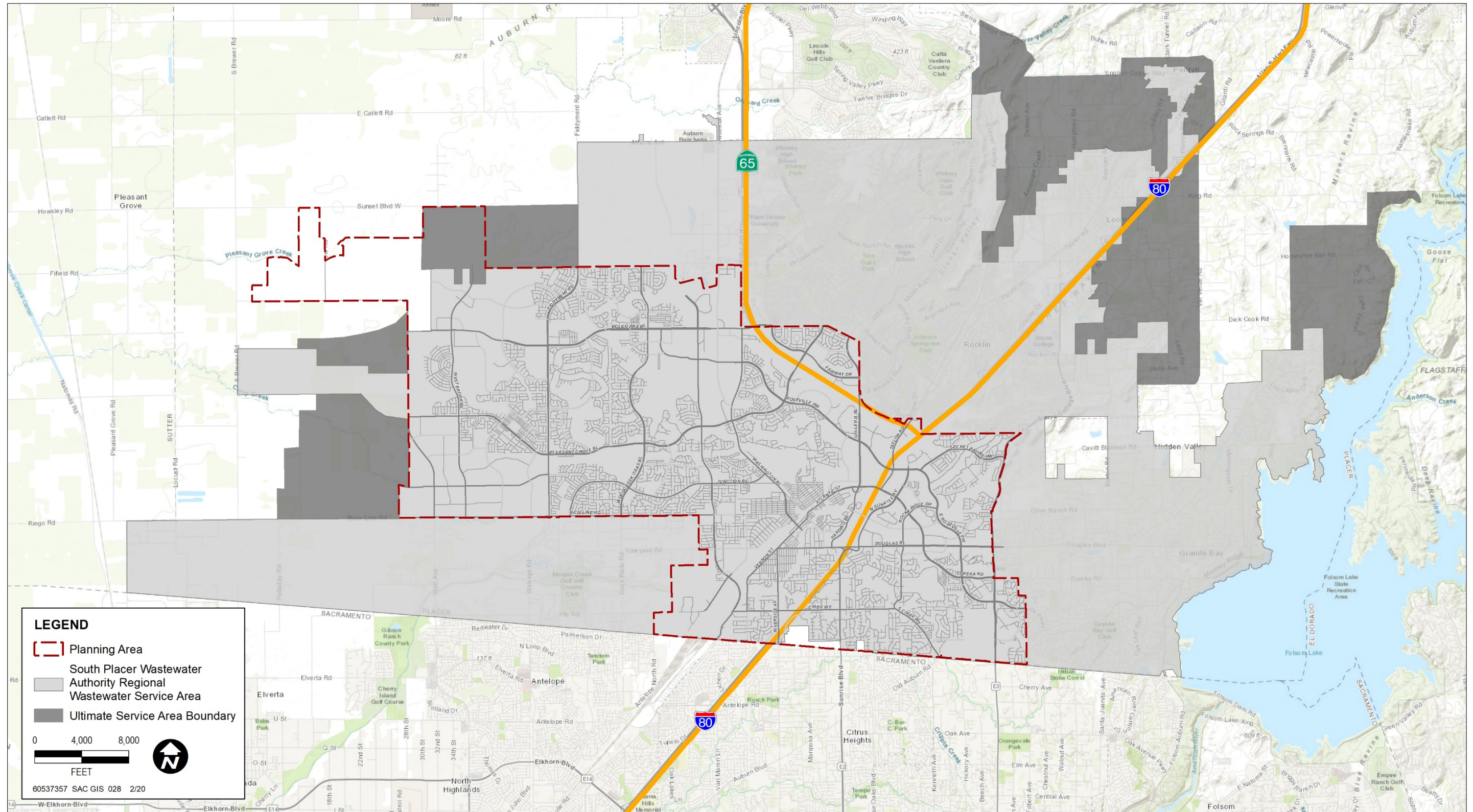
Treatment plant capacity is on a “first-come, first serve” basis without any allotment of capacity to any given jurisdiction. The treatment plants process wastewater in accordance with standards set by the State’s Regional Water Quality Control Board (RWQCB). The RWQCB issues a permit to the City under the National Pollutant Discharge Elimination System (NPDES), setting standards for the discharge of treated wastewater. Wastewater is either utilized as recycled water supply or discharged from the treatment plants into Dry Creek or Pleasant Grove Creek. Both treatment plants produce recycled water that meets the requirements for “full unrestricted reuse” as determined by the California Department of Health Services. The residual solids are transported to and disposed at the Western Placer Waste Management Authority sanitary landfill or are transported by a City-approved vendor for off-site land application.

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<sup>3</sup> A small portion of the City service area flows to the Sacramento Area Sanitation District and is treated at the Sacramento Regional Wastewater Treatment Plant. This area consists of approximately 350 residential dwelling units.



Figure VII-3 | Regional Wastewater Service Area Map



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## GOALS AND POLICIES

### WASTEWATER AND RECYCLED WATER SYSTEMS

- Goal PF7.1** Participate in a cooperative regional approach to wastewater treatment and discharge in order to maintain a system that adequately services planned growth within the City.
- Goal PF7.2** Provide wastewater services to all existing and future development through the City's wastewater utility. The provision of services by another provider may be considered when it is determined that such service is beneficial to the City and its utility customers or the provision of City services is not feasible.
- Goal PF7.3** Actively pursue the use of recycled water, where appropriate, and expand recycled water distribution system to deliver and meet estimated City demands for landscape irrigation.
- Goal PF7.4** Meet State and federal standards for the discharge of treated wastewater, as well as State water quality standards for the production of recycled water.
- Policy PF7.1* Expand recycled water distribution system to deliver and meet estimated irrigation demands.
- Policy PF7.2* Initiate, upon 75 percent utilization of treatment plant capacity, expansion studies to determine necessary demand management and capacity improvements to meet projected wastewater treatment demands.
- Policy PF7.3* Ensure that wastewater treatment capacity is available for planned development and intensification and that wastewater generation is minimized.
- Policy PF7.4* Explore potential alternatives to treatment and discharge.
- Policy PF7.5* Develop and plan for the use of recycled water by the public and private sectors.
- Policy PF7.6* Prevent hazardous materials from entering the wastewater system.
- Policy PF7.7* Continue monitoring and advocacy for legislative and regulatory requirements that would provide local benefits for the City's wastewater utility customers.

## **SOLID WASTE COLLECTION AND DISPOSAL, SOURCE REDUCTION & RECYCLING**

Collection of solid waste within the City is operated and managed by Roseville's Environmental Utilities Department, Solid Waste Utility. Fees are charged to cover the costs of collection and disposal. Temporary refuse collection and disposal, as in construction and demolition, may be handled by private haulers licensed through the City of Roseville, which hold a Non-Exclusive Franchise Agreement.

Roseville, along with the City of Lincoln, City of Rocklin, and Placer County formed the Western Placer Waste Management Authority (WPWMA) that provides for solid waste management. Under this agreement, the WPWMA is assigned the lead role in cooperative policy making with respect to solid waste issues. The WPWMA owns and operates a regional landfill, the Western Regional Sanitary Landfill (located at the southwest corner of Athens Road and Fiddymont Road) and serves the western portion of the County, including Roseville. The Western Regional Sanitary Landfill is specified as a Class III non-hazardous site, and a private firm under contract to the WPWMA manages its operation. Hazardous materials are presently transported to Class I landfills outside the County.

The State of California has adopted minimum standards, goals, and procedures that direct local government in their development of Integrated Waste Management Plans. Placer County, along with all the jurisdictions within its borders, have developed Solid Waste Management Plans specific to their own needs, and follow a coordinated effort for a regional approach to recycling programs and efforts. The General Plan stresses the importance of coordination with the County's program in the siting of transfer/disposal facilities.

The Environmental Utilities Department prepared a Source Reduction and Recycling Plan, a Household Hazardous Waste Plan, and a Non-Disposal Facilities Plan, which have all been approved by the California Integrated Waste Management Board. To meet recycling goals, the City participated, through the WPWMA, in the development of the Material Recovery Facility (MRF) at the Western Regional Sanitary Landfill. The MRF separates and recovers waste products for recycling, reuse, or conversion to energy resources. This program provides a flexible and cost-effective method of waste diversion and helps with the achievement of recycling goals as prescribed by the State.



## GOALS AND POLICIES

### SOLID WASTE, SOURCE REDUCTION, AND RECYCLING

- Goal PF8.1** Provide a healthy, safe, and economical system for solid waste collection and disposal.
- Goal PF8.2** Provide solid waste collection and disposal services to all existing and future Roseville development through the City's Solid Waste Utility. The provision of services by another provider may be considered where it is determined that such service is beneficial to the City and its customers or the provision of City services is not feasible.
- Goal PF8.3** Continue to participate in local and regional approaches to source reduction, material recovery, recycling, and solid waste disposal.
- Policy PF8.1* Ensure existing and future recycling sites and operations remain viable through application of land use compatibility standards.
- Policy PF8.2* Comply with the source reduction and recycling standards by reducing the projected quantity of solid waste disposed at the regional landfill.
- Policy PF8.3* Require a waste characterization profile for proposed large-scale commercial and industrial development projects.
- Policy PF8.4* Maintain a minimum 10-year reserve capacity at the landfill.
- Policy PF8.5* Develop and implement public education and recycling programs.

## WATER AND ENERGY EFFICIENCY

The City must respond to the water and energy demands of its current residents while securing adequate resources to meet the needs of new development. The quality and quantity of water supplies have become increasingly important as this limited resource continues to be stretched through regional development. Energy demands must also be met within a landscape of evolving regulatory requirements related to environmental impacts, the response to which can provide co-benefits for household and business energy costs.

### GOALS AND POLICIES

#### WATER AND ENERGY EFFICIENCY

**Goal PF9.1**      **Preserve scarce resources by recognizing the importance of efficiency in water and energy management.**

**Goal PF9.2**      **Balance efficiency efforts with water and energy supplies for the maximum benefit of Roseville's residents.**

***Policy PF9.1**      Develop and implement water efficiency standards.*

***Policy PF9.2**      Explore potential uses of treated wastewater.*

***Policy PF9.3**      Protect the quality and quantity of the City's groundwater by actively seeking, throughout the City, areas suitable for groundwater recharge with land areas with suitable soils and geology for groundwater recharge.*

***Policy PF9.4**      Develop and implement standards for the use of drought-tolerant and water-efficient landscape practices for both public and private projects.*

***Policy PF9.5**      Develop and implement public education programs designed to increase public participation in energy, water efficiency, and recycled water use.*

***Policy PF9.6**      Require large electricity users to submit a use and conservation plan concurrent with development review specifying measures to be taken to minimize demand.*

***Policy PF9.7**      Enforce energy requirements and encourage development and construction standards that promote energy efficiency and conservation.*

***Policy PF9.8**      Preserve natural resources by undertaking projects in energy conservation and load management, including increasing efficiency in the City's electrical system.*

***Policy PF9.9**      Continue energy efficiency and conservation programs to serve all utility users.*



## EXTENSION OF CITY SERVICES

The format of the extension of the City Services Component varies from the remainder of the Public Facilities Element. The focus is the extension of City public utility services, defined as water, electric, and wastewater, to properties outside the City limits. A significant constraint to development in much of unincorporated Placer County is the lack of urban services, particularly water and wastewater. The issue of extending City services has arisen and will likely continue to arise, in the future. For this reason, it is important that the City articulate its intent.

Findings that will need to be made for the City to extend services have been identified. These findings are organized by the type of service (electric, water, wastewater, recycled water, and solid waste) and whether the extension is requested for development that is built at the time of the request (existing development) or is planned for the future (new development). In each case, the findings differ slightly. This is to account for the differing circumstances and the differing controls the City has over each service.

Some of the primary issues associated with the extension of City services that the findings address include: impacts on the service levels of existing customers within Roseville; who pays the cost of the extension; and, potential growth management considerations. The findings contained in this component should be considered in combination with the goals and policies of the remainder of the Public Facilities Element and the Growth Management Component of the Land Use Element.

### Existing Development

The following describe, for each utility, the conditions necessary for permitting the extension of electric, water, wastewater, recycled water, and solid waste service to **existing development** outside the City limits.

#### ELECTRIC

1. The City Council may approve the extension of electric service to **existing development** outside the City limits if the Council finds that:
  - a) There are overriding benefits to the City of Roseville for providing service;
  - b) The property owner pays the full cost of the extension of service; and
  - c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits.

#### WATER

2. The City Council may approve the extension of City water service to existing development outside the City limits if the Council finds that:
  - a) Conclusive documentation is provided showing that an environmental health problem exists and that connection to the City water system is the only viable alternative;
  - b) The property served pays the full cost of the extension of service;
  - c) The extension of water service does not adversely affect the level of service experienced by utility customers within the City limits;
  - d) The request for service has been received from the existing service area provider; and
  - e) Such extension is consistent with the City's Charter.

## WASTEWATER

3. The City Council may approve the extension of the wastewater system, using the appropriate regional partners' allocation of plant capacity and/or the extension of the collection system, to **existing development** outside the City limits if the Council finds that:
  - a) Conclusive documentation is provided showing that an environmental health problem exists and that connection to the City wastewater system is the only viable alternative;
  - b) The property served pays the full cost of the extension of service;
  - c) The extension of wastewater service does not adversely affect the level of service experienced by utility customers within the City limits; and
  - d) The request for service has been received from the appropriate regional partner.

## RECYCLED WATER

4. The City Council may approve extension of recycled water to **existing development** areas outside the City limits if the Council finds that:
  - a) An adequate supply of recycled water is available considering prior recycled water supply commitments and the future need within Roseville City limits;
  - b) The costs associated with the extension of service are borne by the property owner; and
  - c) The City retains the authority to terminate delivery of recycled water.

## SOLID WASTE

5. The City Council may approve the extension of solid waste collection and recycling service to **existing development** outside the City limits if the Council finds that:
  - a) There are overriding benefits to the City of Roseville for providing service;
  - b) The property owner pays the full cost of the extension of service; and
  - c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits.

## New Development

The following describe, for each utility, the conditions necessary for permitting the extension of electric water, wastewater, recycled water, and solid waste service to **new development** outside the City limits.

### ELECTRIC

1. The City Council may approve the extension of electric service to **new development** outside the City limits if the Council finds that:
  - a) There are overriding benefits to the City of Roseville for providing service;
  - b) The property owner pays the full cost of the extension of service; and
  - c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits.



## WATER

2. The City Council may approve the extension of domestic water service to **new development** outside the City limits if the Council finds that:
  - a) The property owner signs a recorded, irrevocable agreement to annex the property into the City of Roseville when such annexation is requested by the City;
  - b) The property is located within the City of Roseville Sphere of Influence;
  - c) The costs associated with the extension of service are borne by the property owner;
  - d) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits;
  - e) The area served complies with the adopted City water conservation policies and Urban Water Management Plan;
  - f) The request for service has been reviewed by the appropriate City advisory commissions or committees;
  - g) The development is consistent with the policies of the Roseville General Plan and all City development standards; and
  - h) Such extension is consistent with the City's Charter.

## WASTEWATER WITHIN THE SPHERE OF INFLUENCE

3. The City Council may approve the extension of the City wastewater utility, allocating a portion of the Roseville allocation of the plant treatment capacity and/or extending the collection system, to **new development outside the City limits and within the Roseville sphere of influence** if the Council finds that:
  - a) The property owner signs a recorded, irrevocable agreement to annex the property into the City of Roseville when such annexation is requested by the City;
  - b) The costs associated with the extension of service are borne by the property owner;
  - c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits or those served by the treatment plant;
  - d) The development is consistent with the policies of the Roseville General Plan and all City development standards; and
  - e) Approval of the appropriate regional partner has been received.

## WASTEWATER OUTSIDE THE SPHERE OF INFLUENCE

4. The City Council may approve the extension of the City wastewater utility, allocating a portion of the Roseville allocation of the plant treatment capacity and/or extending the collection system, to **new development outside the City limits and outside the Roseville sphere of influence** if the Council finds that:
  - a) There is excess capacity available that is not needed to serve development planned in the service area or the costs associated with any necessary expansion to the treatment plant are paid in advance of the extension of service;
  - b) The costs associated with the extension of service are borne by the property owner;

- c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits or those served by the treatment plants;
- d) Any potential growth-inducing impacts associated with the extension have been fully mitigated; and
- e) Approval of the appropriate regional partner has been received.

### RECYCLED WATER

- 5. Recycled water may be extended to **new development** areas outside the City limits if the Council finds that:
  - a) An adequate supply of recycled water is available;
  - b) The costs associated with the extension of service are borne by the property owner; and
  - c) The City retains the authority to terminate delivery of the recycled water.

### SOLID WASTE

- 6. The City Council may approve the extension of solid waste collection and recycling service to **new development** areas outside the City limits if the Council finds that:
  - a) There are overriding benefits to the City of Roseville for providing service;
  - b) The property owner pays the full cost of the extension of service; and
  - c) The extension of service does not adversely affect the level of service experienced by utility customers within the City limits.

## VIII. SAFETY







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## SAFETY

### PURPOSE

The citizens of Roseville rely on the City for many of their safety needs, such as fire and crime prevention. They count on the City to plan for and protect them from natural hazards such as flooding, earthquakes, and other potentially dangerous situations. This Element addresses relevant safety concerns and sets forth the goals and policies essential for their resolution.

The City has two important implementing plans for the goals and policies of the Safety Element:

- **Emergency Operations Plan.** The City's Emergency Operations Plan (EOP) establishes an Emergency Management Organization and assigns functions and tasks consistent with the Standardized Emergency Management System (SEMS) and the National Incident Management System (NIMS). The EOP was reviewed and approved by representatives from each City of Roseville department, local special districts with emergency services responsibilities in the city, and the County of Placer Operational Area Office of Emergency Services. The content is based upon guidance approved and provided by the State of California and the Federal Emergency Management Agency. The plan provides for the integration and coordination of planning efforts of multiple jurisdictions, emergency functions, continuity of government responsibility, and public awareness. In addition, the

plan provides strategies for operations of police, fire, and health services, and as transportation alternatives, search and rescue, shelter and other required services in the event of an emergency. The EOP is reviewed annually and updated, republished and redistributed every five years.

- **Multi-Hazard Mitigation Plan.** This Plan describes the type, location, and extent of natural hazards that can affect the City; describes the City's vulnerability to these hazards, including hazards that are related to a changing climate; and includes a mitigation strategy that provides the City's blueprint for reducing potential losses. The City's Multi-Hazard Mitigation Plan is subject to Federal Emergency Management Agency (FEMA) review and certification every five years. The Multi-Hazard Mitigation Plan, as amended by the Roseville City Council from time to time, is hereby incorporated into the Safety Element by reference as though it were fully set forth herein. In the event of any conflict between the provisions of the Multi-Hazard Mitigation Plan and the provisions of the Safety Element, the provisions of the Multi-Hazard Mitigation Plan shall control.

It is an underlying goal of the entire Safety Element to protect the life, property, and environment of community residents, enterprises, employees, and visitors.

## SETTING

The physical setting of the City influences the design of the City's public safety services and policies, which address seismic and geologic hazards, flood control, police services, fire protection, hazardous materials, and health services. The City is underlain by a relatively stable geology with low seismic shaking potential, but the soil and geologic characteristics still play a role in determining safety procedures. Though urbanized, the City has maintained a system of open space preserves, which include natural areas in oak woodland and riparian environments along the City's creek systems, as well as floodways and floodplains. The City's focus on preserving floodplain areas within open space informs flood control policy. The City's Roseville Police Department provides police services. The City is urban, but shares borders with more rural areas of the County, and major transportation facilities such as Highway 65, Interstate 80, and the Roseville Rail Yard influence the City's population and need for police services. The Roseville Fire Department provides fire protection services, which focus on the response needs of an urban community that is characterized by gently sloping terrain with areas of steep ravines in the northeast, and relatively flat valley in the western portion of the City. The City is also home to multiple health service providers, including two major hospitals.

## ORGANIZATION

The Safety Element is comprised of the following components:

- **Seismic and Geologic Hazards** includes goals and policies to protect the City's residents from danger associated with active faults, liquefaction, ground failure (landslides), and steep slopes. While the potential for seismic and geologic hazard occurrences in Roseville is not high, the soil and geologic characteristics of the City continue to play an important role in determining safety procedures.
- **Flood Control** underscores the need for development standards along the City's Regulatory Floodplain. The City's flood-prone areas have been redefined and, in some cases, regulations pertaining to development in these areas are more restrictive to protect life and property.
- **Police Services** addresses protection of persons and property within the City by application of the crime prevention unit, department training program, and streets patrol.
- **Fire Protection** includes goals and policies to prevent and protect against catastrophic fires and minimize the loss of life and damage to property and the environment. Policies are established to achieve baseline response goals as outlined in the Department's Standards of Cover document.



- **Hazardous Materials** addresses the need for the safe and efficient handling of hazardous materials and hazardous wastes, consistent with state law. This includes requirements for the submittal of a Hazardous Materials Management Plan (HMMP) and Hazardous Materials Release Response Plans and Inventories (Business Plans).
- **Health Services** includes the existing status of health services within the City of Roseville and provides policies that ensure that medical needs are met. Trauma center services and health care for indigents are addressed.

## SEISMIC AND GEOLOGIC HAZARDS

Like any California community, Roseville could be affected by seismic activity. If buildings and other improvements are constructed in areas with potential seismic activity, this could expose people and property to damage related to ground shaking. Damage from strong seismic ground shaking is most likely to occur in areas where older buildings that consist of unreinforced masonry are located. However, the Planning Area is in an area with relatively low seismic activity, and there are no fault traces either within or immediately adjacent to the Planning Area. Furthermore, the nearest active seismic source is 30 miles to the west and other active seismic sources are 45–60 miles to the north, east, and southwest near Lake Oroville, Lake Tahoe, and in the Coast Ranges, respectively (see Figure VIII-1). Other seismic and geologic hazards and soils limitations include:

- **Liquefaction** - This process, involving loose, sandy soil with a high water content, undermines the ground's ability to solidly support building structures during seismic activity. The risk is low in the Planning Area since the groundwater table is relatively deep and since the area is underlain by stable, moderately cemented to very well cemented, older rock formations, and since seismic activity is relatively low.
- **Ground Failure** - The City's geographic location, soil conditions, and surface terrain combine to minimize risk of major damage from landslides, subsidence (gradual shrinking of the earth's surface due to underground resource extraction), or other geologic hazards resulting from seismic activity and related natural forces.
- **Landslide** - While Roseville is located on relatively level terrain, the land gradually increases in slope to the east and north. The most significant slope areas are located along creeks and ravine areas. However, the Planning Area does not have a history of landslides, is composed of stable geologic units that are moderately to very strongly cemented, and active seismic sources are at least 30 miles away.
- **Soil Erosion** - Most soils can be categorized into soil groups based on runoff characteristics, which are factored into calculations of erosion and stormwater runoff potential when drainage plans are prepared for development. Most of the Planning Area soils are assigned to Hydrologic Group D, which means they have a very slow water infiltration rate and a very high stormwater runoff potential. Water erosion hazards are particularly high in areas of steeper slopes along streambeds.

The California Building Code, which has been adopted by the City, requires an assessment of site conditions and appropriate design features to avoid seismic and geologic hazards in new construction. The State earthquake protection law (Health and Safety Code Section 19100 et seq.) requires that structures be designed to resist stresses produced by lateral forces caused by wind and earthquakes. Planning Area soils have been rated with moderate limitations for construction of buildings and roads because of a shallow depth to bedrock, low soil bearing strength, and a moderate to high shrink-swell potential. The building code requires engineering practices that reduce or eliminate hazards from construction in unstable and expansive soil, as well as drainage-related requirements to reduce seasonal fluctuations in soil moisture content. Construction in soils of low strength is also addressed in the building code through implementation of soil engineering tests and amending and compacting soils.

## GOALS AND POLICIES

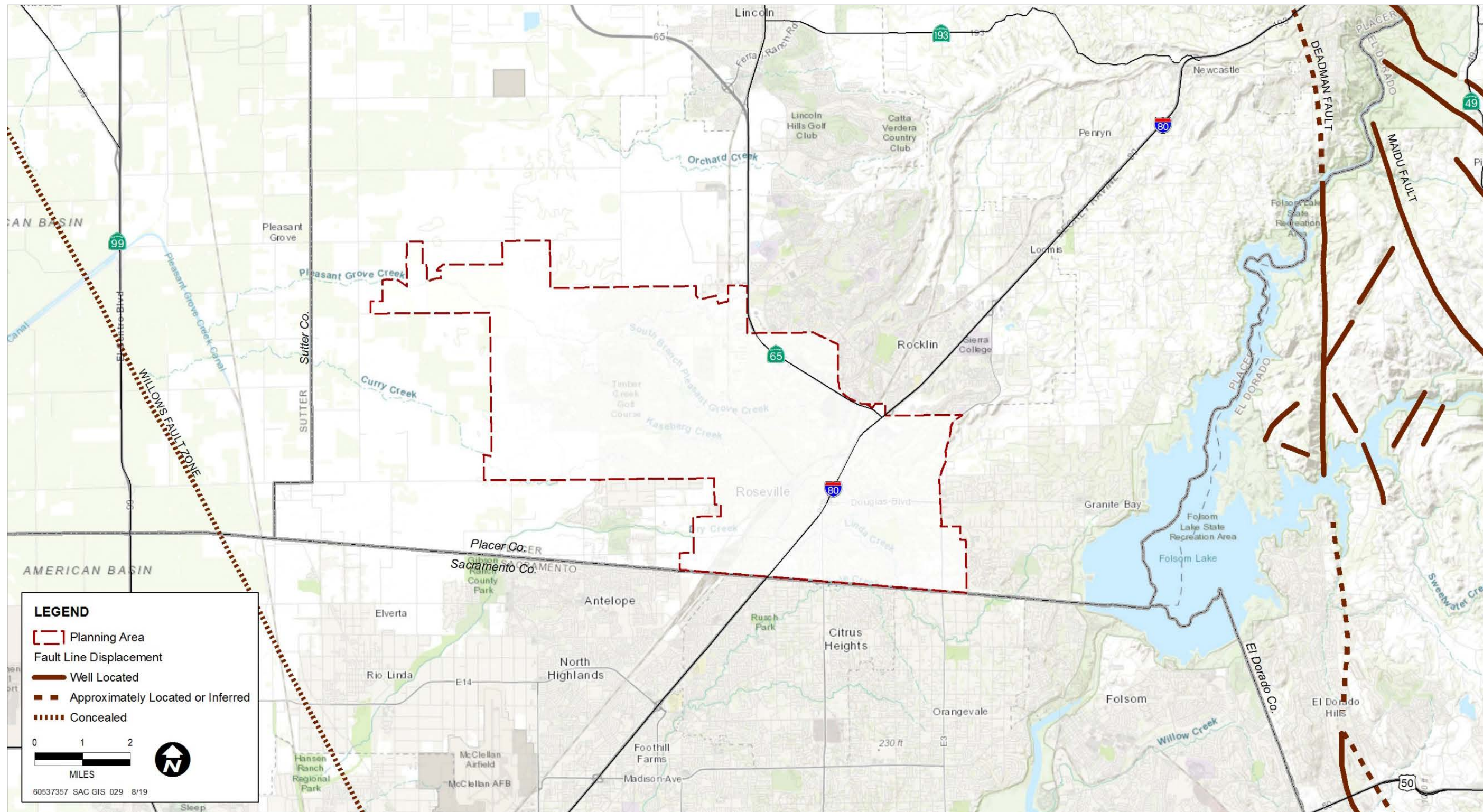
### SEISMIC AND GEOLOGIC HAZARDS

#### **Goal SAFE1.1 Minimize injury and property damage due to seismic activity and geologic hazards.**

- Policy SAFE1.1** *Continue to monitor seismic activity in the region and take appropriate action if significant seismic hazards, including potentially active faults, are discovered in the Planning Area.*
- Policy SAFE1.2** *Continue to mitigate the potential impacts of geologic hazards through building plan review.*
- Policy SAFE1.3** *Minimize soil erosion and sedimentation through suitable building placement, maximum lot coverage standards, context-sensitive designs, and appropriate construction techniques.*
- Policy SAFE1.4** *Comply with state seismic and building standards in the design and siting of critical facilities, including police and fire stations, school facilities, hospitals, hazardous material manufacture and storage facilities, bridges, and large public assembly halls.*
- Policy SAFE1.5** *Create and adopt slope development standards prior to, or as part of the planning process for, any area identified as having significant slope.*
- Policy SAFE1.6** *Require contour grading, where feasible, and re-vegetation to mitigate the appearance of engineered slopes and to control erosion.*



Figure VIII-1 | Regional Fault Map



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## FLOOD PROTECTION

The City of Roseville is located within portions of three major drainage basins: the Pleasant Grove Creek Basin, the Curry Creek Basin, and the Dry Creek Basin. Although identified as a separate watershed, Curry Creek is currently considered to be a tributary of the Pleasant Grove Creek basin. Pleasant Grove Creek and its tributaries drain most of the western and central areas of the City north of Baseline Road and the Diamond Oaks Golf Course. Dry Creek and its tributaries drain the remainder of the City from Rocklin to the north, Loomis Basin to the east, Sacramento County to the south, and Placer County to the west. The Dry Creek system has year-round flows in its major watercourses, while the Pleasant Grove system is generally intermittent in its upper reaches with only seasonal flows, and flowing year-round in its lower reaches. For the most part, the primary creek systems in the City have been maintained in their natural state and alignment.

Upstream flows generated elsewhere in Placer County enter Roseville's creeks and tributaries from the east and north. The creek systems, picking up additional natural and storm-water-system-delivered runoff in the City, generally flow in a west-southwestward direction through Roseville. The flows continue to move west-southwestward into Placer, Sacramento, and Sutter Counties, eventually draining through various creeks and canals into the Sacramento and American Rivers.

Flooding is defined as the temporary rising and overflowing of water that results in partial or complete inundation of normally dry land areas. The initial force of flooding and inundation of floodwaters can result in injury, loss of life, and property damage. Damage may include: the shattering or flooding of structures, including homes and businesses, including their contents; uplifting of vehicles and other objects; damage to roadways, bridges, infrastructure and services; and, soil instability, erosion, and landslides.

Flood risk is a major concern in Roseville, along with the remainder of the Sacramento/South Placer region, a risk that will be critically important to monitor in the context of a changed climate. Flooding in Roseville is associated with storm runoff exceeding creek and storm drainage capacities and is generally limited to areas of low elevation adjacent to the creek systems.

### Historic Flooding

Reports of flooding along Dry, Antelope, Cirby, and Linda Creeks have been recorded from the 1930s to present time. Flooding that resulted in property damage occurred about every three to five years since 1950, with the exception of the period from 1973 to 1981 when no flooding was reported. A large flood event took place in February 1986, causing substantial damage to property. The flood ranged between a 70 and 100-year event, depending upon the location. In January of 1995, the City was subject to the flooding of Cirby Creek and Linda Creek, a flood event that exceeded that of 1986. A detailed description of the flooding problem in the Dry Creek watershed, which includes Cirby and Linda Creeks, can be found in the "Update to the Dry Creek Watershed Flood Control Plan" by the Placer County Flood Control and Water Conservation District (District), dated November 2011, and in the "Cirby-Linda-Dry Creek Study" by Dames & Moore, dated November 1991. The 1995 flood magnitude reached the 200-year event level in certain portions of creeks in the Dry Creek watershed. The portion of Roseville within the Pleasant Grove Creek/Curry Creek watershed has, until recently, remained mostly undeveloped, so reports of flood damage are limited.

Localized flooding resulting from storm runoff that exceeds piped drainage capacity is primarily limited to street flooding. Few reports have been made regarding piped drainage exceeding its capacity and causing major flood damage. Improvements to the drainage system have been made to most of these areas.

## Dam Failure

Dam failure could result in widespread flooding. Although there are no dams within Roseville, the failure of Folsom Lake containment dikes, numbered one through six, could impact the City. The containment dikes are used to close the saddles or low points along the crests of the ridges located along the westerly rim of the reservoir. Dikes two and three store essentially no water at all, except during flood surcharges at the lake. Of these, dikes five and six would result in the largest impacts to Roseville. In the unlikely event of such a failure occurring, a plan of action has been developed and is included in the City of Roseville's Emergency Operations Plan.

## Flood Control Projects

The City of Roseville is involved in several flood control projects and mitigation programs designed to protect residents and lessen the potential for flooding both within the City and within neighboring communities:

- **Drainage Mitigation Fees.** The City collects drainage mitigation fees within the Pleasant Grove Creek/Curry Creek and Dry Creek watersheds to be used to alleviate potential downstream drainage problems in these basins. A Regional stormwater retention basin project at the Al Johnson Wildlife Area is planned within the 1,700-acre city-owned property. The goal is to provide 2,250 acre-feet retention storage for some or all of the incremental increase in runoff volume resulting from existing and future development projects that generate runoff flowing through Sutter County. This retention storage is for the Pleasant Grove Creek/Curry Creek watershed. The Dry Creek watershed uses or plans to use a number of strategies, ranging from regional structural projects (e.g. the Antelope Creek Flood Control Project, Upper Weir), an ALERT Flood Warning Response System, bridge and culvert improvements, LIDs, to non-structural measures (building raises or voluntary buy-outs).
- **Flood Mitigation Plan.** Roseville is also involved through the Placer County Flood Control and Water Conservation District in the Auburn Ravine, Coon Creek, and Pleasant Grove Creek's Flood Mitigation Plan (also referred to as the "Cross Canal Watershed Flood Control Plan"), dated June 1993, and the Update to the Dry Creek Watershed Flood Control Plan (November 2011).
- **Alert Roseville.** The City has a flood alert system in place. *Alert Roseville* is an emergency notification system that may be used to deliver alerts when there is a threat to the health and safety of residents. In the event of potential flooding, warnings will also be broadcast on Roseville's Government Access Channel and on local radio stations. The system is designed to provide residents up to three hours' advance warning of potential flooding within the regulatory floodplain. Details of this program are described in the City of Roseville's Emergency Response Plan.
- **Stream Clearing Program.** The City operates a stream clearing program in the flood-prone areas of Roseville each year. Details of this program can be found in the City's Roseville Creek and Riparian Management and Restoration Plan, dated December 2003, and the City of Roseville Open Space Preserve Overarching Management Plan, dated August 2011.

## Federal Guidance

The Federal Emergency Management Agency (FEMA) oversees the delineation of flood hazard zones as it relates to the National Flood Insurance Program (NFIP) and the provision of federal disaster assistance. FEMA manages the NFIP and publishes the Flood Insurance Rate Maps (FIRMs), which show the expected frequency and severity of flooding by area, typically for the existing land use and the type of drainage/flood control facilities that are present. Flood zones are determined by the probability of flooding within a certain time period, such as a 100-year (1 percent annual exceedance probability) flood event.



In most cases, the definitions of the floodplain generated by the U.S. Army Corps of Engineers and the Federal Emergency Management Agency (FEMA) encumber less property than those developed for the City. The most recent FEMA information is more consistent with the City data than previous versions.

Minimizing encroachment within the regulatory floodplain has been a primary goal of the City. The boundaries of the regulatory floodplain have been revised over the years due to better data availability. A majority of the damage from the 1986 and 1995 floods occurred within the Infill Area of the City, where properties have historically encroached into what is now recognized as the floodplain.

## State Law

The California Legislature enacted six interrelated flood management bills in 2007—Senate Bills (SB) 5 and 17, and Assembly Bills (AB) 5, 70, 156, and 162 to improve flood management by strengthening the linkage between local land use planning decisions and flood management practices. The legislation requires that an Urban Level of Flood Protection (ULOP) be met in specific locations within the Sacramento and San Joaquin river basins.

State legislation (SB-5) defines an ULOP as that which is necessary to withstand flooding that has a 1-in-200 chance of occurring in any given year.<sup>1</sup> Subsequent legislation refined the definition of the urban level of flood protection to exclude areas of shallow flooding (inundation less than three feet deep) or flooding from local drainage (tributary areas of less than 10 square miles) that meets the criteria of the national FEMA standard of flood protection. (Government Code Section 65007[1][n]).

There are five locational criteria which must all be met in order for the ULOP to apply. While all areas of the City meet two of the criteria (the City is an urban area of more than 10,000 people and the City is within the Sacramento-San Joaquin Valley) only certain areas of the City meet the remaining three location criteria. These areas are:

- Located within a flood hazard zone that is mapped as either a special hazard area or an area of moderate hazard on FEMA's official (i.e. effective) Flood Insurance Rate Map for the National Flood Insurance Program,
- Located within an area with a potential flood depth above three feet, from sources other than localized conditions, and
- Located within a watershed with a contributing area of more than 10 square miles.

The general boundaries of the ULOP floodplain within Roseville are reflected in Figure VIII-2 and are also shown overlaid upon the General Plan land uses in Figure VIII-3.

The State of California has implemented a State Plan of Flood Control. State law requires all communities to be in compliance with this plan. The City's current standards for managing new development in or near the floodplain are in compliance with the State Plan. The City will continue to require new development to comply with the latest State Plan of Flood Control.

## Regulatory Floodplain

The City of Roseville regulates its floodplain areas through land use, zoning, and other development restrictions. This includes policies requiring the dedication of lands and which prohibit development within the City's Regulatory Floodplain. Certain exceptions to this policy exist primarily within the infill area and for the construction of essential services. Where encroachments may be permitted, improvements are required to be designed to minimize cumulative upstream and downstream effects.

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<sup>1</sup> This is based on criteria consistent with, or developed by, the State Department of Water Resources.

The City's Regulatory Floodplain is a composite floodplain consisting of three data sources: (1) FEMA 1% annual chance (100-year) floodplains (AE and A Zones), (2) the City-developed 1 percent annual chance (100-year) floodplains with the modeling condition that the Pleasant Grove/Curry Creek and Dry Creek watersheds have been fully developed (e.g., at estimated build-out) without mitigation, and (3) the City-developed 0.5 percent annual chance (200-year) floodplains with flood depths 3.0-foot and greater meeting the State's ULOP criteria. The delineated floodplain boundary of the Regulatory (composite) Floodplain is the most conservative floodplain boundary of the three floodplains.

The general boundaries of the Regulatory Floodplain within Roseville are reflected in Figure VIII-2 and are overlaid upon the General Plan land uses in Figure VIII-3.

The Floodplain combining land use designation is applied to all floodplain areas in the City. This designation is normally combined with open space or park designations, but may be combined with other land uses in areas with existing development. The City is responsible for maintaining its storm drain systems (including the creeks that are part of that system, where they are owned by the City), as well as its existing and planned retention and detention basins.

In addition to the City, there are several other agencies that regulate floodplain areas and/or the resources commonly found within these areas. These agencies include the U.S. Army Corps of Engineers (Section 404 of the Clean Water Act), Central Valley Flood Protection Board, FEMA, and the California Department of Fish and Wildlife (1602 Stream Bed Alteration Agreement). The Placer County Resource Conservation District and the Placer County Flood Control and Water Conservation District provide advice and assistance on floodplain management.

FEMA plays a particularly prominent role in floodplain management. FEMA is charged with overseeing disaster assistance and mapping floodplains. One of its programs is the National Flood Insurance Program (NFIP), which requires owners of insurable buildings within designated A or V flood (100-year) zones to purchase flood insurance (if there is a federally-backed mortgage). Eligible flood zones are designated through engineering studies that are adopted by FEMA. The mapping of the flood zones then becomes the Flood Insurance Rate Map (FIRM) that reflects the expected frequency and severity of flooding by area. The City, in 1990, 2001, and again in November 2018, adopted revised FIRM (maps) and the corresponding Flood Insurance Study (FIS) to ensure continued participation in the National Flood Insurance Program.

As urbanization of western Placer County continues to increase within the Pleasant Grove Creek and Dry Creek Basins, Roseville faces the potential of experiencing increased flooding problems. Land development typically results in increased hard surfaces and decreased vegetation. These conditions limit infiltration opportunities; without adequate mitigation, they can increase storm water runoff rates and volumes and decrease the time required to reach peak discharge.

The goals and policies of this component focus on minimizing damage due to flood hazards. Key to this effort is the clear definition and application of floodplain boundaries, protection of floodplain areas, and commitment to regional cooperation on flooding issues.

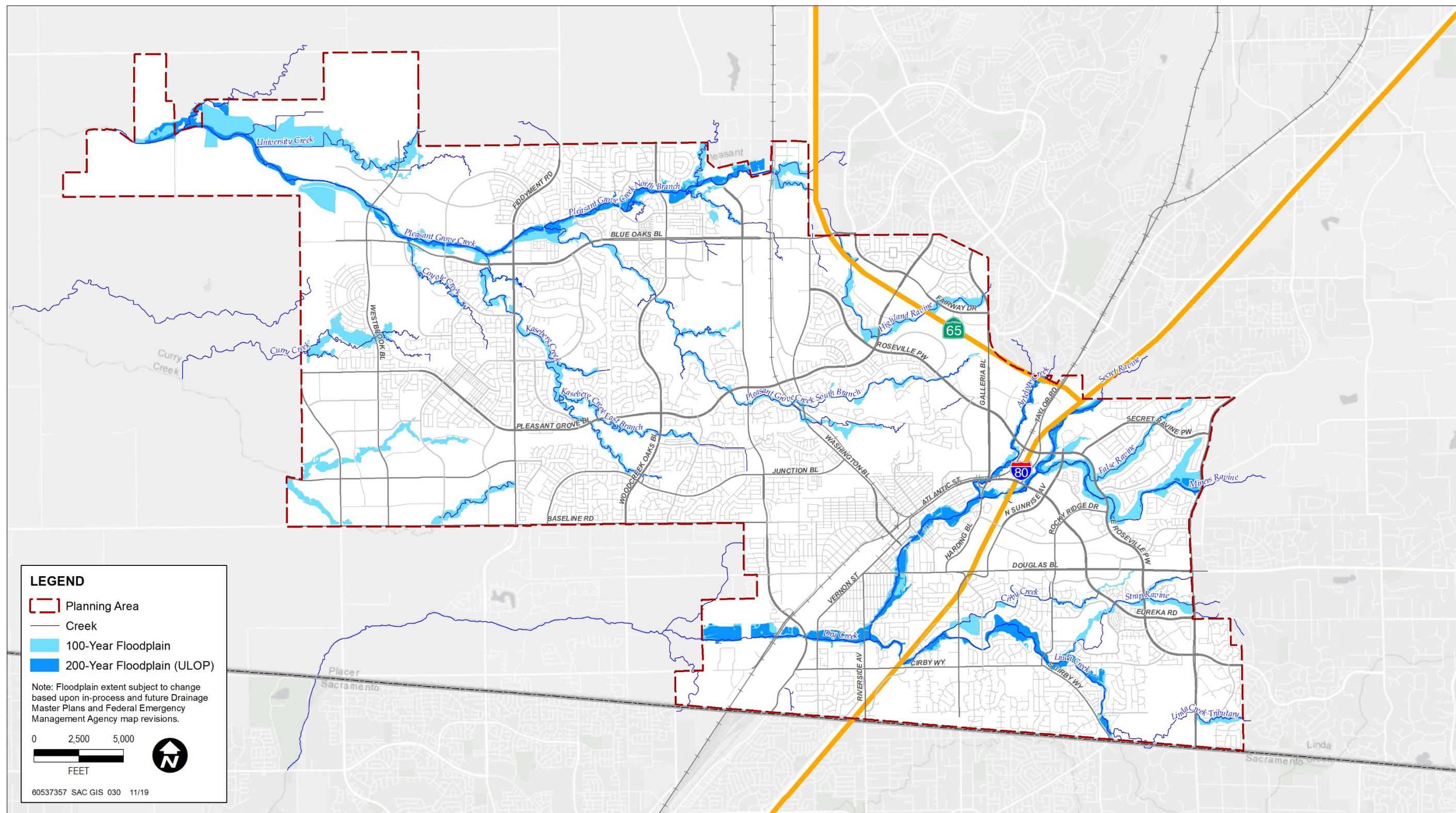
A detailed Floodplain Management Plan has been developed and is included in the City's Multi-Hazard Mitigation Plan.

## **Floodplain Designations**

Clear policy on how floodplain areas are defined and regulated is very important in effectively dealing with flood protection. Several different designations have been used to define floodplains in Roseville, including zoning and land use designations for floodplain areas, local flood hazard areas, 100-year FEMA floodplain areas, and the City's Regulatory Floodplain. It is the intent of the General Plan to establish clear direction to ensure consistent application of floodplain policy in the City.



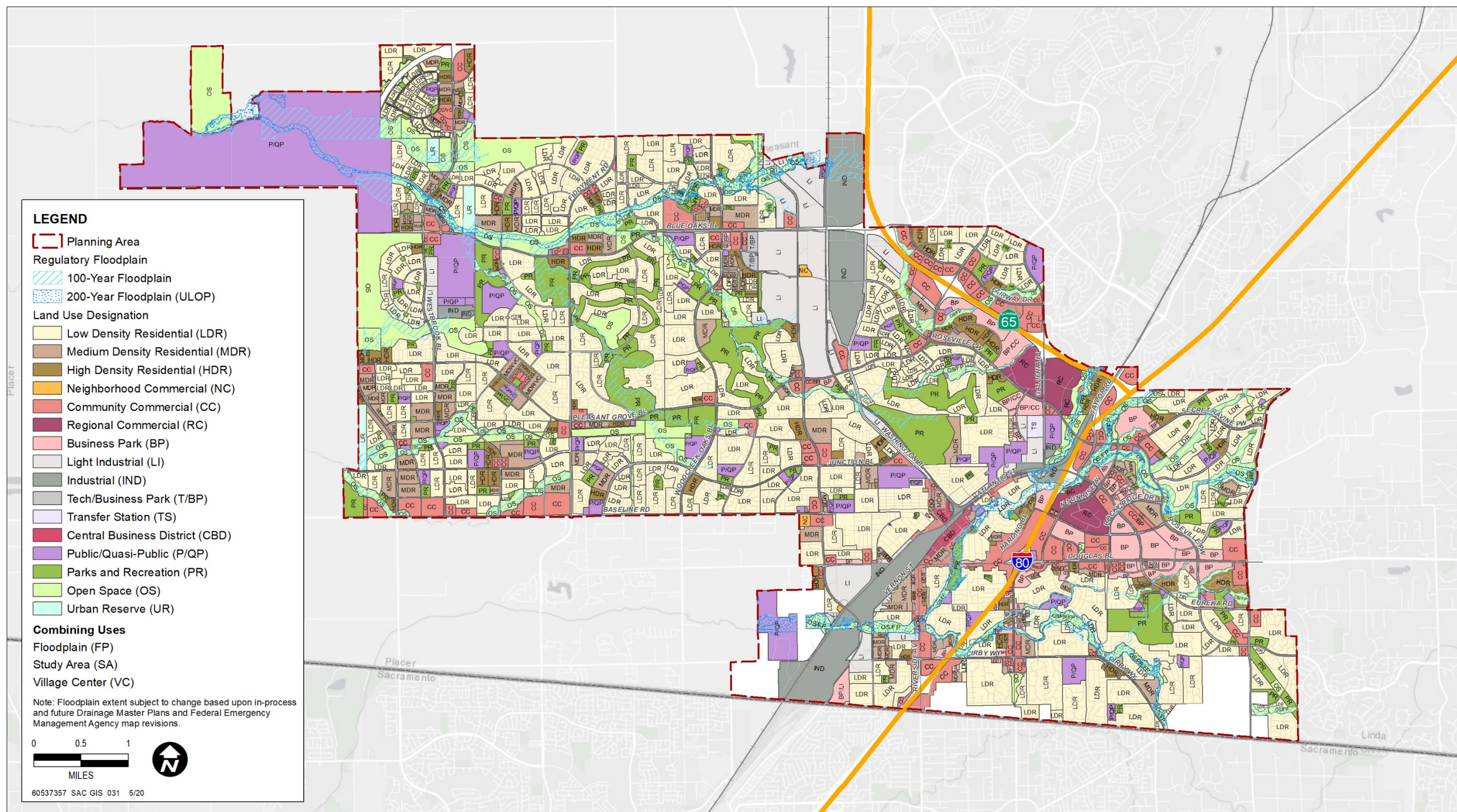
Figure VIII-2 | City's Regulatory Floodplain



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Figure VIII-3 | Land Use Designations with City's Regulatory Floodplain



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Policy relating to the designation of the floodplain recognizes that there are differences between the infill area and the remainder of the City. Infill areas were developed prior to modern floodplain mapping and policies; consequently there is existing infill development within the floodway fringe). As a result, floodplain policy for the Infill Area is slightly more flexible to account for existing development and to retain some development potential for those undeveloped but entitled properties within the floodplain, provided that compliance with the specified restrictions occurs.

### FLOODPLAIN DESIGNATION POLICY

In the City of Roseville, floodplain policy focuses on two primary objectives: (1) to minimize the potential for flood damage by providing for the safe movement of flood waters through the City; and (2) to preserve, protect, and enhance the natural habitat, open space, and recreational values found along Roseville's floodplain and creek environments. The goals and policies within this Element focus primarily on the safety objective. It is intended that these policies be utilized in combination with the policies in the Open Space and Conservation Element to ensure full implementation of the objectives stated above.

### REGULATORY FLOODPLAIN DESIGNATION

The City of Roseville shall designate the City's Regulatory Floodplain on its land use map in accordance with the best available floodplain information, as determined by the Public Works Director. The description of the elements within the Regulatory Floodplain were provided within the section "Regulatory Floodplain" above. .

Where the City's Regulatory Floodplain information does not exist, or where it is determined that the City's Regulatory Floodplain does not represent the best available information, new floodplain information shall be generated by the project proponent. New floodplain information shall generally be developed: (1) consistent with the build-out development assumptions used to develop the City's Regulatory Floodplain; and (2) in compliance with the most recent District Stormwater Management Manual.

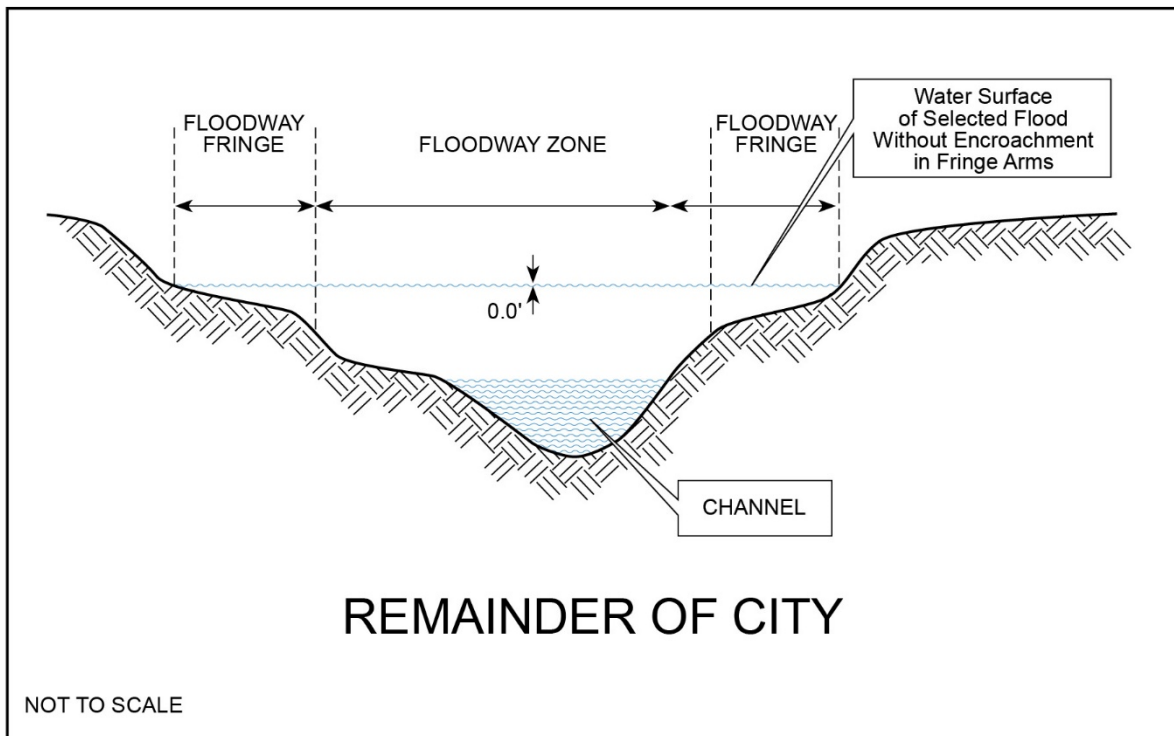
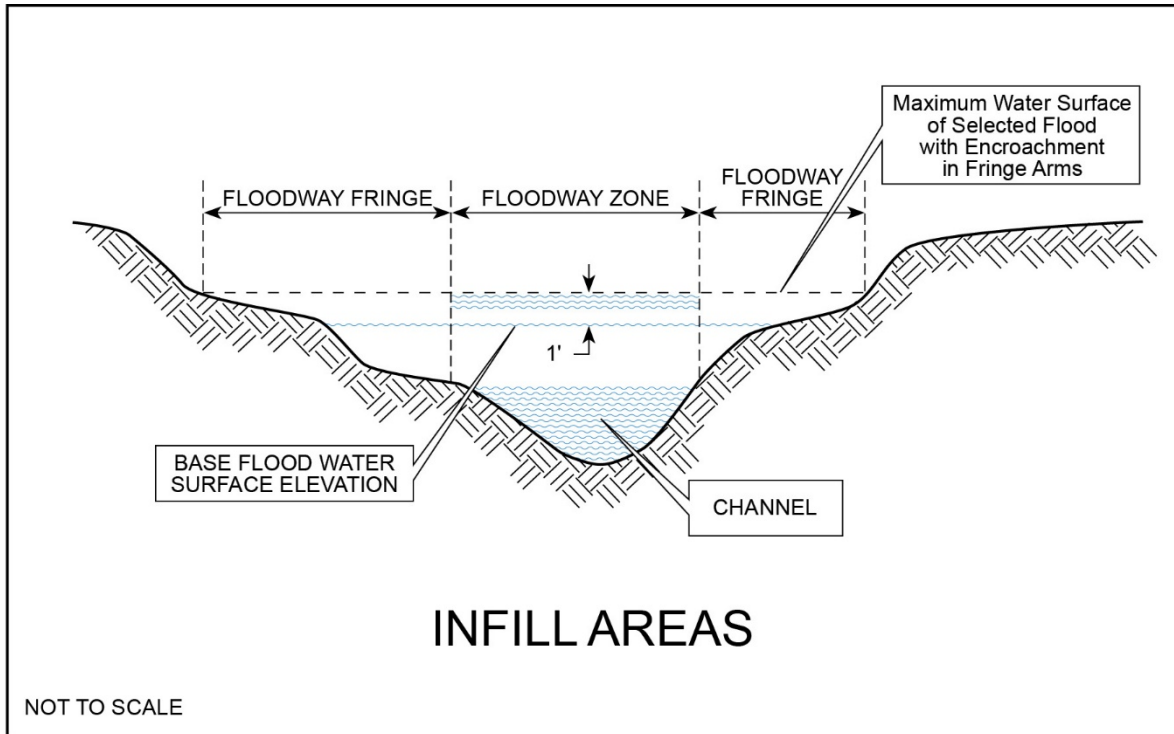
### FLOODPLAIN DEVELOPMENT REGULATIONS

Development within the City's Regulatory Floodplain shall be regulated as follows:

- **Infill Areas.** No development is permitted within the regulatory floodway. Development may be permitted by the City within the regulatory floodway fringe. Such development shall be limited to that which cumulatively results in no more than one-foot of rise in the water surface elevation.
- **Remainder of The City (Specific Plans, and the North Industrial Area).** No development is permitted within the City's Regulatory Floodplain (floodway and floodway fringe). Exceptions may be considered by the City for unusual conditions on a case-by-case basis if the encroachment is limited to only the floodway fringe and would not result in any off-site increase in the water surface elevation.

The above designations are schematically reflected in Figure VIII-4.

Figure VIII-4 | Floodplain Designation Cross Sections



60537357\_SAC\_GRX\_2020-001 Floodways 3/5/2020 VMG INDD



## ESSENTIAL SERVICES EXCEPTIONS

On-site increases in the water surface elevation and/or fill within the regulatory floodplain, including the floodway, may be permitted by the City on an exception basis if associated with essential facilities and services such as roads, infrastructure, and detention facilities subject to the following criteria:

- No feasible<sup>2</sup> alternatives exist that would eliminate or reduce the need for fill and/or an increase in the water surface elevation and would result in a lesser impact to the environment.
- The facility has been designed to result in the minimum amount of fill and impact necessary to achieve its intended purpose and results in no off-site increase in the water surface elevation.

## SECONDARY CHANNELS AND TRIBUTARIES

In general, piping of storm water in a watershed that is less than 300 acres is encouraged for ease of maintenance and for public health and safety reasons.

Channels and tributaries are defined where the existing drainage area is between 300 and 640 acres. These areas may be permitted to be channelized or modified to better serve the needs of the area.

- The modification to the channel or tributary would not result in any off-site increase in the water surface elevation.
- The channel or tributary to be modified is determined to have less than significant vegetation, habitat, visual, recreation, or other open space value.
- If channelization is permitted, the created channels should be designed to: (1) provide adequate open space to safely accommodate the 100-year flow; (2) reflect cross-sections and contours similar to the natural channel with gentle side slopes and be unlined; (3) be compatible with the adjacent system and provide transitions as appropriate; (4) be an integral part and amenity to the area; (5) incorporate habitat enhancement, mitigation, and other resources; and (6) be designed to reduce the need for maintenance.
- If piping is permitted, the 100-year flow must be safely accommodated over land in the case of a blocked pipe and must comply with all other provisions of the City of Roseville Improvement Standards.

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<sup>2</sup> Feasible is defined as capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors.

## GOALS AND POLICIES

### FLOOD PROTECTION

**Goal SAFE2.1** Minimize the potential for loss of life and property due to flooding.

**Goal SAFE2.2** Pursue flood control solutions that are cost-effective and minimize environmental impacts.

**Policy SAFE2.1** *Continue to regulate, through land use, zoning, and other restrictions, all uses and development in areas subject to potential flooding and require new development to comply with the State Plan of Flood Control requirements.*

**Policy SAFE2.2** *Monitor and regularly update City flood studies, modeling, associated land use, zoning, drainage fees and flood management projects, and other development regulations.*

**Policy SAFE2.3** *Continue to pursue a regional approach to flood issues. Participate in efforts to secure adequate flood management funding.*

**Policy SAFE2.4** *Provide flood warning and forecasting information to the community to reduce impacts to private property.*

**Policy SAFE2.5** *Minimize the potential for flood damage to public and emergency facilities, utilities, roadways, and other infrastructure.*

**Policy SAFE2.6** *Require new developments to evaluate potential flood hazards, and provide mitigation to ensure that the cumulative rate of peak run-off is maintained at pre-development levels.*

**Policy SAFE2.7** *Continue to implement the Storm Maintenance Program to keep creeks and storm drain systems free of debris.*

**Policy SAFE2.8** *Establish and maintain flood control assessment districts or consider other funding mechanisms to mitigate flooding impacts.*

**Policy SAFE2.9** *Where feasible, maintain natural stream courses and adjacent habitat and combine flood control, recreation, water quality, and open space functions.*



## POLICE SERVICES

The City of Roseville Police Department, headquartered at 1051 Junction Boulevard, provides primary law and traffic enforcement services within the City. The guiding principles for the Police Department are: Constitutional Policing, Crime Reduction, Community Care, and Respect. The Roseville Police Department is responsible for patrol duty within the City limits, including parks and open space areas, responding to and investigating crimes and other calls for service, providing animal control services, and ensuring traffic safety (i.e. enforcing the Vehicle Code and responding to traffic collision or traffic hazard calls.) Cooperation with the Union Pacific Railroad's private police department ensures provision of back-up services within the Rail Yard, as needed. The Roseville Police Department employs Animal Control officers, who respond to emergency and routine calls regarding animals and shelters stray, owner-relinquished, or impounded animals through a contract with the Placer County Society for the Prevention of Cruelty to Animals.

The Roseville Police Department staffs and houses its own communications center, which is the 911 public safety answering point for the City. The communications center dispatches for Roseville Police and Fire. The Police Department also staffs an indoor gun range and outdoor shoot house for in-house training, qualification, and testing. The range is rented out to surrounding agencies and mutual aid partners.

police population ratios, which range from 3.5 officers in large northeastern cities to fewer than 0.75 officers in mid-size, west coast cities, the Roseville Police Department believes that the effectiveness of a police force cannot be determined by police-to-population ratios alone. Adequacy in police protection must account for the community's demographic characteristics and crime levels. What may be the proper standard for one community may not be suitable for another. Flexibility is key to effective police protection. This allows the police department to better respond to changes in the frequency and nature of crimes in the City.

The Roseville Police Department offers extensive non-traditional police services that are far above the norm for cities of similar size. Currently, the department assigns sworn police officers to every public high school campus, assigns one police officer to service all of the middle-school campuses, and offers numerous low- or no-cost recreational programs for youth through the Roseville Police Activities League (RPAL). The department has a Social Services Unit, which coordinates the department's response to social service-related challenges, such as unsheltered individuals, delinquent or out-of-control youth, elder abuse, child neglect, and individuals with mental health concerns. The department also staffs a Crime Suppression Unit that focuses on community-specific problems related to drugs, gangs, and human exploitation.

The police department was instrumental in the creation of the Roseville Coalition of Neighborhood Associations, and its members assist neighborhoods and businesses with police issues, and assigns police officers as liaisons to every neighborhood association.

## GOALS AND POLICIES

### POLICE SERVICES

**Goal SAFE3.1** Maintain a professional law enforcement agency that proactively prevents crime; controls crime that the community cannot prevent; and reduces fear and enhances the security of the community.

*Policy SAFE3.1* Provide a high level of visible patrol services within the City.

*Policy SAFE3.2* Respond to both emergency and routine calls for service in a timely manner consistent with department policy.

*Policy SAFE3.3* Ensure that the Police Department utilizes modern technology and provides adequate training to maximize job performance.

*Policy SAFE3.4* Establish programs that respond to community concerns of crime, gangs, drug abuse, homelessness, mental health, and traffic.

*Policy SAFE3.5* Provide extensive community-based service and education programs designed to prevent crime and emphasize citizen protection and involvement.

*Policy SAFE3.7* Design parks that are conducive to surveillance by adjoining residents, security services, and police.

*Policy SAFE3.8* Work with other city departments to review public and private development plans, ensuring that crime prevention is addressed.

*Policy SAFE3.9* Coordinate with patrol officers in patrolling parks, open space and trails, and continue coordination with other law enforcement agencies.



## FIRE PROTECTION

The Roseville Fire Department provides fire protection, fire suppression, emergency medical services, and hazardous materials management within the City. The Roseville Fire Department employs approximately 119 personnel and operates from 8 fire stations within the Planning Area. The Fire Department provides fire code enforcement, fire safety inspections, plan review, hazardous materials enforcement and inspections, hazard abatement, public information, and public education activities, emergency preparedness, and other services.

The City maintains mutual and automatic aid agreements with the Placer County Fire Department, which provides fire protection to areas west of the City; the South Placer Fire Protection District, which provides fire protection to areas east of the City; the Rocklin Fire Department, which provides fire protection to the north; and the Sacramento Metropolitan Fire District, which provides fire protection to the south. Virtually all fire departments and districts, including the City, are part of the statewide mutual aid agreement. This agreement provides that a fire department will help any other fire department when the need arises. A similar agreement exists between all fire agencies in Placer County.

Fire Department responses can generally be grouped into three categories. Fire calls, are defined as those related to fires, including structural, vegetation, and vehicle. Emergency medical service calls are identified as those calls related to medical emergencies. Non-fire calls refer to all other calls, such as investigations of possible fire hazards, citizen assists, false alarms, and other miscellaneous calls. As the City grows, the number of incidents requiring the Fire Department has increased, with emergency medical service incidents making up the majority of requests. With improvements to building standards, fire prevention activities, and public education, fires represent approximately five percent of the total call volume.

Fire hazards include those related to structures and those related to vegetation in open spaces. Buildings constructed prior to 1980 pose a relatively greater fire risk since building codes have become progressively more effective, through design and construction standards, in improving fire safety. The California Department of Forestry and Fire Protection (CAL FIRE) has established a fire hazard severity classification system to assess the potential for wildland fires. The Planning Area is designated by CAL FIRE as a Local Responsibility Area, and there are no Very High Fire Hazard Severity Zones. Nevertheless, the Fire Department reviews development that proposes open space or is located adjacent to open spaces to ensure appropriate fire safety provisions are included.

Fire stations are located strategically throughout the community in order to place resources within an acceptable response distance. Response time from these stations is one of the most important measurements of fire department performance. Time is critical: two commonly referred to criteria used to quantify the importance of fire department response time include (1) the time of flashover in a structure fire (where a fire goes beyond the control capability of a single alarm) and (2) the time where irreversible brain damage and chances of survival are greatly reduced for patients that are pulseless and non-breathing. The Fire Department has established response performance measures based on the Fire Department's current capabilities and resources, which are outlined in the Department's Standards of Cover document.

The Insurance Service Office (ISO) rating measures fire departments' effectiveness, based on available facilities and equipment, personnel, and quantity of water available for firefighting. Roseville rates high for urban areas among its neighboring jurisdictions, with an ISO rating of 2 on a scale of 1 to 10 (the lower the number, the higher the rating). Roseville's supply and availability of water for firefighting needs is sufficient to serve the demands of buildout of the General Plan. Water pressure must be sufficient, but adequate water supply is the key to effective fire suppression.<sup>3</sup>

<sup>3</sup> The specific quantity of water needed for fire protection of individual buildings is set forth in the California Fire Code. (California Code of Regulations Title 24, Part 9).

## GOALS AND POLICIES

### FIRE PROTECTION

**Goal SAFE4.1** Protect against the loss of life, property, and the environment by the application of appropriate preventative, educational, and operational measures.

**Goal SAFE4.2** Provide emergency services in a well-planned, cost-effective, and professional manner through the best utilization of properly trained, equipped, and supervised personnel.

*Policy SAFE4.1* Continue to pursue and promote fire prevention programs and standards.

*Policy SAFE4.2* Continue to follow service level response times, as listed in the City's Standards of Cover document.

*Policy SAFE4.3* Monitor Fire Department service levels annually, concurrent with the City budget process and via quarterly reports.

*Policy SAFE4.4* Provide a comprehensive emergency medical services program to deliver basic and advanced life support services.

*Policy SAFE4.5* Provide highly trained personnel to ensure effective suppression of fires and safety for firefighters.

*Policy SAFE4.6* Seek to reduce fires by fully investigating the cause, origin, and circumstances of each fire; collect and preserve evidence; coordinate with authorities in detection, apprehension, and prosecution of arsonists; pursue each investigation to its conclusion; and use resultant findings to develop more effective fire prevention programs.

*Policy SAFE4.7* Phase the timing of the construction of fire stations to be available to serve the surrounding service area.

*Policy SAFE4.8* Continually update the Roseville Emergency Operations Plan and ensure that participants are prepared to efficiently carry out assigned functions.



## HAZARDOUS MATERIALS

This component focuses on the storage, transportation, clean-up, and emergency response aspects surrounding the management of hazardous materials. The federal government, under Title 49 of the Code of Federal Regulations, lists thousands of hazardous materials. These include radioactive waste and explosives and more commonly used substances such as petroleum products, insecticides, and household cleaning products. The handling of hazardous materials is an element of daily activity that affects all residents within the City.

### STORAGE

Proper storage of hazardous materials incorporates a variety of techniques depending on the type of material being stored. Underground storage tanks (USTs) and above-ground storage tanks (ASTs) are commonly used for the storage of hazardous materials, especially petroleum products. These storage devices are found most often at gas stations and businesses operating vehicle fleets. UST leakage has contaminated several sites within the City. As a result of these unauthorized releases, varying on-site mitigation measures have been required to address the contaminated areas. Sites that have adversely impacted underground water due to unauthorized releases of product from tanks are under clean-up orders by the Regional Water Quality Control Board in coordination with the Roseville Fire Department.

Hazardous materials used in many household products (e.g. drain cleaners, waste oil, cleaning fluids, insecticides, and car batteries) can have the potential to be improperly discarded as a part of normal household trash. The City's Environmental Utilities Department operates a household hazardous waste collection and recycling program to minimize the improper disposal of these materials.

In order to avoid spills or contamination, the Roseville Fire Department regularly monitors hazardous material generators and storage facilities in the City for compliance with state regulations, including enforcement procedures recognized by California's Department of Toxic Substances Control.

All hazardous materials handlers, which store more than 55 gallons, 500 pounds or 200 cubic feet of gas, are required to submit Hazardous Materials Management (Business) Plans. From these plans, emergency responders are provided emergency contact information, site-specific chemical inventories, and facility maps. Facilities storing materials that are "acutely" hazardous at an amount that exceeds the quantity listed in Title 19, Tables I, II, or III, must submit a more comprehensive Risk Management Plan, which includes off-site consequences analysis, maintenance and training programs, and an executive summary. Owners/operators of aboveground tanks that contain more than 1,320 gallons of petroleum hydrocarbons must comply with the state Aboveground Petroleum Storage Act.

### TRANSPORTATION

Hazardous materials are routinely transported by truck over state and federal highways, and local roads (e.g. gasoline tankers). California Vehicle Code Section 31303 requires that hazardous materials be transported via routes with the least overall travel time. Although the choice of routes is left primarily to the discretion of the transporter, the California Vehicle Code prohibits the transportation of hazardous materials through residential neighborhoods. The City has designated truck routes that attempt to divert traffic away from residential areas (see Circulation Element). The California Highway Patrol (CHP) has created plans for the transportation of hazardous materials on state and federal highways, including I-80 and Highway 65. Allowable routes depend on the type of hazardous materials being transported. Hazardous materials are also transported on the Union Pacific Railroad. As a major rail switching yard, rail cars may remain on site for various lengths of time.

### CLEAN-UP

Within the Roseville City limits, the Union Pacific Rail Yard presents a challenge to the management of hazardous materials. Defective USTs, lead-contaminated grit waste, and groundwater contamination from

diesel fuel are clean-up issues that have required outside assistance. In recognition of significant contamination on the property and in accordance with federal law, the Environmental Protection Agency (EPA) proposed that the site be placed on the National Priorities List, more commonly known as the Superfund Site List. This list identifies, assesses, and provides for clean-up of hazardous sites.

Under a clean-up agreement with EPA, Southern Pacific arranged the removal of 30 USTs and permanently closed eight others by 1990. Upon being removed from the Superfund List in September 1989, the Southern Pacific Railroad arranged with the State Department of Health Services to continue remedial action toward additional clean-up of soil and groundwater.

## **EMERGENCY RESPONSE**

Response to a hazardous materials spills varies according to the circumstances under which it is released. Hazardous materials spills on state and federal highways are the responsibility of Caltrans and the CHP, which provide on-scene management of the spill site and coordinate with the Environmental Health Department, Office of Emergency Services, and the local fire department as part of the City's Hazardous Materials Emergency Response Plan.

The Roseville Fire Department shoulders the primary responsibility for events that occur within the City. The Roseville Fire Department is staffed with its own Hazardous Materials Response Team, which also assists or provides back-up for industry response teams and for the Placer County and Sacramento City Hazardous Materials Response Teams. To ensure proper handling of a hazardous materials release, the Roseville Fire Department has developed its own Hazardous Materials Response Plan. This plan outlines the participants, responsibilities, organization, and operational duties in the event of a hazardous materials emergency, including clean-up and de-contamination procedures, and evacuations if required.



## GOALS AND POLICIES

### HAZARDOUS MATERIALS

**Goal SAFE5.1** Protect the community's health, safety, natural resources, and property through regulation of use, storage, transport, and disposal of hazardous materials.

**Policy SAFE5.1** *Require the disclosure, use, storage, and disposal of hazardous materials to comply with local, state, and federal safety standards.*

**Policy SAFE5.2** *Work with Placer County and other public agencies to inform consumers about household use and disposal of hazardous materials.*

**Policy SAFE5.3** *Cooperate fully with both public and private agencies in the event of a hazardous material emergency.*

## HEALTH SERVICES

Emergency Medical Services (EMS) is provided by the Roseville Fire Department and a private ambulance transport provider. The Roseville Fire Department delivers Advanced Life Support (ALS) via paramedic engine and truck companies.

The private ambulance transport provider, under contract with the County of Placer, delivers ALS service via ambulances staffed with one Paramedic and one EMT. The County has established a response performance measure for the private ambulance provider.

Roseville is served by two hospitals located within the City. Sutter Roseville Medical Center provides several hundred licensed beds and a full array of services and programs. The Kaiser Foundation Hospital also located in Roseville, provides several hundred licensed beds and a full array of services and programs.

### GOALS AND POLICIES

#### HEALTH SERVICES

**Goal SAFE6.1** **Ensure, to the extent feasible, an adequate level of health care services for all members of the City.**

*Policy SAFE6.1* *The City shall plan for the continued growth and establishment of health services, and expand healthcare access to serve the South Placer region.*

# IX. NOISE







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## NOISE

### PURPOSE

The Noise Element outlines policies to achieve the City's goals of protecting Roseville residents from excessive noise. This Element establishes acceptable noise levels for land uses affected by fixed and transportation noise sources. The City's intent is to provide a reasonable community noise environment, in balance with other social, economic, and environmental goals.

## SETTING

Noise sources in Roseville can be characterized as “transportation-related” and “fixed.” Transportation-related noise sources consist of roadway traffic noise, primarily from high-volume roadways, railroad noise, and aircraft overflight. Fixed noise refers to sources which originate from a specific, stationary location and include, but are not limited to, industrial facility noise; operations associated with commercial land uses; race track operations; and special events, such as softball and soccer games.

Noise levels in Roseville from transportation and fixed sources were documented through a community noise survey. The survey included a focus on areas where noise-sensitive land uses, which include residential areas, parks, and schools, that may be affected by community noise.<sup>1</sup>

Noise measurement sites were selected to be representative of typical conditions. The community noise survey was conducted at 19 locations, including nine long-term (24-hour) and 10 short-term (10 to 20 minutes) measurements. The community noise survey results indicate that typical noise levels in noise-sensitive areas range from 48 dB to 68 dB L<sub>dn</sub>. Traffic on local roadways, SR 65 and I-80, railroad operations, distant commercial and industrial activities, and neighborhood activities are the controlling factors for background noise levels in most of the City.<sup>2</sup>

### Roadway Noise

The City created estimates of transportation noise affecting the Planning Area to support the General Plan, based on noise measurements and industry standard analysis methods.<sup>3</sup> Existing road noise contours are generally reflected on Figure IX-1 and future road noise contours on Figure IX-2.<sup>4</sup> The City’s noise estimates include areas affected by transportation noise from Interstate 80, Highway 65, future Placer Parkway, and the City’s arterials.

### Railroad Noise

Railroad activity in the City of Roseville includes freight and Amtrak operations on the Union Pacific Railroad Company (UPRR) tracks and activity within the UPRR J.R. Davis maintenance yard. The J.R. Davis yard is the largest rail facility on the west coast. Noise contours associated with railroad operations were developed using noise level measurements and accepted modeling techniques.

Noise levels associated with the maintenance yard include master and group retarder “squeal,” recurring impulsive noises, and railroad line operations. The “squeal” occurs primarily at the south end of the yard and is a result of cars passing through retarders on their path to the classification yard after being pushed over the hump. The recurring impulsive noise generally occurs at the north end of the yard and is a result of freight train cars hitting together. Noise levels associated with railroad line operations are a result of warning horns, at-grade crossing bells, locomotive engine, and rail car noise.

<sup>1</sup> The main noise sources in the Planning Area are the major highways and high-volume roadways and the Union Pacific Railroad operations. Noise modeling techniques and noise measurements were used to develop generalized day-night average sound level (L<sub>dn</sub>) noise contours for these major sources, as well as other secondary fixed noise sources in the Planning Area. The L<sub>dn</sub> contours reflect the average equivalent sound level during a 24-hour day, with additional weight (10 dB) added to sound levels during the night (10:00 p.m. to 7:00 a.m.), when noise is most disruptive.

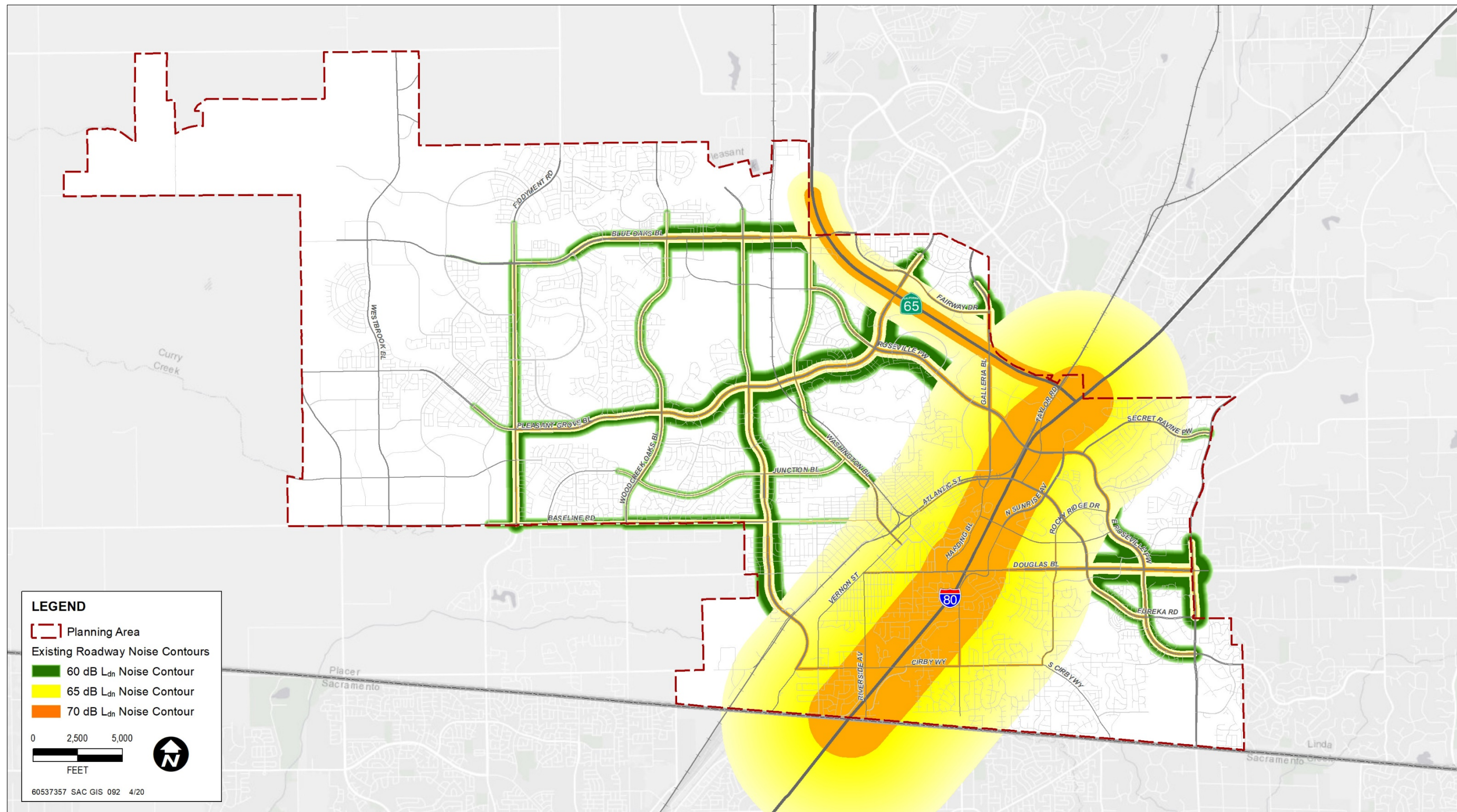
<sup>2</sup> Please see the General Plan Environmental Impact Report for more detail.

<sup>3</sup> The Federal Highway Administration (FHWA) Highway Traffic Noise Prediction Model (FHWA-RD-77-108) was used to develop L<sub>dn</sub> contours for all highways and major roadways in the City of Roseville General Plan Area. The FHWA Model is the analytical method presently favored for traffic noise prediction by most state and local agencies, including Caltrans.

<sup>4</sup> The traffic noise model was updated by JC Brennan, Noise Consultant, in 2015 as part of the Amoruso Ranch Specific Plan.



Figure IX-1 | Existing Roadway Noise Contours



**LEGEND**

- Planning Area
- Existing Roadway Noise Contours
  - 60 dB L<sub>dn</sub> Noise Contour
  - 65 dB L<sub>dn</sub> Noise Contour
  - 70 dB L<sub>dn</sub> Noise Contour

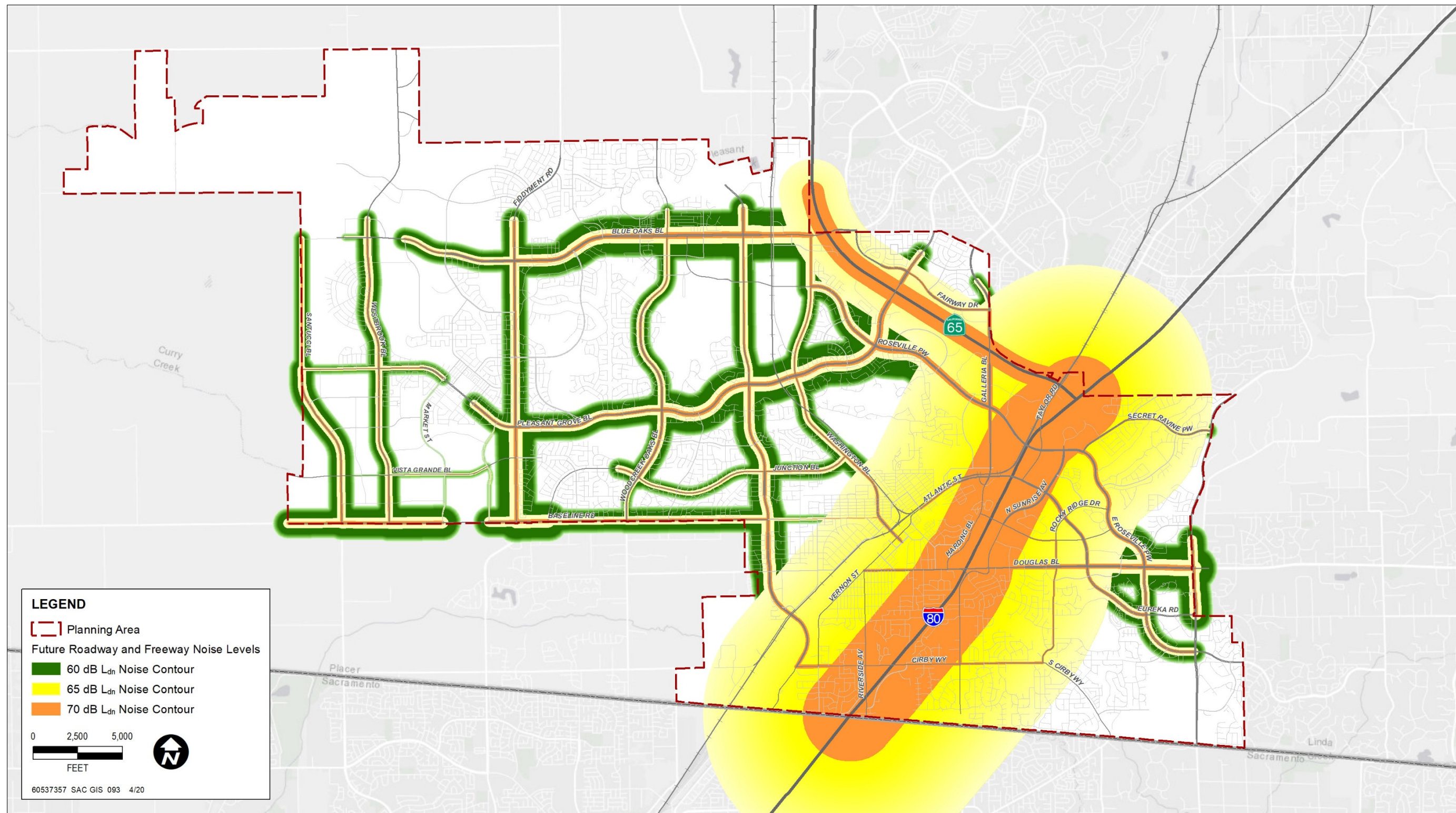
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Figure IX-2 | Future Roadway Noise Contours



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Noise contours for the railroad activities are generally reflected on Figure IX-3. According to UPRR, railroad operations within Roseville are not anticipated to change substantially in the future. Therefore, significant modifications to the reflected noise contours are not anticipated.

## Overflight Noise

Aviation noise is addressed through a combination of short-term and continuous site noise measurements of aircraft operations and review of adopted airport land use compatibility policies and noise contours. Several airports operate regionally that may affect the City of Roseville. These include McClellan Airfield, Sacramento International Airport and the Lincoln Airport. Occasional overflights from all three airports can be expected. According to Sacramento County Airport staff, the area in the vicinity of McClellan Airfield is subject to frequent large aircraft (over 75,000 pounds) operating under 3,000 feet above ground level. Based on current and historical experience, single event noise occurrences can cause annoyance to residential or other sensitive uses. However, no noise standards are exceeded by the aircraft overflight.

## Fixed Noise Sources

Industrial processes are often recognized as a primary fixed noise source. Significant noise generation can occur even when the best available noise control technology is applied. Noise exposures within industrial facilities are controlled by federal and state employee health and safety regulations (federal Occupational Safety and Health Administration [OSHA] and California Occupational Safety and Health Administration [Cal-OSHA]). Exterior noise levels may, however, exceed locally-acceptable standards.

Commercial, recreational, and public service facility activities can also produce noise that affects adjacent sensitive land uses. These noise sources can be continuous and may contain tonal components that may be annoying to individuals who live in the vicinity. In addition, noise generation from fixed noise sources may vary based on climatic conditions, time of day, and existing ambient noise levels.

Numerous fixed noise sources are dispersed throughout the City. General noise contours for the primary identified existing fixed noise source locations in Roseville are reflected on Figure IX-4.

As development increases within the City of Roseville and adjacent communities, additional noise sources are expected to follow and overall noise levels are expected to increase.

To protect residents from excessive noise exposure, noise level standards for transportation-related noise sources are identified in this element. For most noise-sensitive land uses, a 60 dB  $L_{dn}$  exterior noise level standard is established. In the case of residential uses, the intent of this standard is to provide an acceptable noise environment for outdoor activities. Interior noise level standards for most noise-sensitive land uses are established at 45 dB  $L_{dn}$ . In the case of residential uses, the intent of this standard is to provide a suitable environment for indoor communication and sleep. Table IX-1 cites the noise level criteria for transportation-related noise sources.

Hourly average noise level ( $L_{eq}$ ) and maximum noise level standards have also been established for new noise-sensitive projects affected by fixed (non-transportation) noise sources. The standards include a penalty for simple tone noises, noise consisting primarily of speech or music, or for recurring impulsive noises.

Based upon the comprehensive noise survey completed within the City, traffic noise along highways and major arterials and railroad noise from UPRR activities are, and will continue to be, the primary sources of noise in the community. The City will closely review land use and development proposals that are in close proximity to major roadways and railroad facilities for potential impacts associated with noise.

Recognizing that in increasingly urban areas it is difficult to maintain rural/suburban noise standards, and in order to facilitate the City's goals to encourage reinvestment and economic development in the Riverside and Downtown Specific Plan areas, the City may elect to allow new noise-sensitive land uses on a case by case basis in a mixed-use environment or in proximity to transportation sources. Noise levels would require mitigation to the extent feasible using building orientation, construction and design features; however ultimately, noise levels may exceed the noise standards identified in Table IX-1.

Fixed/industrial noise sources will also contribute to the City's noise environment. Future development of industrial and other significant fixed noise sources in close proximity to noise-sensitive uses, or encroachment of noise-sensitive uses upon existing or planned future fixed noise sources, could cause noise conflicts. Future land use decisions will evaluate the potential for noise impacts when noise-sensitive uses and fixed noise sources, such as industrial uses, are located within close proximity. In addition to residential areas, other noise-sensitive receptors include schools, religious institutions, hospitals and convalescent hospitals.

## **Vibration**

Vibration is the periodic motion of a medium (solid object, liquid, or gas) back and forth at a particular speed. The rumbling sound caused by the vibration of room surfaces is called groundborne noise. Sources of groundborne vibrations include natural phenomena (e.g., earthquakes, volcanic eruptions, sea waves, landslides) or human-made causes (e.g., explosions, machinery, traffic, trains, construction equipment). Vibration sources may be continuous, such as factory machinery, or intermittent, such as a heavy truck driving by.

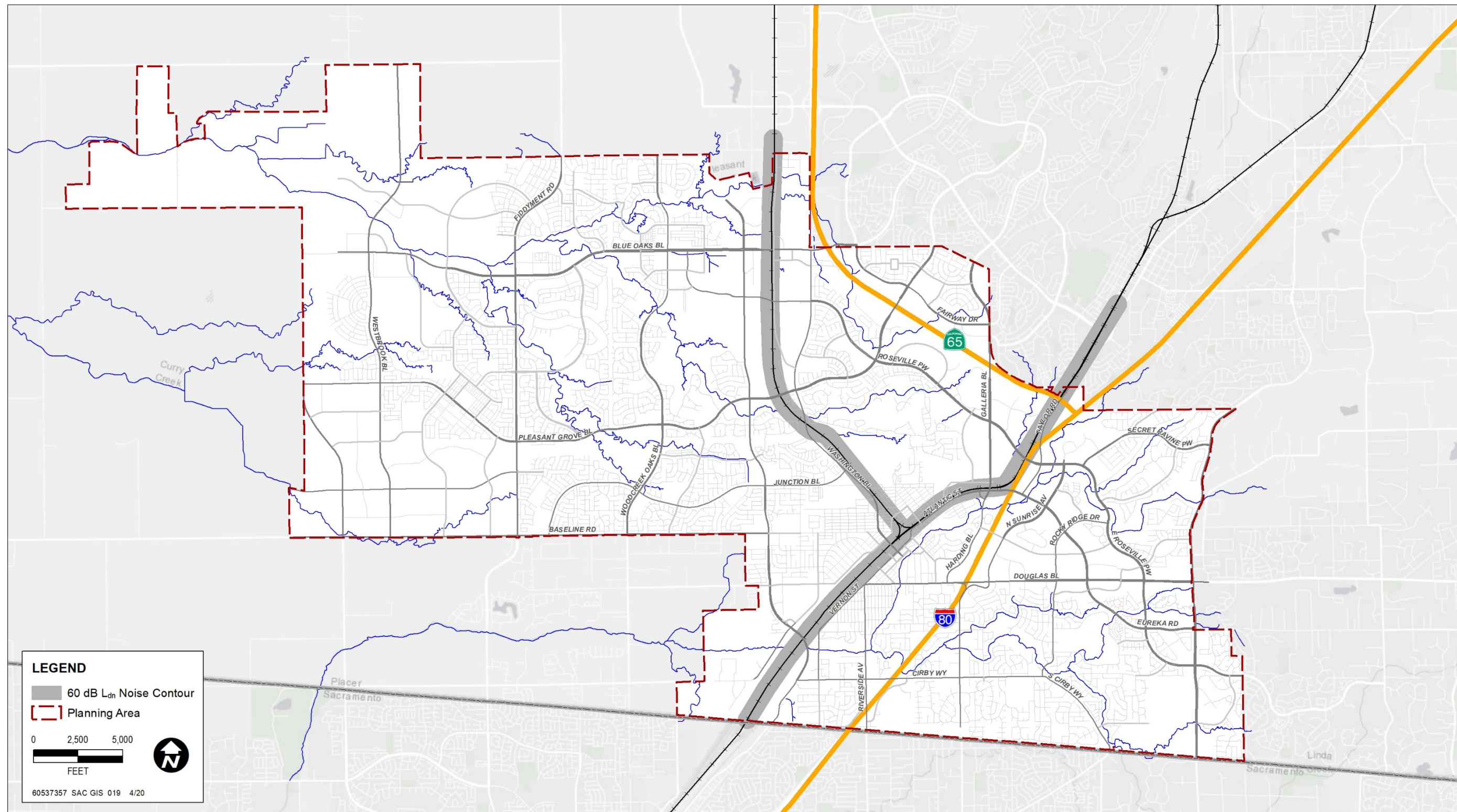
Vibration levels are commonly expressed in peak particle velocity (PPV). PPV is defined as the maximum instantaneous positive or negative peak of a vibration signal. PPV is typically used in the monitoring of transient and impact vibration and has been found to correlate well to the stresses experienced by buildings. The response of the human body to vibration relates well to average vibration amplitude. Therefore, vibration impacts on humans are evaluated in terms of vibration velocity. Similar to airborne sound, vibration velocity can be expressed in decibel notation, as vibration decibels (VdB).

## **ORGANIZATION**

The contents of the Noise Element are focused on a single component, which is Noise and Vibration.



Figure IX-3 | Railroad Line Operations Noise Contours



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## GOALS AND POLICIES

### NOISE AND VIBRATION

**Goal N1.1**      **Protect City residents from the harmful and annoying effects of exposure to excessive noise.**

**Goal N.12**      **Protect the economic base of the City by preventing incompatible land uses from encroaching upon existing or planned noise-producing uses.**

**Policy N1.1**      *The City's exterior noise compatibility standards for uses affected by transportation noise sources are included as Table IX-1. Exterior noise levels shall be mitigated to the extent feasible using site planning, building orientation, and/or other construction techniques or design features. Noise barriers should only be used after other feasible noise reduction strategies are exhausted, and not where they would interrupt existing or future community pedestrian or bicycle connectivity.*

**Policy N1.2**      *The City's interior noise compatibility standards for uses affected by transportation noise sources are 45 dBA  $L_{dn}$  for noise-sensitive uses such as residences, lodging, hospitals, assisted living facilities, and other places where people normally sleep. For noise-sensitive uses where people do not sleep, such as offices, schools, and uses with similar noise sensitivity, noise levels should be no greater than 45 dBA  $L_{eq}$ . Proposed projects should incorporate noise reduction strategies, if necessary, to achieve these interior noise levels.*

**Policy N1.3**      *The City's exterior noise compatibility standards for uses affected by non-transportation-related noise are defined within the City's Noise Ordinance, and should be applied consistent with the Noise Ordinance.*

**Policy N1.4**      *The City will require new transportation improvement projects to be designed to limit noise impacts consistent with the standards contained in Table IX-1, to the extent feasible, through the use of appropriate attenuation techniques.*

**Policy N1.5**      *If existing noise levels exceed the noise compatibility standards in Table IX-1 or Policy N1.2, then feasible methods of reducing noise to levels consistent with standards should be considered, but are not required. However if existing noise levels exceed noise compatibility standards and a project results in a significant increase in noise (as defined below), then feasible methods of reducing noise to avoid a significant noise increase should be applied. In no case should a project result in a Clearly Unacceptable noise level according to Table IX-1.*

- *Where existing exterior noise is less than 60 dB, a  $\geq 5$  dBA increase in noise is significant.*
- *Where existing exterior noise is between 60 and 65 dBA, a  $\geq 3$  dB increase in noise is significant.*
- *Where existing exterior noise is greater than 65 dB a  $\geq 1.5$  dBA increase in noise is significant.*

**Policy N1.6**      *In order to facilitate reinvestment and economic development, if noise mitigation is found to be infeasible or in conflict with other City policies regarding community design, the City may elect to allow noise levels that exceed the noise standards*

*identified in Table IX-1, although in no case should application of this policy result in a Clearly Unacceptable noise level according to Table IX-1.*

- Policy N1.7** *The City will work in cooperation with Caltrans and the Union Pacific Railroad to maintain noise level standards for both new and existing projects in compliance with Table IX-1.*
- Policy N1.8** *Public events, such as school sporting events, community festivals, and similar community and temporary events, and noise associated with emergency vehicles, alarms, or signals are exempt from the noise standards outlined in this Element.*
- Policy N1.9** *Construction-related noise that is consistent with the City's Noise Ordinance is exempt from the noise standards outlined in this Element.*
- Policy N1.10** *Include all feasible measures necessary, as a part of proposed development and public infrastructure projects, to avoid substantial annoyance for adjacent vibration-sensitive uses, consistent with California Department of Transportation and Federal Transit Agency guidance.*



**Table IX-1 | Exterior Noise Compatibility Standards for Uses Affected by Transportation Noise**

Land Use Category*	Community Noise Exposure L <sub>dn</sub> or CNEL, dBA					
	55	60	65	70	75	80
Residential	Green	Green	Yellow	Orange	Red	Red
Lodging – Motels, Hotels	Green	Green	Yellow	Orange	Red	Red
Schools, Libraries, Places of Worship, Hospitals, Assisted Living	Green	Green	Yellow	Orange	Red	Red
Auditoriums, Concert Halls, Amphitheaters	Yellow	Yellow	Yellow	Orange	Red	Red
Sports Arena, Outdoor Spectator Sports	Yellow	Yellow	Yellow	Orange	Red	Red
Playgrounds, Neighborhood Parks	Green	Green	Yellow	Orange	Red	Red
Golf Courses, Riding Stables, Water Recreation, Cemeteries	Green	Green	Green	Orange	Red	Red
Office Buildings	Green	Green	Yellow	Orange	Red	Red

**Interpretation**

**Normally Acceptable**  
Specified land use is satisfactory, based upon the assumption that any buildings involved are of normal conventional construction, without any special noise insulation requirements.

**Conditionally Acceptable**  
New construction or development should be taken only after a detailed analysis of the noise reduction requirements is made and needed noise insulation features included in the design. Conventional construction, but with closed windows and fresh air supply systems or air conditioning will normally suffice.

**Normally Unacceptable**  
New construction or development should generally be discouraged. If new construction or development does proceed, a detailed analysis of the noise reduction requirements must be made and needed noise insulation features included in the design.

**Clearly Unacceptable**  
New construction or development should generally not be undertaken.

\* Land uses not listed on this table will be evaluated according to guidance for the land use category that is most similar with regard to noise sensitivity. The land use-noise compatibility standards apply to outdoor (exterior) activity areas associated with each land use. Outdoor activity areas are the portion of a noise-sensitive property where outdoor activities would normally be expected. Outdoor activity areas for the purposes of this element do not include gathering spaces alongside transportation corridors or associated public rights-of-way.

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# X HOUSING ELEMENT



RESOLUTION NO. 21-369

ADOPTING THE 2021 HOUSING ELEMENT COVERING THE PERIOD FROM 2021 TO 2029

WHEREAS, in March 2020 the Sacramento Area Council of Governments adopted the Regional Housing Needs Plan (RHNP); and

WHEREAS, the RHNP included the Regional Housing Needs Allocation (RHNA) for each member jurisdiction, allocating the City of Roseville 12,066 total units, of which 6,178 were lower income; and

WHEREAS, the City was required to update the 2013 Housing Element to demonstrate adequate capacity for the City's RHNA, as well as update the data, analysis, and content of the General Plan Housing Element to reflect current information and current Housing Law; and

WHEREAS, the City conducted extensive public outreach to receive feedback on the Housing Element update, including workshops in October 2020, publication of a Preliminary Draft in December 2020, publication of a Second Draft in June 2021, publication of an Adoption Draft in July 2021, and publication of a Final Draft in August 2021; and

WHEREAS, the updated 2021 Housing Element is responsive to both public comments and comments from the California Department of Housing and Community Development; and

WHEREAS, the Planning Commission held a public hearing on the proposed 2021 Housing Element on July 22, 2021; and

WHEREAS, on August 18, 2021, the City Council held a public hearing at which time the proposed 2021 Housing Element was considered; and

WHEREAS, the Council of the City of Roseville desires to approve said 2021 Housing Element as conducive to public interest, health, safety and welfare, and consistent with the land use practices of the City and with state law.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Roseville that the 2021 Housing Element (attached as Exhibit A) is hereby adopted.

BE IT FURTHER RESOLVED, that the Development Services Director is hereby directed to retain said 2021 Housing Element on permanent public display in the Development Services Department of the City of Roseville and is authorized to make typographical or other non-content corrections without further Council approval.

PASSED AND ADOPTED by the Council of the City of Roseville this 18<sup>th</sup> day of August, 2021, by the following vote on roll call:

AYES COUNCILMEMBERS: Houdesheldt, Roccucci, Mendonsa, Bernasconi

NOES COUNCILMEMBERS: None

ABSENT COUNCILMEMBERS: Alvord



MAYOR

ATTEST:



City Clerk



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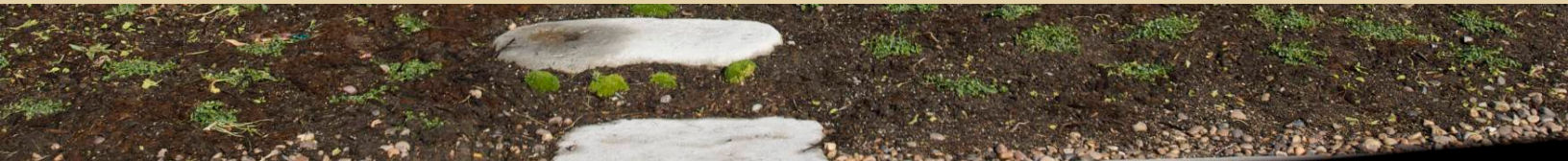


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## HOUSING



## INTRODUCTION

In California, cities and counties are required to adequately plan for existing and future housing needs. This plan is the Housing Element, a component of the General Plan that includes analyses of barriers to housing production and strategies for producing the needed housing. This Housing Element covers the period from 2021–2029. The Housing Element includes the following major sections:

- **Introduction:** This section analyzes the purpose and relationship to other elements, and data sources.
- **Public Participation:** This section includes the outreach efforts taken by the City to engage all segments of the community throughout the Housing Element update process. More details on public outreach, including materials posted, letters received, and how comments were incorporated into the Housing Element can be found in Appendix H.
- **Housing Plan:** This section identifies housing goals, policies, and objectives for the 2021 Housing Element. Funding sources are identified and schedules for implementation are set forth. In addition, a quantified objectives summary is provided.



- **Housing Needs Assessment:** This section includes an analysis of the city's demographic profile, housing characteristics, and existing and future housing needs.
- **Housing Resources:** This section includes a discussion of the City's Regional Housing Needs Allocation (RHNA), inventory/land availability, opportunities for energy efficiency and conservation, and financial resources.
- **Housing Constraints:** This section identifies potential governmental and non-governmental constraints, such as land use controls, fees and exactions, permit processing, land and construction costs, availability of financing, and equitable access to housing.
- **Glossary:** This provides an easy reference to explain terms used in the Housing Element.
- **Appendices:** Supporting technical materials and details are found within the appendices below.

#### **Appendix A – Review of the Previous Housing Element**

#### **Appendix B – Regional Analysis of Impediments (Fair Housing)**

#### **Appendix C – Detailed Sites Inventory**

#### **Appendix D – Maps of Sites Inventory**

#### **Appendix E – Rezone Program**

#### **Appendix F – Accessory Dwelling Unit Affordability Study**

#### **Appendix G – Homeless Resources**

#### **Appendix H – Public Outreach**

## PURPOSE

The United States is facing increasing housing issues of housing insecurity as a result of many issues, including insufficient housing, rising housing costs, and rising proportions of cost burdened households (those paying more than 30% of their income on housing). Nationwide, nearly a third of households are cost burdened according to American Community Survey data (2014–2018), while in California nearly 40% of households are cost burdened. While there are many factors contributing to the housing crisis which are not within local government control, local land use regulations, housing plans, and other government constraints can have a significant influence on housing outcomes. This is why a Housing Element is an essential part of a successful and healthy community, because it requires local governments to review their progress on the production of housing, identify the housing needs particular to their community, identify areas for improvement, and establish a future housing plan that will help provide access to affordable housing for all sectors of the community.

The purpose of the Housing Element is to identify and analyze existing and projected housing needs in an effort to preserve, improve, and develop housing for all economic segments of the community. The Roseville Housing Element is an eight-year proactive document, comprising guidelines for the long-term development of housing in the city.

In accordance with Government Code Section 65583, the Housing Element for Roseville includes technical data from the 2010<sup>1</sup> Census and 2014–2018 American Community Survey (e.g., population, housing, growth rates, and income levels), an evaluation of existing policies and implementation measures, and a description of new programs designed to effectively implement the Housing Element.

<sup>1</sup> This Housing Element is being prepared in fall/winter 2020/2021. Updated 2020 census data will not be available until spring 2021, and therefore was not available for use in this Housing Element.

The overall components of the Housing Element reinforce the City's dedication to provide current and future residents a range of purchase and rental units affordable to all income groups. The City will meet housing affordability goals with policies, programs, and implementation measures detailed in this Element. The City, along with all segments of the community, including the development, business, and manufacturing sectors, will work together to ensure the success of affordable housing programs.

The City of Roseville adopted a 10% Affordable Housing Goal in 1988. The 10% Affordable Housing Goal has been retained and implemented through the General Plan (as amended) and several Housing Element updates. Since its adoption 30 years ago, the 10% Affordable Housing Goal has proven to be an effective tool in the production of affordable housing. The 10% Affordable Housing Goal is not meant as a maximum goal to the development of affordable housing. In fact, the 10% goal does not ensure that Roseville meets its new RHNA allocation for the low- and very low income units for the 2021–2029 planning period.

The City's Affordable Housing Goal is not intended to be used as an inclusionary zoning program, whereby the property owner would be required to shoulder the entire responsibility of producing the affordable housing on a project-by-project basis. The intent of the 10% Affordable Housing Goal is to ensure City and developer willingness to actively work together to develop housing affordable to households of very low, low, and middle income as new Specific Plan areas in the City are planned. The City's experience has proven that incorporating the 10% Affordable Housing Goal as a long-term policy within the framework of the Housing Element provides the legal and social motivation for the City and developers to work together to designate, finance, and produce affordable housing units. However, the City will consider alternatives to achieving affordable housing within newly annexed areas, should conditions or legislation require the City to alter its approach to affordable housing.

Some of the base assumptions used in the element include:

- Future housing needs were derived from projections provided by the Regional Housing Needs Plan (RHNP), which was adopted by the Sacramento Area Council of Governments (SACOG) in March 2020. The California Government Code requires cities to use the growth rate projections contained in the RHNP.
- The City has established a 10% Affordable Housing Goal, which is based on existing and projected financial feasibility for housing projects.
- The provision of units for new households will not alter the need to maintain a 5% or less vacancy rate for both owner-occupied and rental units.
- The wage level associated with a majority of jobs created during the next eight years will not permit the purchase of a typical single-family detached unit in Roseville, unless a second wage earner contributes to total household income.
- There is a regional goal to continue to reduce commute traffic within the region by providing adequate housing in proximity to jobs, achieved, in part, by matching housing affordability to wage levels.
- Of current Roseville residents, very low- and low-income renters allocating in excess of 30% of their income for rent have a current unmet housing need.
- The City's 10% Affordable Housing Goal will be used to provide rental housing affordable to very low-and low-income households and purchase housing affordable to low-and moderate-income homebuyers.
- The State of California prefers to combine middle- and moderate-income levels into the moderate-income category. The City of Roseville considers 80% to 120% of median income too broad a range when dealing with housing affordability and has chosen to keep the two income levels separate. For purposes of clarification, the City of Roseville identifies middle-income households as having 80% to 100% of median income.
- The success of the Housing Element in attaining its goal of ensuring housing for all economic segments of the community will be measured through its ability to:



- Promote equal and fair housing opportunities for all individuals;
- Foster and maintain affordable housing for city residents;
- Promote public-private cooperation in the provision of affordable housing;
- Minimize governmental and non-governmental constraints to housing production;
- Incorporate energy efficiency and conservation into residential development;
- Continue housing monitoring programs.

The components of the Housing Element serve to reinforce the following overall principles:

- Roseville will work to accommodate the housing needs of its current and future residents by providing a range of purchase and rental housing affordable to all income groups.
- The City will strive to guarantee housing affordability over time through the adoption of policies and implementation measures as detailed in this Housing Element.
- The City's policy to provide affordable housing for all income groups is a social objective, and as such, it is the responsibility of all segments of the community to actively work together to achieve the goal. The City of Roseville, its development community, and its business/manufacturing community should work together to ensure the success of an affordable housing program.
- The City will take meaningful actions that overcome patterns of segregation and foster inclusive communities free from barriers that restrict access to opportunity.

## Summary of Population and Housing Characteristics

- **Population** – According to the California Department of Finance, the population total for the City of Roseville was 145,163 people in 2020.
- **Persons per Household** – According to the 2014–2018 American Community Survey (ACS), the citywide person-per-household average was 2.68.
- **Number of Households** – According to the 2014–2018 ACS, the number of households in the city was 49,204.
- **Household Income** – According to the California Department of Housing and Community Development (HCD), the area median income (AMI) for a family of four in Placer County in 2020 was \$80,100.
- **Employment** – According to the 2014–2018 ACS, approximately 63,060 Roseville residents 16 years and over are employed.
- **Regional Fair Share Allocation** – Roseville's fair share of the region's housing needs is 12,066 units, broken down into four income groups as follows:
 

Very Low income:	3,854 (32%)	Low Income:	2,323 (19%)
Moderate Income:	1,746 (15%)	Above Moderate Income:	4,142 (34%)
- **Residential Units** – According to the 2014–2018 ACS, there were 54,621 housing units in Roseville.
- **Owner-Occupied Households** – According to 2014–2018 ACS, 32,080 (65.2%) of the households were owner-occupied.
- **Renter-Occupied Households** – According to 2014–2018 ACS, 17,124 (34.8%) of households were renter-occupied.

- **Housing Vacancy Rates** – According to the 2014–2018 ACS, Roseville had a rental vacancy rate of 6.6% and an ownership vacancy rate of 0.9%.
- **Housing Stock by Unit Type** – According to the 2014–2018 American Community Survey, 76.4% of the city's housing stock was made up of single-family homes, 22.9% was multi-family units, and the remaining 0.7% was mobile homes.
- **Median Purchase Price** – According to realtor.com, the median sales price for homes in Roseville for the period from July 2020 to September 2020 was \$507,000. This figure represents an increase of 4.2%, or \$20,500, compared to the prior quarter and an increase of 8.2% compared to the prior year.
- **Rental Prices** – According to Forrent.com, in March 2021, one-bedroom apartments were renting for \$744 to \$2,790, two-bedroom apartments were renting for \$888 to \$4,840, and three-bedroom apartments were renting for \$1,975 to \$5,000, and meanwhile two-bedroom houses were renting for \$1,375 to \$1,925 and three-bedroom houses were renting for \$2,195 to \$2,495.

## Data Sources

The most current and relevant data sources were used in the preparation of the 2021 Housing Element. The information in this document draws on a broad range of informational sources. Information on population, housing stock, and economics comes primarily from the 2014–2018 American Community Survey, the 2013–2017 Comprehensive Housing Affordability Strategy (CHAS) data, the California Department of Finance, Sacramento Area Council of Governments (SACOG) publications, and City documents. Information on available sites and services for housing comes from numerous public agencies. The 2020 Census results were not available during document preparation. Information on constraints on housing production and past and current housing efforts in Roseville comes from City staff, other public agencies, and some private sources.

## General Plan Consistency

State law requires that “the general plan and elements and parts thereof comprise an integrated, internally consistent, and compatible statement of policies.” The purpose of requiring internal consistency is to avoid policy conflict and provide a clear policy guide for the future maintenance, improvement, and development of housing within the city. An update to the City's 2035 General Plan was approved in 2020. The purpose of the update was to incorporate updates based on the California Office of Preservation and Research 2017 update of the General Plan Guidelines, revise outdated information, clarify policy language, and make the General Plan more readable and user-friendly. More specifically, the Open Space and Conservation Element, Circulation Element, Safety Element, Land Use Element, and Noise Element were all updated to reflect changes in state law, such as the need to address travel demand management (vehicle miles traveled), environmental justice, tribal consultation, multi-hazard mitigation, and to urbanize the City's noise standards. All elements of the Roseville General Plan have been reviewed for consistency in coordination with the update to the Housing Element and were found to be consistent with the other elements of the Roseville 2035 General Plan. All Specific Plan Amendments are accompanied by a General Plan Amendment, which ensures General Plan consistency is maintained on an ongoing basis throughout the Housing Element cycle.

## Public Participation

State law requires a diligent effort be made to achieve public participation during the update of the Housing Element. Public participation assists the City with identifying and analyzing existing and projected housing needs in order to achieve the City's goal to preserve, improve, and develop housing for all income segments of the community.

It is important to note that the City of Roseville's effort to encourage community participation in development of its housing policies and programs is an ongoing process.

Public outreach efforts in conjunction with the Housing Element update are described below. Public outreach strategies for the Housing Element focused on digital options due to COVID-19. All of the City's outreach materials,



letters received, and a description of changes made to the Housing Element in response to comments are included as part of Appendix H. While the City experienced good levels of participation as part of initial outreach, Flash Vote, and during workshops, staff had concerns that all-virtual outreach might not be reaching lower income households or the Spanish-speaking community. To address this, staff specifically engaged in one-on-one interviews with stakeholders and community-based organizations which serve people experiencing homelessness, lower income households, and the Spanish-speaking community.

## INITIAL OUTREACH

After presenting the Housing Element update as a publically-noticed informational item at the July 15, 2020 City Council meeting (virtual), staff began preparing for broader community outreach. A comprehensive website with both summary information and detailed information was launched in August 2020, and announcements about the website and the initiation of the project were published through NextDoor, Facebook, Twitter, an article in Roseville Today and in Business Matters, and via e-mail to the City's listserve. These announcements prominently featured an encouragement to sign up for future notification and outreach events, which resulted in over 100 sign-ups within the first week.

## FLASHVOTE

The City distributed two Flash Vote surveys, with approximately 1,000 local respondents participating. On September 23, 2020 the City distributed a Flash Vote survey to receive initial feedback on housing types and outreach needs. The survey results suggest that respondents are somewhat evenly split between wanting smaller homes and larger homes; most want a mid-size yard or larger; and the cost of the home, size of the home, and distance to shopping/services are significant determining factors in choosing a home location. Only about a quarter of respondents indicated they understood the City's development process or how affordable housing gets constructed. As a result of this feedback the City devoted significant time to a discussion of processes and affordable housing at the City's first public workshop held on October 20, 2020 (see the Public Meetings and Hearing section, below).

A second Flash Vote survey on housing needs and concerns was distributed on October 20, 2020. When asked what type of housing the City needed most, over half chose single-family, but between 30 to 40 percent of respondents chose townhomes, senior housing, and multi-generational housing. These results speak to the need to provide flexible housing and age-in-place housing options. When asked about future growth concerns, people were most concerned about traffic, public safety, and the natural environment.

## INTERVIEWS AND STAKEHOLDER OUTREACH

Outreach was targeted to community-based organizations serving lower-income residents and special needs groups, service providers, and affordable housing developers. Groups and service providers contacted for individual interviews included The Gathering Inn, Volunteers of America, AMI Housing, Meta Housing, Mercy Housing, Placer County Whole Person Care, and the Latino Leadership Council. This included soliciting and receiving oral comments on the December partial draft. City staff also discussed the project and took comments and other feedback at the November 18, 2020 meeting of the North State Building Industry Association and at the November 19, 2020 meeting of the Roseville Coalition of Neighborhood Associations. Key discussion topics received from various topics included:

- Ensuring the housing allocation and rezone program effects are distributed equitably through the community
- Helping low income households build financial equity by increasing access to affordable purchase programs
- Removal of barriers to accessing services and programs, such as poor credit or unavailable personal documentation
- Improving and strengthening the connections between the City's social services unit and community-based organizations
- Increasing trust within vulnerable and disenfranchised sectors of the community
- Providing more one-bedroom housing options as a means of providing more housing for seniors and people with extremely low income

- Supporting more housing for very low and extremely low income populations
- Ensuring that investment of affordable housing within high opportunity areas does not result in disinvestment within other areas of the City

In addition, many service providers and affordable housing developers commended the City of Roseville, indicating that staff were engaged, proactive, and supportive of affordable housing and housing services.

## PUBLIC MEETINGS AND HEARINGS

The City of Roseville held a virtual workshop on October 20, 2020 to provide information on the project, the City's development processes, and affordable housing, and to take questions. Subsequently, the City held two virtual community meetings to receive comments and input on Housing Element development, one on October 27, 2020 at 6 p.m. and a second on October 29, 2020 at noon. Notice of these meetings was provided on the Housing Element website, in an e-mail to the City's listserve, and in Citywide communications. The purpose of the community meetings was to solicit public input and encourage public participation in the Housing Element update. Two meeting times were offered, one meeting during the daytime and one in the evening, in order to allow as many as possible from the community to attend the meetings. Each meeting was attended by City Planning staff and City Housing staff, including the Housing Manager. The evening community meeting was attended by seven people, including representatives from House Sacramento, Placer YIMBY, and representatives from local churches and the daytime meeting was attended by five people, including a representative from Placer Independent Resource Services (a non-profit providing advocacy and support for people with disabilities).

Attendees were very engaged and were very supportive of efforts to provide more housing, and more affordable housing. Each meeting group raised many questions and points of discussion on topics ranging from accessory dwelling units to accessibility. Key discussion topics included:

- Prioritizing infill development, particularly in commercial corridors, paired with discussions on how to promote conditions that result in "naturally occurring affordable housing."
- Policies or programs which could result in more medium density housing, such as bungalows and duplexes.
- The role of accessory dwelling units in affordable housing.
- Policies and/or programs which could result in more housing accessible to people with disabilities.
- Affordable housing for seniors and age-in-place development.
- Opportunities for non-profits and places of worship to help meet the region's housing needs.
- Funding and grant opportunities for affordable housing construction and purchase.

A partial preliminary draft of the Housing Element was published on December 18, 2020 and made available for review on the City's Housing Element Update website. The partial draft included the main body of the Housing Element but excluded appendices and the City's inventory; this first level of public review was focused on background, data, the fair housing discussion, and policies/programs. The City published a notice to the City's interested person listserve, Twitter, NextDoor, and Facebook to advertise the availability of the preliminary draft. The notice included a description of the changes which had been made to the Housing Element and, in addition to the standard request for review and comment, specifically asked reviewers to consider key questions in their responses, including: whether they had difficulty finding information and whether there was additional information the document should include. The City received written responses from the Sacramento Housing Alliance and three members of the community, and also received oral comments (see prior section) from community-based organizations.

Written comments covered a wide variety of issues, but areas of focus included jobs-housing, such as living wages, impact fees for commercial development, and housing in proximity to jobs; the addition of "equity earning" housing options for lower income households (i.e. for purchase housing); various recommendations to improve clarity, such as



adding a glossary, additional maps, and more explanatory text; various recommendations to add data to supplement the text; recommendations to improve the housing preservation analysis; and fair housing programs.

A second draft of the Housing Element was released on May 26, 2021 and made available for review on the City's Housing Element Update website. The second draft included an appendix with all comments received on the December draft, as well as a summary of the comments and the revisions the City made in response. A revised second draft Housing Element was released on June 1, 2021 and made available for review on the City's Housing Element Update website, with responses requested by July 1, 2021. The revised second draft included revisions made in response to preliminary feedback from HCD along with a descriptions of those revisions. Notice of both the second draft and revised second draft was sent to the City's interested person listserve, Twitter, NextDoor, Facebook, and in City news releases. Reminder notices were distributed to the listserve and posted to social media on June 21, 2021.

The City received written responses from HCD and a member of the community, and received oral comments from the Sacramento Housing Alliance. Comments covered a variety of topics, but included requests for additional analysis of fair housing as it pertains to transportation, environmental quality, homelessness, farmworkers, and housing conditions; realistic capacity of commercial mixed use sites; realistic capacity of nonvacant sites; and large households. Various program modifications were also requested, including adding a fair housing focus to multiple programs, adding more details and commitments in the large sites program, changing the requirements for community care homes, adding extremely low income program commitments, adding data on affordable housing production, indicating when the residential capacity monitoring program would be in place, and an estimate of the number of people who would be assisted by the Homeless Prevention and Rapid Rehousing Program.

A third, adoption draft of the Housing Element was released on July 9, 2021. The City held a public hearing before the City's Planning Commission on July 22, 2021 to review and receive public comment on the adoption draft Housing Element and to receive the recommendation of the Planning Commission. The City received written correspondence from 25 residents and from the Sacramento Housing Alliance, but received no oral comments at the hearing. After discussion, the Planning Commission unanimously recommended City Council approve the Housing Element. The final draft Housing Element was published on August 6, 2021. City Council held the adoption hearing on August 18, 2021, where the 2021 Housing Element was approved.

## HOUSING PLAN

The City's programs listed in the Housing Element are organized to include program text, a timeline, objectives, the implementing agency, and funding sources for the program. Program timelines are generally stated as "ongoing," on a set time period (e.g. annually), and/or by a specific date (e.g. 2024). Programs with a timeframe of "ongoing" are existing programs where continuous implementation is ongoing. Programs which are new and must be implemented or which are only effective at certain times (such as annual applications for funds) include a specific date as the timeframe, and this represents the time by which the program will be effectuated or carried out. In addition to these timeframes, programs also include a set time period (monthly, annually, etc). The set time period reflects reporting rather than implementation, and indicates how frequently program results will be tracked or reported. For example, a program with a timeframe of "Ongoing, and at least annually" is an existing program being continuously implemented, with the results of implementation reported annually.

Program objectives indicate the metrics which will be used to determine program success, and are quantified wherever possible. The implementing agency indicates which agencies, departments, or divisions are responsible for carrying out the program. The funding source indicates the sources of funding for program implementation.

### Citywide Housing Goals

The City of Roseville has the following citywide goals.

## CITYWIDE HOUSING

- Goal H1.1** Provide decent, safe, inclusive, and affordable housing in sufficient quantities for all economic segments of the community.
- Goal H1.2** Ensure that all segments of the Roseville community actively work together to provide affordable housing.
- Goal H1.3** Preserve affordability, maintain, and improve Roseville’s supply of affordable housing stock.
- Goal H1.4** Increase the opportunity for low- and middle-income households to become homeowners, thereby freeing up rental housing for other low-income households.
- Goal H1.5** Reduce the overall incidence of homelessness among Roseville individuals and families through regional coordinated and comprehensive housing and supportive services.

The following goals, policies, and programs are divided into five sections:

- Affordable Housing
- Residential Land Inventory
- Equitable and Inclusive Housing Choice
- Government and Non-Governmental Constraints to Housing Production
- Residential Energy Efficiency and Conservation

## Affordable Housing Goals and Policies

### AFFORDABLE HOUSING

- Goal H2.1** Work with the development and business communities to provide affordable rental and homeownership opportunities for extremely low-, very low-, low-, and middle-income households.
- Goal H2.2** Strive to ensure the affordability of Roseville’s housing supply over time.
- Goal H2.3** Maximize efforts to meet affordable housing needs by requiring 10% of new housing units be affordable to extremely low-, very low-, low-, and middle-income households.
- Goal H2.4** Integrate the community in terms of income levels to avoid overconcentration of lower-income households.
- Goal H2.5** Encourage the production of rental and owner-occupied high-density, multi-family housing units.



- Policy H2.1** *The City shall pursue programs that can provide a range of purchase and rental units affordable to all income categories.*
- Policy H2.2** *Efforts to develop affordable units will be focused on multi-family rental units, with an emphasis on units affordable to the lowest income categories.*
- Policy H2.3** *Multi-family rental units provide the most cost efficient way to provide affordable housing opportunities to extremely low-, very low-, and low-income households.*
- Policy H2.4** *The 10% Affordable Housing Goal shall apply consistent with General Plan Land Use Element Policy LU5.5, which requires 10% of all new housing units to cost no more than 30% of the total monthly income of very low-, low-income, and moderate-income households. The Policy further requires the breakdown of the affordable units will be, at a minimum, 40% for rental to very low- and 40% for rental to low-income households. The remaining 20% may be reserved for moderate-income purchase (which will be priced to be affordable to households earning 95% of the Area Median Income) or may be distributed equally among the rental obligations.*
- Policy H2.5** *The City shall strive to maintain an overall vacancy rate of 5% for both owner and rental housing units.*
- Policy H2.6** *The City shall continue to pursue potential federal, state, and local subsidies for construction of new affordable housing as well as the continued availability of existing affordable housing.*
- Policy H2.7** *The City shall provide direct financial assistance in support of local affordable housing activities when feasible.*
- Policy H2.8** *The City shall encourage the Roseville business and development communities to participate in a community affordable housing goal.*
- Policy H2.9** *Encourage construction of affordable housing units to be intermixed with market-rate units..*
- Policy H2.10** *Encourage developers to incorporate accessory dwelling units, cohousing, and other flexible housing options into their projects.*
- Policy H2.11** *Promote efficient and cost-effective development types, such as mixed-use projects, small-lot subdivisions and other medium density housing such as duplexes and townhomes, as a means of achieving housing affordability and carrying out the provisions of the Land Use Element.*
- Policy H2.12** *The City shall work to preserve the affordability of assisted units.*

## Implementation Measures/Programs

### 1. FEDERAL AND STATE PROGRAMS

The City shall pursue and continue to participate in the following federal and state programs:

#### Housing Choice Vouchers (Federal)

The Housing Choice Voucher (HCV) Program is administered by the Roseville Housing Authority (RHA) and provides rental assistance to extremely and very low-income households through direct payments to the property owner. The Housing Authority currently has 785 vouchers which includes separate vouchers for the following special needs groups:

- 75 vouchers for households with a head-of-household or spouse that are non-elderly and disabled (NED)

- 65 vouchers for veteran households that come by referral from the Veterans Affairs Department (VASH)
- 33 vouchers that assist households who have a non-elderly adult with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless (Mainstream – new program in 2018)
- 30 vouchers that are attached to specific units at the Main Street Plaza affordable project (Project Based Vouchers – new program in 2020). Of the 30 PBV vouchers:
  - 1 is a regular HCV voucher
  - 10 are regular vouchers layered with Placer County Mental Health Services Act funding, 3 of which much come from homelessness
  - 19 are VASH vouchers
- 50 new Emergency Housing Vouchers for those who are homeless or at risk of homelessness, fleeing or attempting to flee domestic violence, dating violence, sexual assault, stalking, or human trafficking, recently homeless, or having high risk of housing instability (new program in 2021)

All of the HCV programs listed above support Roseville households that are extremely low-income. The Housing Choice Voucher Rental Assistance Program requires that 75% of new households admitted to the program each year fall under the extremely low-income category. Between 2013 and 2020, RHA issued 525 vouchers to new households. Over the last 8 years, RHA has assisted 49 extremely low-income households per year, at the minimum. The HCV rental assistance program is promoted on the City's website, through program brochures and through service providers throughout the region.

#### Community Development Block Grant (Federal)

The City is an entitlement jurisdiction for Community Development Block Grant (CDBG) funds and sets aside a portion of its annual allocation of CDBG funds for the following housing activities:

- **Owner Occupied Housing Rehabilitation Program**  
The City began the Owner Occupied Housing Rehabilitation Program in 1980. The program is considered a key component in the City's affordable housing strategy as a means of preserving Roseville's housing stock affordable to lower-income households. The program, targeted to low-income homeowners, offers grants to elderly and disabled homeowners and deferred loans to all low-income households for health and safety repairs and energy efficient upgrades. Deferred loans become due and payable upon sale, change of title, change of use or 30 years. Any program income received as a result of a loan payoff is used to fund new loans and grants. The Housing Rehabilitation Program is promoted on the City's website and through the use of program brochures. Implementation of this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions.

#### Home Investment Partnership Program (HOME) (State)

The City began its participation in the State-administered HOME Program in 1994 for the creation and maintenance of affordable housing. The City utilizes HOME funds for the following programs:

- **Housing Rehabilitation Program**  
The CDBG funds are leveraged with HOME funds to provide loans and CDBG grants to low-income homeowners. The Housing Rehabilitation Program is described above. Implementation of this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions.



- **First Time Home Buyer (FTHB) – Down Payment Assistance (DAP) Program**  
The City sets aside a portion of its HOME grant for down payment assistance in the form of deferred, shared appreciation loans (second mortgages). The FTHB-DAP Program is targeted to low-income households. The homebuyer must qualify under the City's definition of a first-time home buyer, be able to provide at least a 1% down payment, and have attended a Home Buyer's Seminar. The buyer must also comply with the City's criteria with regard to home selection. Outreach for this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions and where there is a higher proportion of communities of color.
- **Multi-Family New Construction**  
The City also pursues HOME funds for construction of multi-family affordable units. HOME funds are leveraged with other funding sources such as Section 202 funds, Low Income Housing Tax Credits, Tax Exempt Housing Bonds, etc., to provide affordable rental housing targeted to extremely low- and very low-income households. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive funds.

*(Policies H2.1, H2.2, H2.5, H2.6)*

**Time Frame:** Annual Applications, 2021–2029

**Objectives:** To support low income households that need assistance in order to stay housed by issuing a minimum of 65 Housing Choice Vouchers per year, 49 of them to extremely low income households, and assisting 6 low income homeowners per year.

**Implementing Agency:** Housing Division and Roseville Housing Authority

**Funding Source:** HUD, HOME, CDBG

## 2. DENSITY BONUS PROGRAM

The City shall continue to implement its Density Bonus Program to help promote and create affordable housing units. The program provides a property owner the ability to construct more income-producing units within the project that can offset the cost of providing affordable units. The Density Bonus Program is promoted on the City's website, and information is available at the City's Permit Center. The City's Housing Division staff also actively promotes the Density Bonus Program in conjunction with implementation of the 10% Affordable Housing Program.

The City's Density Bonus Program is consistent with State Government Code Section 65915–65918. The Density Bonus Program provides for a minimum 20% to a maximum 50% density bonus in the maximum number of dwelling units, in addition to incentives and/or concessions. The concessions and/or incentives may include reduction in zoning standards, development standards, design requirements, mixed-use zoning, financial assistance, or any other incentive that would reduce costs of the developer.

A developer may qualify for a density bonus and additional incentives and/or concessions if the developer agrees to construct and maintain a minimum of one or more of the following:

- Five percent (5%) of the units affordable to very low-income households
- Ten percent (10%) of the units affordable to lower-income households
- Ten percent (10%) of the units in a condominium project affordable to moderate-income households
- A senior housing development or mobilehome park that limits residency based on age
- Donates land to the City dedicated for the construction of very low income units
- Includes a qualifying child care facility

- Ten percent (10%) of the units for transitional foster youth, disabled veterans, or homeless persons and dedicated to very low income households
- Twenty percent (20%) of the units for lower income students in a student housing development or
- One hundred percent (100%) of the units dedicated to lower income households, except that up to twenty percent (20%) of the units may be dedicated to moderate income households.

The density bonus is increased on a sliding scale, depending on the type and number of affordable units, up to a maximum 50% density bonus. The number of concessions/incentives granted by the City also increases based on the number and type of affordable units to be constructed. The developer must enter into an Affordable Housing Agreement to secure the affordable units for a minimum of 55 years prior to issuance of building permits or prior to final map approval.

*(Policies H2.1, H2.2, H2.4)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To increase the City's supply of affordable housing.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

### 3. ACCESSORY DWELLING UNITS ORDINANCE

An accessory dwelling unit (ADU) shall be as defined by Government Code Section 65852.2 as it now exists or may hereafter be amended, and means an attached or detached residential dwelling unit that provides complete independent living facilities for one (1) or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the primary dwelling is situated. It also includes an efficiency unit and a manufactured home as defined in the Health and Safety Code. A junior accessory dwelling unit (JADU) shall be as defined by Government Code Section 65852.22, as it now exists or may hereafter be amended, and currently means a unit that is no more than 500 square feet in size and contained entirely within a single-family dwelling. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure. The City currently supports and promotes the development of ADUs and JADUs on the City's website and information is available at the City's Permit Center.

*(Policies H2.1, H2.2, and H2.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Issue building permits for a minimum of 10 units annually (five times the average rate between 2013 and 2017) for a total of 80 units.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 4. CONDOMINIUM CONVERSION ORDINANCE

The City shall continue to enforce its Condominium Conversion Ordinance to define those conditions under which the conversion of rental units to condominiums would be permitted. Under the ordinance, conversions cannot occur unless certain criteria are met, including the City's established minimum citywide vacancy rates for multi-family rental housing; a minimum percentage of multi-family rental units citywide; provision for affordable housing requirements and Community Benefit Fee; and tenant protections, including a Tenant Relocation Plan, etc.



If the conversion meets the required criteria, the developer must enter into an Affordable Housing Agreement to secure the affordable units provided as part of the conversion approval.

*(Policies H2.1, H2.2, H2.4, and H2.11)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To support the conversion of rental units to condominiums.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

## 5. STREAMLINE PROJECT PROCESSING

To provide certainty and facilitate application processing, the City publishes processing schedules for all entitlements, provides pre-application review to ensure applications are complete prior to submittal, and provides an online permit system. The online permit system allows applicants to submit an application, pay fees, and process comments and revisions entirely online. The online permit system streamlines development and reduces applicant costs by eliminating the need for printing, travel to City offices, and mailing delays. The City's entitlement processing timelines are included within Table X-37 on page 148. .

*(Policies H2.1 and H2.2)*

**Time Frame:** Ongoing, as applications are processed.

**Objective:** Complete 100% of complete applications within the City's adopted schedules.

**Implementing Agency:** Development Services Department

**Funding Source:** General Fund

## 6. SPECIFIC PLAN AREAS (SPA)

The provision of affordable housing is a societal goal, one that should be achieved through the efforts of the entire community. The City shall ensure that Specific Plans are consistent with the goals and policies of the General Plan. The primary purpose of the Specific Plan Area process is to guide the comprehensive urbanization of land use in a mix of residential neighborhoods, schools, parks, open spaces, supporting retail and public facilities, employment uses, and an affordable housing component. The Specific Plan Areas are the first step in implementing programs such as the 10% Affordable Housing policy.

The City's General Plan Land Use Element contains a section called Growth Management, which establishes the policy framework the City uses when considering new growth and annexation. Land Use Policy LU8.5 states "The City shall use the specific plan process to ensure a comprehensive, logical growth process for new development areas (e.g. annexations) or any areas where significant land use changes are considered." The City's General Plan establishes that the City does not grow in a piece-meal fashion. Instead, the City considers all annexations or significant land use plans inside the context of a detailed Specific Plan process. Additional Land Use Element policies describe the minimum standards, information, and benchmarks which must be met by new Specific Plans, which includes demonstration of compliance with the City's 10% affordable housing policy.

The City's 10% affordable housing policy has produced over 3,000 units since program inception, which is an average of 100 units per year. Furthermore, over the last decade the City's average overall housing production has been approximately 950 units per year, which means that on average 10% of the City's growth during the prior Housing Element cycle has been affordable housing. The 10% goal is applied within each Specific Plan as well, not just for the City as a whole. For example, the Stoneridge Specific Plan included capacity for 2,861 total units, 286 units of which were required to be affordable. At the time the Specific Plan was adopted in 1998 the City's policy did not require a

40/40/20 split of very low/low/moderate income units, so the Specific Plan called for a split of 75% very low and low (combined) and 25% moderate income units. The Specific Plan is nearly fully built with a total of 2,745 total units constructed, of which 251 are affordable, with 116 mixed income units remaining, of which 29 are lower income<sup>2</sup>. Of the constructed affordable units, 73 were moderate income purchase, 150 were low and very low income rental (for seniors), and 28 were low income purchase. The sites where these units were built are distributed through the plan area, not concentrated.

Compliance with the City's General Plan growth management policies results in a robust and detailed Specific Plan. The City's Specific Plans are divided into large lots, and each of these, if residential, is assigned a specific number of allocated units. This is evident in the City's residential capacity inventory in Table X-29 (page 77), where each Specific Plan includes a list of numbered large lots (e.g. AR-1 for Amoruso Ranch Specific Plan Large Lot 1) and these are assigned a land use designation, zoning designation, density, and specific number of allocated units. In turn, this allows the City's infrastructure planning for roads, drainage, sewer, and water, as well as service planning for parks, schools, fire services, and transit to be extremely robust and detailed. Each plan specifically defines the size and location of infrastructure and services, including lift stations, electric substations, wells, and fire stations. The detailed planning process enables the California Environmental Quality Act (CEQA) process to be likewise detailed and specific, resulting in the ability of future subdivision or multifamily projects consistent with the Specific Plan to use CEQA exemptions.

As part of assigning each large lot a specific unit allocation and density, a new Specific Plan must designate at least 10% of the total units as affordable. The affordable housing section or chapter of each Specific Plan includes a table or list of all large lots with an affordable housing obligation, along with the type of units and targeted income categories. Strategies, including City and landowner obligations, are described. A provision for the payment of in-lieu fees for affordable housing may be included, if appropriate. The City works with the Specific Plan applicant(s) to ensure an appropriate mix and type of residential and non-residential uses, and to ensure that affordable housing sites are distributed through the planning area in order to avoid the creation of concentrated affluence. The City does not meet its affordable housing policy in a piece-meal or project-by-project fashion; the affordable housing plan is established at the time the Specific Plan is approved. Additional discussion regarding the City's Specific Plan Areas is provided under the 10% Affordable Housing Goal in the Housing Constraints section of this Housing Element.

*(Policies H2.1, H2.2, H2.3, H2.4, H2.8, and H2.10)*

**Time Frame:** Ongoing, as SPAs are approved

**Objectives:** Ensure affordable units are integrated throughout the SPA and provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 7. PUBLIC/PRIVATE PARTNERSHIPS

While the Specific Plan Areas program above establishes the process by which affordable housing is scoped and planned within each Specific Plan, the Public/Private Partnerships program ensures the requirement is recorded on each property and defines the responsibilities of the City and property owner. Within each of the adopted Specific Plans, the City has included a provision for a public/private partnership, between developers of housing and the City, to achieve the 10% Affordable Housing Goal. In addition to implementing the Affordable Housing Goal within the Specific Plan, the City also requires the affordable housing plan to be reflected within a Development Agreement. The Development Agreement restates the land use plan, including the units allocated and the affordable housing

<sup>2</sup> These affordable units are located on Parcel 17 (4 purchase units), Parcel 54 (69 purchase units), Parcel 21 (150 rental units), and Parcel 23 (28 purchase units), which are distributed through the Specific Plan. The map is located here: [https://www.roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Development%20Services/Planning/Specific%20Plans%20&%20Planning%20Areas/Stoneridge%20Specific%20Plan/Stoneridge%20Tables%20and%20Map.pdf](https://www.roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Development%20Services/Planning/Specific%20Plans%20&%20Planning%20Areas/Stoneridge%20Specific%20Plan/Stoneridge%20Tables%20and%20Map.pdf)



obligations, but also includes a financing plan. The financing plan uses the detailed infrastructure and service studies to establish the per-unit fees which will be applied to every residential unit or non-residential project. This makes fees predictable and transparent for developers. Roseville has identified the following specific roles in this partnership to provide affordable housing:

#### City of Roseville

The City shall continue with an aggressive affordable housing program designed to maximize potential funds available through existing federal, state, and local programs. Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement. The Development Agreement requires a developer to enter into an Affordable Housing Agreement prior to building permits being issued or recording of the final map. The City of Roseville will assist all property owners in obtaining appropriate and available subsidies for construction of the affordable housing obligation.

#### Development Community

Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement.

*(Policy H2.7)*

**Time Frame:** Ongoing Roseville Specific Plan Process

**Objectives:** Ensure affordable units are integrated throughout the SPA and provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 8. AFFORDABLE HOUSING AGREEMENTS

Implementation of the City's Affordable Housing Goal begins with planning of the Specific Plan, is established by the Development Agreement, and then when a developer is ready to pursue construction on a site with an affordable housing obligation, is effectuated by the Affordable Housing Agreement. The City shall require Affordable Housing Agreements for all housing projects subject to affordability requirements. Such agreements shall stipulate: (1) the number of affordable units to be constructed; (2) the affordable purchase calculations or rental price; (3) the income group to whom the units will be affordable; and (4) the length of time the units will remain affordable. Maximum rents and purchase prices will be determined based on unit size and occupancy levels as follows:

Unit Size	Household Size
1 Bedroom	1.5 Persons
2 Bedroom	3 Persons
3 Bedrooms	4.5 Persons
4 Bedrooms	6 Persons

The City shall, on an annual basis, review all Affordable Housing Agreements for compliance with affordability provisions. Any property owner who fails to comply with the requirements of an Affordable Housing Agreement may be found by the City Council to be in default of the agreement.

*(Policies H2.1, H2.2, H2.3, H2.7, H2.9, and H2.10)*

**Time Frame:** Ongoing and Annual Monitoring

**Objectives:** Provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 9. IN-LIEU FEES

The City prefers affordable housing be developed as specified under the 10% Affordable Housing Goal within each of the Specific Plan Areas. The collection of in-lieu fees presents a challenge to the City, since the City does not control or own land to ensure the development of the affordable units. Therefore, the City has not established a formal in-lieu fee program and encourages the development of affordable housing. In-lieu fees may be considered on a case-by-case basis. In all cases where in-lieu fees are considered as an alternative to producing affordable units, Housing Division staff will review the project based on: (1) a good faith effort by the owner to secure and use available subsidies; (2) the type of project and its ability to absorb the affordable units; and (3) the ability to use the in-lieu fees within the same Specific Plan or infill areas. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive any funds collected.

Development Agreements shall be the mechanism used to secure implementation of the affordable housing program.

*(Policies H2.1, H2.2, and H2.3)*

**Time Frame:** Ongoing, as SPAs are approved.

**Objectives:** Provide 10% of total SPA units as affordable units, consistent with Land Use Element Policy LU5.5.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 10. NON-RESIDENTIAL CONSTRUCTION FEE

The City shall consider the establishment of a non-residential construction fee program, and has initiated a nexus study to review the establishment of a non-residential construction fee which would levy a fee on non-residential construction to assist in the development and retention of affordable housing. The rationale behind this fee is that new employment is a factor in the need for additional housing. The City will review the establishment of a non-residential construction fee by 2021, at which time the City will determine if it will pursue a program and, if so, the specifics of the program. The program shall prioritize funds for projects in areas of high opportunity or in areas at risk of displacement.

*(Policy H2.7)*

**Time Frame:** 2021

**Objectives:** Provide additional funding sources for affordable housing.

**Implementing Agency:** Development Services Department

**Funding Source:** Affordable Housing and Planning Administration for nexus study - Funds would be generated as part of this program to provide affordable housing.

## 11. PRESERVATION OF AFFORDABLE HOUSING

The City shall designate, in 2021, a Preservation Coordinator who will:

- On an annual basis, update and analyze the risk of conversion to the highest risk properties.
- Register with State HCD as a Qualified Entity in 2022 to receive notices of properties facing a potential loss of affordability.



- If the Preservation Coordinator identifies projects with affordable units at risk, the City will contact the owner regarding their interest in selling properties or maintaining the rental units as affordable.
- The City will work with property owners to assist with the provision of the required notifications to tenants, local governments, and Qualified Entities in addition to assisting qualified local nonprofit organizations to register as a Qualified Entity.
- The City will assist with the identification and application for federal, state, and local subsidies to ensure the continued affordability of housing units.
- The City will make available to tenants of projects at risk of conversion, referral and contact information regarding tenant rights and conversion procedures, as well as information regarding other affordable housing opportunities within the City.

(Policy H2.6, H2.11)

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure affordable units remain affordable for as long as possible.

**Implementing Agency:** Housing Division

**Funding Source:** General Fund

## 12. HOUSING SUCCESSOR AGENCY

All redevelopment agencies were dissolved in California effective February 1, 2012. The City of Roseville elected to function as the successor to the former Redevelopment Agency (“Successor Agency”) and to form a Housing Successor to serve as the governing body for the former agency’s low and moderate income housing assets. Housing Successors receive the non-cash housing assets of the former Redevelopment Agencies and are charged with monitoring and maintaining existing low-and moderate income housing assets and meeting outstanding requirements for former redevelopment agencies.

Beginning in 2015, agreements were made to spend the remaining \$5.9 million in bond proceeds on an affordable housing development constructed by Mercy Housing. That project was completed in 2018 and the total distributed to Mercy in the form of a loan was \$5.76 million. After the expenditure of those funds, there are no longer any significant funding sources available.

The Housing Successor receives 20% of loan repayment revenues, approximately \$240,000 annually, until all loans are paid back, which is projected to be 2036. As of October 2020 there are current projects, planned for yet unencumbered, totaling approximately \$1.2 million. The Housing Successor may spend up to \$250,000 for Homeless Prevention and Rapid Rehousing (HPRR) each year, the maximum allowed in the law. The City will annually track the demographics of the people benefiting from these funds to ensure they are equitably distributed, and make adjustments to funding if they are not; this assessment shall use the best available data, including updated Census, ACS, Point in Time counts, and other data. Going forward the fund’s revenues will be only from loan payment funds. Surplus funds may provide small gap funding for future affordable development projects. Projects in areas of high opportunity or in areas at risk of displacement will be prioritized to receive any funds collected.

**Time Frame:** 2021–2029

**Objectives:** Gap financing for future developments and Homeless Prevention and Rapid Rehousing Program

**Implementing Agency:** Housing Division

**Funding Source:** City loan payoffs

## RESIDENTIAL LAND INVENTORY GOALS AND POLICIES

### LAND INVENTORY

**Goal H3**            **Maintain adequate land within the various land use categories that allows development of housing to meet projected demand for high-density units.**

- Policy H3.1**            *Encourage development of mixed-use and infill projects in accordance with goals and policies contained in the Land Use Element.*
- Policy H3.2**            *Continue to encourage developers to use accessory dwelling units, cohousing, and other flexible housing options in their housing projects as part of the City strategy for maximizing affordability of land development and the availability of housing.*
- Policy H3.3**            *Encourage the development of accessory dwelling units, including on existing multi-family sites.*
- Policy H3.4**            *Continue to support the use of Voluntary Rezones to encourage and facilitate increased land use density, thereby maximizing the affordability of land development either through increasing the permitted density of properties zoned for residential use or rezoning non-residential parcels to mixed use or high density residential use.*
- Policy H3.5**            *Encourage development of higher density residential units by use of mixed use zoning within three key commercial corridors with underutilized infill parcels: the Douglas Boulevard/Harding Boulevard corridor, Douglas Boulevard/Sunrise Avenue corridor, and the Atlantic Street corridor.*

### Implementation Measures/Programs

#### 13. RESIDENTIAL CAPACITY MONITORING (NO NET LOSS)

The City will continuously monitor the development of all sites identified in the adequate sites inventory, to ensure the minimum Regional Housing Needs Allocation for each income category is met at all times. The City will use an evaluation and tracking procedure pursuant to Government Code Section 65863. A tracking procedure consistent with the Government Code is currently in place. The City will track all instances where a site identified in the City’s adequate sites inventory is developed with greater or fewer units (at the specified income level) than had been identified in the inventory. If a project is proposed which would reduce the City’s capacity in any income category below the amount allocated by the City’s Regional Housing Needs Assessment, the City will identify and, if necessary, rezone within six months sufficient sites to offset the shortfall and ensure no net loss in capacity.

*(Goal H3)*

**Time Frame:** Ongoing as applications are received, and at least monthly.

**Objectives:** Evaluate 100% of residential applications for RHNA consistency.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

#### 14. REZONE PROGRAM FOR ADEQUATE SITES

The City has been allocated a RHNA of 12,066 total units, of which 6,178 units must be lower income (a combination of low and very low income). As of the writing of this Housing Element, the City has insufficient units to meet the lower



income RHNA, and has therefore committed to providing adequate sites through a rezone program consisting of the below. Each strategy describes two figures: the total capacity and the realistic capacity. The total capacity describes the total number of units which could result from full implementation of the strategy. The realistic capacity is a smaller number of units and represents the units the rezone program could realistically achieve within the 8-year planning period. The rezone program has generally been designed to operate as a menu, identifying a broad array of sites which could accommodate units from which to select in order to achieve the RHNA obligation.

1. **Commercial Corridors:** The City has identified three commercial corridors for revitalization. The Douglas Boulevard/Harding Boulevard Corridor includes a mix of single-family residential properties, single-family residences which have been converted to businesses, aging hotels, and many older commercial properties with large, minimally improved parking fields. The Douglas Boulevard/Sunrise Avenue Corridor includes a mix of land uses, including commercial businesses and business professional offices with large, minimally improved parking fields and single-family homes, duplexes, and apartments. The Atlantic Street Corridor includes a mix of uses along the street frontage, with residential uses to the rear; many of the residential properties contain more than one housing unit, or room for additional units. The Commercial Corridors strategy will consist of the preparation of Specific Plans for each corridor, the establishment of mixed-use land use and zoning designations to provide more opportunities for redevelopment and reuse, more flexible zoning and development standards, and streamlined approval processes. The City anticipates adding capacity for a minimum of 400 lower income residential units, which represents both the total and realistic capacity. See Appendix E for details.
2. **Infill Intensification:** The central core of Roseville where development occurred prior to the 1980s is known as the City's "Infill Area," and is approximately 8,500 acres. This older area of the City is not within a Specific Plan, and much of the development occurred prior to the adoption of the City's General Plan or Zoning regulations. Consequently, inconsistencies between a property's land use and zoning designations are relatively common, and the land use designation density typically reflects the built conditions rather than planned future conditions. These factors have presented regulatory barriers to development and redevelopment. The City would amend the land use and zoning designation of selected properties in the Infill Area, to remedy inconsistencies between land use and zoning and to increase the permitted residential densities. This program has the potential to add capacity for 832 units at all levels of affordability. The realistic capacity of this program is 186 units, based on the assumption that vacant or significantly underutilized sites are most likely to develop. See Appendix E for details. This program will include a replacement program, to ensure that if units are demolished and replaced the residents are not displaced and at least as many homes are rebuilt as were removed.
3. **Opportunity Sites:** Staff examined vacant sites throughout the City to find properties with the potential to be converted to a high density residential land use designation. After screening out sites due to the presence of approved entitlements, Development Agreements, or significant environmental constraints (floodplain, wetland preserves, etc), the City has identified potential sites for evaluation as part of this rezone program. Additional sites may be identified as the City develops this option and sites on this list may be removed due to constraints. The current list of sites has the potential to add a total capacity of 1,350 lower income (high density) residential units. The realistic capacity of this strategy is 600 lower income (high density) units. See Appendix E for details.
4. **Vacant Sites—Residential Intensification:** The western areas of the City include multiple vacant sites with High Density Residential land uses at densities below 25 units per acre. Increasing the land use density of these sites to 30 units per acre would yield additional units. As part of this strategy the City would develop and adopt a Land Use Amendment Policy requiring all Specific Plan Amendment projects involving land use changes to also amend the land use of High Density Residential sites the applicant/property owner controls to between 25 and 30 units to the acre. If all of the sites were amended to 30 units per acre the total capacity is 1,880 high density units. However, the realistic capacity is 900 units. See Appendix E for details.

The above rezone program has a realistic capacity of 2,086 lower income (high density) units. In adopting this program the City is approving a menu of strategies which may be pursued, and providing evidence for the realistic capacity which

could be added by each. In implementing the rezone program, the City may choose to implement one, all, or portions of these, based on need and to the extent necessary to ensure the City achieves the minimum required RHNA capacity, which currently requires the addition of 1,791 lower income units. The City's rezone program, in combination with other programs, shall result in the City's achievement and maintenance of the minimum required capacity of 6,178 lower income units. As stated in Housing Element Program 15, the City's adopted Zoning Ordinance permits ministerial (by-right) development of multifamily projects where at least 20% of the sites are affordable to lower income households. All of the sites identified in the City's rezone program shall be zoned with a minimum density of at least 20 units per acre, and more than 50% shall be accommodated on sites designated for residential use and for which nonresidential uses or mixed uses are not permitted.

*(Policy H3.2, H34, H3.5)*

**Time Frame:** 2024

**Objectives:** Achieve a minimum lower income capacity of 6,178 units by 2024.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund/Grant Funding

## 15. AFFORDABLE HOUSING STREAMLINING

The City has a ministerial approval process for affordable housing projects which meet specified criteria. The streamlined approval process is an opt-in program for developers who must request streamlined ministerial approval at the time of application to the City. To qualify, the developer must agree to enter into an affordable housing agreement with the City ensuring a minimum of 20% of the units will be affordable to low, very low, or extremely low income households. A qualifying project may opt to be reviewed for conformity with the City's Objective Design Standards through the ministerial Building Permit process in lieu of the City's discretionary Design Review Permit process. The Objective Design Standards are available on the City's Planning Division website. The City's discretionary Design Review Permit process is required for any developer seeking exceptions, variances, or modifications to objective zoning or objective design standards, excluding modifications granted as part of a density bonus concession, incentive, parking reduction, or waiver of development standards pursuant to Density Bonus Law or the City's density bonus program. The program applies citywide to all affordable housing projects meeting the affordability requirement, including to sites which have been included in the inventory for more than one Housing Element cycle.

*(Policy H3.1)*

**Time Frame:** Ongoing as applications are received, and at least annually.

**Objectives:** To streamline the approval of affordable housing projects by providing a ministerial approval process, thereby shortening timeframes by an average of three to five months and fees by \$8,000 or more.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 16. PRIORITIZE AFFORDABLE HOUSING

The City will prioritize the timely and efficient processing of affordable housing projects through various means, particularly for projects in areas of high opportunity or in areas at risk of displacement, including via the City's ministerial approval process, prioritizing utility services for affordable projects, and providing support and assistance in securing grants and other financial subsidies, particularly for projects in areas of high opportunity or in areas at risk of displacement. The City will also develop a phasing program for affordable housing sites, which will include streamlined processes for lot line adjustments, parcel maps, and similar entitlements which may be necessary to support construction and financing of affordable housing. At minimum, the phasing program will provide for ministerial processing of lot line adjustments, voluntary mergers, and parcel maps. The City will annually also investigate the



development of fee reductions for affordable housing projects. The City will annually track the use of Program 16 to determine its effectiveness, which will be evaluated based on the percent of affordable housing projects using the program, as well as the percent of large site property owners/developers using the program. The City will annually meet with affordable housing developers to discuss and, as needed, implement program improvements to ensure the City meets its goal of 100% of affordable housing projects using the program. The City will annually meet with affordable housing developers to discuss constraints to the production of affordable housing, and based on this feedback, commits to implementing program improvements to ensure the City meets its goal of 100% of affordable housing projects using the program.

*(Policy H3.1)*

**Time Frame:** 2024 and ongoing

**Objectives:** To facilitate and incentivize the construction of affordable housing. The goal is for 100% of affordable housing projects to leverage this program.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 17. HOUSING REPLACEMENT PROGRAM

Sites that have residential uses, or which had residential uses that were vacated or demolished anytime within the prior five years, shall be subject to this replacement program if any of the units were subject to an affordable housing agreement (or other affordability requirement pursuant to Government Code Section 65583.2). Development proposals on such sites shall maintain all affordable units at the same or lower income level, or shall be contingent on the replacement of all lost affordable units, at the same or lower income level.

*(Policy H3.1)*

**Time Frame:** Ongoing, as applications are received.

**Objectives:** To ensure conservation and replacement of affordable units.

**Implementing Agency:** Housing Division and Planning Division

**Funding Source:** General Fund

## 18. ACCESSORY DWELLING UNIT OUTREACH PROGRAM

The City will develop an accessory dwelling unit outreach program targeting existing multifamily sites, to help educate the owners of multifamily properties about the use of accessory dwelling units as a means to add units on multifamily sites without the need for additional entitlements. The program is intended to promote and create affordable housing units. The program will be promoted on the City's website and information will be available at the City's Permit Center. The City's Housing Division staff will also actively promote the program in conjunction with implementation of the 10% Affordable Housing Program and other Housing programs.

*(Policy H3.2, H3.3)*

**Time Frame:** 2022

**Objectives:** Ensure 100% of multifamily property owners who contact the City receive information on accessory dwelling units.

**Implementing Agency:** Planning Division and Housing Division

**Funding Source:** General Fund

## EQUITABLE AND INCLUSIVE HOUSING CHOICE

### HOUSING CHOICE

- Goal H4.1**      **Ensure the availability of quality housing opportunities for the elderly, the disabled, large families, female heads of households, and the homeless.**
- Goal H4.2**      **Participate in local and regional efforts to provide a network of facilities and resources to aid the special needs populations.**
- Goal H4.3**      **Design and implement programs to affirmatively further fair housing and promote housing opportunities throughout the City for protected classes to address significant disparities in housing needs and access identified within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments to Fair Housing Choice**
- Policy H4.1*      *Special housing needs shall be met through direct rental subsidies and below-market construction financing.*
- Policy H4.2*      *Continue the City's housing rehabilitation loan and grant programs to assist low-income elderly and disabled households.*
- Policy H4.3*      *Encourage construction of 3+ bedroom units in multi-family rental complexes to help meet the housing needs of low-income, large families.*
- Policy H4.4*      *Actively facilitate construction of rental units that include childcare facilities affordable to lower-income, female heads of households.*
- Policy H4.5*      *Work in conjunction with other Placer County jurisdictions, agencies, and organizations to provide shelter and supportive services for homeless individuals and families.*
- Policy H4.6*      *Encourage programs and developments that support inclusive, racially and ethnically diverse, and mixed-income residential communities throughout the City.*
- Policy H4.7*      *Support resources and assistance that help individuals who were justice-involved to locate, obtain, and maintain affordable housing.*
- Policy H4.8*      *Support programs and services which provide housing discrimination protection.*
- Policy H4.9*      *Support programs and measures that increase the affordability and availability of housing for people with disabilities.*

### Implementation Measures/Programs

#### 19. FEDERAL AND STATE PROGRAMS

The City shall pursue the below state and federal sources that will assist the City in addressing the housing and supportive needs of special needs populations. Implementation of these programs shall include a monitoring component to regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted resident population, and will implement affirmative marketing to groups who are shown to have limited access to the program. The City shall meet a minimum of once annually with affordable housing developers to discuss barriers to the production of affordable housing, with a particular emphasis on the production of extremely low income housing and housing for special needs groups. Consistent with this program and other housing



programs (such as Program 8, 9, 10, 12, and 16) the City shall prioritize, incentivize, and facilitate the construction of housing for extremely low income and special needs households, including by using financial resources to provide gap funding.

#### Section 8 Housing Choice Voucher Program (Federal)

The Department of Housing and Urban Development (HUD) provides funding for rental subsidy payments for households earning 50% or less of the area median income. Special vouchers have also been made available for veterans, called Veterans Administration Supportive Housing (VASH), as well as Mainstream Vouchers which serve those with mental illness and are homeless or near homelessness. The HCV programs serve households who are extremely low income and/or disabled and are administered by the Roseville Housing Authority. The Roseville Housing Authority (RHA) shall provide Housing Choice Vouchers (HCVs) to very low- and extremely low-income households in order to provide affordable housing options to those most in need; 75% of new households receiving vouchers shall be extremely low income. RHA shall offer Small Area Fair Market Rents and provide landlord education on the benefits of participating in the program. RHA shall also consider implementing a Landlord Incentive Program based on available federal funding and other best practices to incentivize new landlords to participate in the program. RHA will provide outreach materials to multifamily property owners and managers in areas of high opportunity on the benefits of accepting HCVs and will work to increase the number of properties accepting HCVs in high opportunity areas.

#### Section 202 (Federal)

HUD provides long-term, direct loans to private, non-profit sponsors to finance new construction of elderly and disabled housing affordable to households earning 50% or less of the median income. The City will support applications by non-profit housing developers for Section 202 funding.

#### HOME Investment Partnership Program (State)

The Housing Division utilizes State-administered federal HOME funds for the First Time Homebuyer Program, which provides down payment assistance to low-income first time homebuyers. The City's First Time Home Buyer Down Payment Assistance Program allows displaced homemakers to qualify as first time home buyers. The City also uses HOME funds to leverage Community Development Block Grant funds for the Housing Rehabilitation Program described below. The City will pursue HOME funds for financing of affordable multi-family rental projects targeted to special needs groups such as seniors and those with disabilities.

#### Community Development Block Grant (CDBG) (Federal)

The City will continue to set aside CDBG funds for the following programs that address the needs of special needs populations, including elderly, disabled, and homeless individuals and families.

#### Housing Rehabilitation Program

Deferred loans up to \$100,000 are available to low-income homeowners for health and safety repairs and general home improvements. Elderly and disabled homeowners can also receive a \$5,000 grant for health and safety repairs. Outreach for this program will be directed to disadvantaged geographic areas of the City, where there are overlapping factors such as poverty, overcrowding, cost burden, and poor housing conditions and where there is a higher proportion of communities of color based on the most current census data.

#### Public Service Funds

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process.

*(Policies H4.1, H4.2, H4.3, H4.4 and H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Effectively implement federal and state programs and leverage funding opportunities, increase the number of participating properties in high resource areas of the City, and obtain funding for affordable housing projects serving special needs populations.

**Implementing Agency:** Housing Division

**Funding Source:** Housing Choice Voucher, CDBG, HOME, Section 202

## 20. HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM

The City Council has approved Roseville Homeless Prevention Rapid Rehousing (HPRR) funds consisting of Permanent Local Housing Allocation funds and up to \$250,000 in Low and Moderate Income Funds to assist Roseville homeless and those about to be homeless with grants for payment of past due rent, security deposits, first month's rent, past due utility bills, and emergency motel vouchers. Non-profits apply for program funds annually. On average, the HPRR program serves the community by providing over 37,000 bed nights for the homeless annually, providing rental assistance to maintain permanent housing for approximately 500 households, placing 50 individuals into transitional or treatment facilities, and permanently housing 15 people from homelessness per year. The City will annually track the demographics of the people benefiting from these funds to ensure they are equitably distributed, and make adjustments to funding if they are not.

*(Policy H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Fund non-profits to implement homeless prevention and rapid rehousing programs such as rent, utilities and deposit payments, homeless hotel vouchers, and ready-to-rent programs.

**Implementing Agency:** Housing Division & Non-profits that apply for funding

**Funding Source:** Permanent Local Housing Allocation and Low and Moderate Income Fund

## 21. ROSEVILLE COMMUNITY GRANTS FUNDS

The Grants Advisory Commission reviews grant applications and makes grant recommendations on an annual basis to the City Council for the following community grants:

### Citizens' Benefit Fund

The Citizens' Benefit Fund was established in 1993 following the sale of the City-owned Roseville Hospital. The proceeds were invested and a portion of the interest earned each year is made available for grants with the purpose of improving the quality of life for the citizens of Roseville. Public agencies, schools and non-profit 501(c)3 or 501(c)4 are eligible to apply.

### REACH Fund

The Roseville Employees Annual Charitable Hearts Fund (REACH) is a community giving fund created through the generosity of Roseville employees and retirees. These employee-donated funds are dispersed to local charitable organizations that serve youth, seniors and families in the South Placer County region.

*(Policy H4.5)*

**Time Frame:** Ongoing, as funding is available, and at least annually

**Objectives:** Provide funding to public agencies and non-profits for programs that benefit and support the Roseville community.

**Implementing Agency:** Housing Division, City Manager, City Council

**Funding Source:** Citizens' Benefit Trust, and REACH Fund



## 22. ADDRESS SIGNIFICANT DISPARITIES AND INCREASE OPPORTUNITIES

To Achieve Getting People and Families off the Street, the City will:

- Create opportunities for development of permanent supportive housing for people experiencing homelessness, including families, by identifying sites and properties and prioritize local funding and incentives for that use. Current activities include consideration of a Project Homekey development which would create new permanent supportive housing units for people experiencing homelessness.
- Create and fund rehousing plans to move people from emergency COVID sheltering to permanent affordable housing, and in the future, respond similarly to major health or housing displacement emergencies. In its COVID response, the City has partnered with Placer County on a COVID rehousing program and will apply for program funding in 2021.

To Achieve Keeping People in their Homes, the City will:

- Provide Rental Assistance: fund rental assistance and work with tenants, nonprofit housing providers, advocates and the state to find solution on rent that keep tenants out of debt, prevent displacement, and sustain financial security of nonprofit housing providers. City's CDBG-CV3 funds are supporting a COVID rental assistance program. The City is partnering with Placer County on rental assistance for low-income households who are facing hardships due to the COVID-19 pandemic.
- Continue and adopt policies to prevent displacement as part of all specific plans, master plans, or other redevelopment/reinvestment programs which are proposed in areas that are within the City's Infill area or within areas of the City at risk of displacement including strategies to protect senior and low-income homeowners such as targeting home repair programs and no-net loss policies for existing affordable housing and condo conversion ordinances. The City will continue its income-qualified Owner-Occupied Housing Rehabilitation deferred loan and grant program. Applications and outreach materials are posted in English and Spanish. The City will direct implementation of these policies and programs into geographic areas of the community at greatest sensitivity or risk of displacement.

To Increase and Preserve the Affordable Housing Supply, the City will:

- Undertake all preservation programs outlined in the preservation section of the HE which includes continuing to annually monitor and support preservation of existing regulated affordable homes at risk of converting to market rates. The City currently monitors such developments and will enhance its program by naming a Preservation Coordinator.
- Provide outreach on targeted first-time homebuyer programs in neighborhoods that have suffered from historic disinvestment to increase awareness and access to such programs like HUD Section 8 Homebuyer assistance. Outreach will be in English and Spanish.
- Strengthen its local housing trust fund with local revenue sources. Currently the City's revenue sources include in lieu fees and pay offs from affordable purchase loans. Actions to include re-applying for state Local Housing Trust Fund (LHTF) Program as they are released.

Metrics: Number of households assisted with rental assistance; owner occupied rehab; number of permanent supportive housing projects the City explores.

*(Policy H4.10)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure that direct and indirect government activities and influence is equitable and supports access to housing opportunities for all groups. Metrics for success include 700 low, very low, and extremely low income households assisted with rental assistance; 15 owner-occupied rehab projects (based on current funding levels) within a disadvantaged community area or area at risk of displacement; at least 1 permanent supportive housing project explored annually.

**Implementing Agency:** Housing Division

**Funding Source:** Community Development Block Grant, General Fund

### 23. HOMELESS OUTREACH

The Roseville Police Department uses a Social Services Unit consisting of two full-time Problem-Oriented Policing Officers and two Homeless Outreach Workers from Placer County Health and Human Services to link homeless individuals to services throughout the County and to build trust with unsheltered individuals, particularly among communities where distrust is widespread and acts as a barrier to accessing services.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Contact 50 high-risk community members per month.

**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Community Development Block Grant, Downtown Roseville Partnership, General Fund

### 24. FAMILY MOBILE TEAM

The Roseville Police Department collaborates with Placer County Mental Health on a Family Mobile Team unit, which responds to family crisis situations and calls from minors in dangerous situations, to connect these individuals to support and services to avoid these situations from resulting in homelessness.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** A minimum of 350 interactions annually.

**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Community Development Block Grant, Downtown Roseville Partnership, General Fund

### 25. FAMILY REUNIFICATION PROGRAM

Continue the Family Connect and Reunification Program to assist those experiencing homelessness to be reconnected with family and friends who can help support the individual, including by providing transportation to the friend or family member.

*(Policy H4.5)*

**Time Frame:** Ongoing, and at least annually.

**Objectives:** Reunification of 20 individuals experiencing homelessness



**Implementing Agency:** Roseville Police Department Social Services Unit

**Funding Source:** Grant program or other funding

## 26. REGIONAL HOUSING PROGRAMS

When feasible, the City will address affordable housing issues on a regional basis.

Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act Funds

The City's Housing Division will continue to participate in the Placer Consortium on Homelessness (PCOH) with other jurisdictions, local organizations, and service providers to establish and promote a network of facilities and resources to assist the homeless population and other special needs populations. The City will continue to participate in the preparation of the Placer County Continuum of Care annual application for Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act funds.

*(Policy H4.5)*

**Time Frame:** Annually

**Objectives:** Participate in regional approaches to affordable housing.

**Implementing Agency:** Housing Division

**Funding Source:** Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act funds (Federal)

## 27. FAIR HOUSING AND HOUSING DISCRIMINATION LEGAL SERVICES

In 2019, the City completed a regional effort that updated the 2000 Analysis of Impediments to Fair Housing Choice (AI) pursuant to the 2015 AFFH Final Rule. Relevant sections are incorporated into the Housing Element.

The City shall continue to actively participate in the ongoing region-wide collaborative effort to improve fair housing choice and affirmatively further fair housing.

The City's 19 fair housing indicators for zoning codes analysis for ideal outcomes to prevent fair housing barriers included in the AI based on a checklist developed by the Region IX HUD office found that all of the 19 indicators supported fair housing and that none of the City's zoning codes create barriers to fair housing or impact housing choice. The City will work to ensure that it does not create barriers in its future actions to fair housing or impact housing choice by:

- Regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted resident population.
- Require that developers receiving public subsidies (monetary or in the form of density bonuses and fast track review) use affirmative fair housing marketing practices.
- Monitor how public sector investments can contribute to economic changes in neighborhoods, possibly accelerating displacement of low-income residents as part of all specific plans, master plans, or other redevelopment/reinvestment programs which are proposed in areas that are within the City's Infill area or within areas of the City at risk of displacement.
- Conduct robust and meaningful public engagement activities and events when considering adoption of policies to ensure all voices in the community are heard.
- In making planning decisions, be aware of how the built environment communicates inclusiveness or exclusiveness to different types of residents.

- Holding monthly housing meetings for non-profit organizations and local stakeholders, including the Latino Leadership Council to share regional resources and ensure equitable distribution of resources.
- Encourage and support affordable housing across the City in all neighborhoods, with a focus on areas of high opportunity.

The City will continue to provide assistance regarding equal housing opportunities through its Housing Division and Housing Authority in addition to funding a program which will provide the services of legal counsel to persons experiencing housing discrimination.

The City of Roseville will continue its collaborative Housing Education Campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Project Sentinel or similar HUD qualified fair housing provider, through the City's Fair Housing Education Program. Under contract with the City, fair housing provider will also offer fair housing workshops, respond to inquiries and provide wide-ranging fair housing information. Its website is a rich resource with information in six languages.

In addition to the provision of workshops and one-on-one counseling, the City's website includes fair housing information and referral service data with links to other Fair Housing resources.

*(Policies H4.6, H4.7, H4.8)*

**Time Frame:** Ongoing, and at least annually.

**Objectives:** To ensure residents are informed of their housing rights and are provided with support on fair housing issues, and that City actions do not create barriers to fair housing or impact choice. Annually, 50 responses to inquiries; at least 1 Fair Housing Workshop; Adequate annual funding, \$12,000 for 2022, future years amount responsive to resources/needs.

**Implementing Agency:** Housing Division and Roseville Housing Authority

**Funding Source:** Housing Choice Voucher Rental Assistance, Community Development Block Grant Funding, City's Low- and Moderate-Income Fund, General Fund

## 28. SUPPORT FOR HOUSING FOR PERSONS WITH DEVELOPMENTAL DISABILITIES

Work with the Alta California Regional center to implement an outreach program that informs families and housing developers within the City on housing and services available for persons with developmental disabilities. The program could include the development of an informational brochure, including information on services on the City's website. The City will also revise the Zoning Ordinance to require an Administrative Permit for large Community Care homes (7 to 12 persons) instead of a Use Permit. Standards for approval of an Administrative Permit for large Community Care homes will be developed, to facilitate objectivity and certainty in review.

*(Policies H4.1, H4.8, H4.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To ensure residents are informed of housing options for persons with developmental disabilities

**Implementing Agency:** Housing Division

**Funding Source:** General Fund



## 29. ALLOW SHARED HOUSING UNDER HOUSING CHOICE VOUCHER FOR PERSONS WITH DISABILITIES

Continue Roseville Housing Authority's policy to allow Shared Housing to enable persons with disabilities to use their voucher in housing that is shared with non-related persons. The rent and rental subsidy for these households is based on the use of one bedroom (or two if a live-in aide is required). The HCV rental assistance Shared Housing option does not factor in the income of the other household members who may be providing an increased level of independence for the disabled HCV participant.

RHA has operated this policy for more than 20 years and a number of developmentally disabled individuals have made use of the Shared Housing option. The program has received positive feedback from the participants, their families and landlords on the benefit of this provision.

*(Policies H4.1, H4.9)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** To provide rental assistance for residents with disabilities

**Implementing Agency:** Roseville Housing Authority

**Funding Source:** Housing Choice Voucher Rental Assistance

## GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

### GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

#### **Goal H5 Promote affordable housing development through the local government permit process.**

- |                           |  |
|---------------------------|--|
| <b><i>Policy H5.1</i></b> | <i>The City shall continue to explore options to restructure how fees are assessed.</i>  |
| <b><i>Policy H5.2</i></b> | <i>The City shall review and modify its Subdivision Improvement Standards, where reasonable, to provide cost savings in the development of residential units while continuing to ensure the public health, safety and welfare.</i> |
| <b><i>Policy H5.3</i></b> | <i>The City recognizes the importance of providing affordable housing to support job growth, and shall prioritize communicating this message to the community.</i>   |
| <b><i>Policy H5.4</i></b> | <i>The City shall ensure that its Zoning Ordinance is regularly updated to be in compliance with new legislation.</i>  |

## Implementation Measures/Programs

### 30. PROCESS AND FEE STRUCTURE REVIEW

Permit Process – To expedite project facilitation and provide internal support to project applicants, the City established the Economic Development Advisory Committee to advise and assist the City Council in creating a community environment conducive to existing businesses, attracting new businesses, and promoting tourism. In order to expedite project facilitation and provide internal support to project applicants, the Economic Development Advisory Committee

also functions as a liaison, building relationships between the City, the development community, and business owners. The Committee provides input into delivery of development services, cost of services, construction standards, development impact fees, and other development service policy areas. The Committee regularly reviews the City's fee system to work toward reducing the cost of development impact fees, as well as provide direction on the Economic Development Strategy.

**Fee Structure** – The City will continue to review its fee system and work toward graduated fees as a means of reducing the cost of housing development.

The Development Services Department will work with the Economic Development Advisory Committee.

*(Policy H5.1)*

**Time Frame:** Annually review process and fee structure.

**Objectives:** Review process and fee structure once per year.

**Implementing Agency:** Development Services Department

**Funding Source:** General Fund

### 31. REVIEW OF SUBDIVISION IMPROVEMENT STANDARDS AND ZONING ORDINANCES

The City will regularly review the Subdivision Improvement Standards and Zoning Ordinance to ensure residential development standards are appropriate, aligned with the City's housing-related policies, reflective of modern planning practices, and are not unduly burdensome or restrictive. The City will annually review housing legislation and update the Zoning Ordinance as needed to comply with new state laws. Current amendments needed pursuant to this program include reducing the parking requirements for emergency shelters consistent with AB 139, adding employee housing (for six or fewer people) as a permitted residential use, and adjusting the description of transitional and supportive housing to state that these uses are permitted by right where multifamily and mixed use are permitted (to ensure consistency with AB 2162).

*(Policy H5.2)*

**Time Frame:** Ongoing, and at least annually

**Objectives:** Complete review of the Subdivision Improvement Standards and Zoning Ordinance once per year.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 32. PUBLIC EDUCATION PROGRAM

The City will continue to educate the greater Roseville community about the necessity of providing the affordable housing needed to support the job growth occurring in Roseville and the region. Specifically, this information will focus on the need to provide affordable housing in close proximity to jobs for multiple reasons, including to reduce the traffic and air quality impacts that result from long commutes and reduce inequities by ensuring all sectors of the City's employment base can afford to live in the community where they work. In addition, the City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions. Education will occur through public hearings, presentations to various service organizations and other community groups, and articles published in the local newspaper and the City's newsletter.

*(Policy H5.3)*



**Time Frame:** Bi-annually.

**Objectives:** 100% of staff reports or other City materials for affordable housing projects will include information about the necessity of affordable housing and City newsletters will contain such materials a minimum of twice annually. A FlashVote survey or other survey will be distributed annually to evaluate the community's perceptions of affordable housing.

**Implementing Agency:** Housing Division, Planning Division

**Funding Source:** General Fund

### 33. PUBLIC PARTICIPATION

The Planning Division will continue to provide multiple ways for residents to be informed of development projects and multiple opportunities and means for community input on proposed projects within the City, including:

- Uploading initial notices that an application was received to the Roseville Coalition of Neighborhood Associations' (RCONA) website.
- Maintenance of the City's Development Activity website, which includes a list of all new applications received during the previous week, a description of all active development proposals in the City, and interactive maps displaying the location of current and upcoming construction in the City.
- Maintenance of the City's Planning Projects of Interest website, where project details and documents are uploaded for projects generating significant community interest.
- Maintenance of the City's Online Permitting Services portal, which allows the public to look up documents and details for all active applications in the City.
- For General Plan Amendments, physically posting a notice of the project application on the project site.
- Encouraging applicants to hold neighborhood meetings before the public decision-making process begins, to ensure the community understands the proposal and to receive any concerns and questions early in the process.
- Uploading public hearing notices and notices of intent to approve a project to the RCONA website, in addition to the direct mailing of such notices to properties within 300 feet of the project.

Neighborhood forums and other outreach allows people affected by a project to have their questions and concerns addressed early in the planning process, which can reduce costs by avoiding late-stage design changes due to unexpected comments. Outreach also has the potential to improve community investment in a project and ensure the achievement of equity goals. The intent of the City's public participation process is to provide clear processes and means for community notice and input as part of a timely and transparent decision-making process. This program is also consistent with the City's General Plan, which directs the City to continue and improve our public participation programs.

*(Policy H5.3)*

**Time Frame:** Ongoing, as projects are processed through the Planning Division.

**Objectives:** Provide multiple means and opportunities for public participation as part of Planning entitlement projects.

**Implementing Agency:** Planning Division

**Funding Source:** General Fund

### 34. SPECIAL NEEDS HOUSING LAWS

The City will review the Zoning Ordinance and its other planning documents and, if necessary, make changes to ensure compliance with the Supportive Housing Streamlining Act (AB 2162), AB 101 (Low-Barrier Navigation Centers), and other existing and future legislation.

AB 2162 requires supportive housing to be considered a use by right in zones where multi-family and mixed uses are permitted, including nonresidential zones permitting multi-family uses, if the proposed housing development meets specified criteria. AB 101 requires that Low-Barrier Navigation Centers (LBNC) be a by-right use in areas zoned for mixed-use and nonresidential zones permitting multi-family uses. LBNC provide temporary room and board with limited barriers to entry while case managers work to connect homeless individuals and families to income, public benefits, health services, permanent housing, or other shelter.

*(Policy H5.4)*

**Time Frame:** Within two years of adoption of the Housing Element

**Objectives:** City ensures compliance with AB 2162 and AB 101 and other legislation



**Implementing Agency:** Planning Division


**Funding Source:** General Fund

## RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION

### RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION

**Goal H6**      **Continue efforts to encourage energy efficiency in housing construction and maintenance.**

- Policy H6.1**  *Roseville Electric shall pursue reasonable and cost-effective energy efficiency, conservation, and load management programs that provide benefits to the community.*
- Policy H6.2**  *Roseville Electric shall continue to apply energy-efficiency requirements to all residential construction.*
- Policy H6.3** *Roseville Electric shall continue the Electric Rate Assistance Programs for residential customers whose medical status or income qualify.*

Roseville’s conservation efforts contribute to needed reductions of greenhouse gas emissions. Such sustainable goals and policies throughout the General Plan are designated with an icon: .

## Implementation Measures/Programs

### 35. ROSEVILLE ELECTRIC PROGRAM

Peak Load Management Program

Roseville Electric will continue to explore and implement peak load management programs deigned to most efficiently manage energy use during critical peak demand.

Energy Audits



Roseville Electric will continue to offer online energy audits and custom energy information to aid customers in reducing home energy costs. These tools will include suggestions for low- and no-cost conservation practices and an analysis of recommended energy efficiency measures.

#### Energy Efficiency Rebates and Renewable Energy Rebates

Roseville Electric will continue to offer rebates to electric customers who install or upgrade their homes with qualified energy-efficiency measures. Renewable energy options are available through Roseville Electric's community solar program. Electric Rate Assistance Programs

Roseville Electric offers a discount to residential customers whose income is no greater than specified by the US Department of Housing and Urban Development as "very low" for Placer County. Roseville Electric also offers Medical Support Rate Reductions for customers who have medical devices in their homes.

Roseville Electric may offer energy efficiency rebates to low-income customers through a partnership with the City's Housing Division.

#### Roseville Utility Exploration Center

The Utility Exploration Center is an interdepartmental project sponsored by Roseville Electric and the Environmental Utilities Department with support from the Parks, Recreation and Libraries Department and the City Manager's Office. The center is a key component of Mahany Park and is a one-of-a-kind center offering an exciting new take on preserving our natural resources and protecting our environment through new technologies and measures in energy efficiency, water efficiency, recycling, and water quality, with environmentally sustainable building materials making the center an exhibit in itself. The center offers children and adults fun and interactive tools for learning.

#### Community Solar Program

Roseville Electric Utility offers a solar option for residents interested in solar without long-term commitments or the need to install costly equipment. This program offers various participation levels as well as options for income qualified residents. The program began in 2019 as a pilot and is expected to continue through 2029.

*(Policies H6.1, H6.2, H6.3)*

**Time Frame:** Ongoing, as funding is available, and at least annually.

**Objectives:** Meet the City's Renewable Portfolio Standards requirements.

**Implementing Agency:** Roseville Electric Department, Housing Division

**Funding Source:** Roseville Electric

### 36. NEW CONSTRUCTION EFFICIENCY MEASURES

The Roseville Building Department will continue to enforce Title 24 of the Building Code. Title 24 is the State residential energy conservation standard, which defines construction standards for energy requirements to promote energy efficiency and conservation.

*(Policies H6.1, H6.2)*

**Time Frame:** Ongoing, as applications are received.

**Objectives:** Review 100% of building permits for consistency with Title 24 requirements.

**Implementing Agency:** Building Department

**Funding Source:** General Fund

## QUANTIFIED OBJECTIVES

Table X-1 provides the City’s quantified housing availability objectives for the 8-year planning period by income group and strategy type (e.g. new construction, rental assistance, etc). These quantified objectives are based on the City’s RHNA, which allocates the City 6,178 units lower income units and 12,066 total units.

**Table X-1 | Quantified Objectives By Income Group**

	<b>Extremely Low</b>	<b>Very Low</b>	<b>Low</b>	<b>Moderate</b>	<b>Above Moderate</b>	<b>Total</b>
New Construction	1,320	1,660	2,260	1,636	4,150	11,026
Rental Assistance	610	205				815
First Time Homebuyer/Affordable Purchase			10	130		140
Housing Rehabilitation		60	60			120
Unit Conservation						
Housing Agreements <sup>1</sup>	28	831	1,913			2,772
Purchase Agreements <sup>2</sup>				45		45
Homebuyer Assistance <sup>3</sup>		10				10
Housing Voucher <sup>4</sup>	551	184				735
Other programs <sup>5</sup>	20	50	50	35		155
<b>Total Quantified Objectives</b>	<b>2,529</b>	<b>3,000</b>	<b>4,293</b>	<b>1,846</b>	<b>4,150</b>	<b>15,818</b>

1. The City’s affordable housing agreements will maintain the affordability of 2,000 units during the 8-year housing cycle; details are provided in Table X-20.
2. The City’s affordable purchase housing agreements create and secure the affordability of purchase housing for moderate income households. The program will assist a minimum of 45 households during the 8-year housing cycle.
3. The First Time Homebuyer Down Payment Assistance Program targeted to low-income households will assist at least 10 households to secure and maintain affordable housing during the eight-year housing cycle.
4. The City’s Housing Choice Voucher Program (HCV) provides rental assistance to extremely and very low income households, to ensure their housing remains affordable. At least 75% of the 735 vouchers are required to target extremely low income households.
5. The City offers multiple other conservation programs, including programs aimed at ensuring housing remains affordable and habitable; utility rate discounts which target extremely low and low income households, as well as households with medical devices in their homes; and allowing shared housing to enable persons with disabilities to use their voucher in housing shared with non-related persons.

## COMMUNITY PROFILE

### Population Characteristics

#### POPULATION GROWTH

According to the California Department of Finance, the population total for the City of Roseville is 145,163. When looking at the US Census, the City’s population has risen steadily over the last ten years, increasing 18.2% from 118,788 in 2010. Roseville’s population growth began in the late 1980s, due mainly to a strong economy and development in the City’s specific plan areas.



Table X-2 | Population

Jurisdiction	Total Population		Growth	
	2010	2020	Total Increase	Percentage
Roseville	118,788	145,163	26,375	18.2%
Placer County	348,432	403,711	55,279	13.7%

Source: 2010 Census and California Department of Finance

## Age Characteristics

Although population growth strongly affects total demand for new housing, housing needs are also influenced by age characteristics. Typically, different age groups have distinct lifestyles, family characteristics, incomes, and housing preferences. As people move through each stage of life, their housing needs and preferences also change. Age characteristics are therefore important in planning for the changing housing needs of residents.

According to the 2014–2018 ACS, a little more than half (51.8%) of the population is working age, between 20 and 59 years of age, and a little more than one-quarter (26.2%) of the population is school age or below, between 0 and 19 years of age. The population 60 years and over represents the remaining percentage of 22%. The age distribution for Roseville is presented in Table X-3.

Table X-3 | Age Characteristics, 2014 to 2018

Years of Age	Number	Percentage
0–5	7,715	5.8%
5–9	9,081	6.8%
10–14	8,940	6.7%
15–19	9,183	6.9%
20–24	7,811	5.9%
25–34	15,711	11.8%
35–44	18,795	14.1%
45–54	18,426	13.8%
55–64	15,225	11.4%
65–74	11,968	9.0%
75–84	6,695	5.0%
85 and over	3,499	2.6%
<b>Median Age</b>	<b>39.1 years</b>	

Source: 2014–2018 ACS

## Race and Ethnicity

As shown in Table X-4, the largest racial group in Roseville according to 2014–2018 ACS identified themselves as white (68.5%), followed by Asian (10%). Hispanics represented 15.2% of the population in Roseville.

**Table X-4 | Race and Ethnicity, 2014–2018**

Race/Ethnicity	Number	Percentage
White	91,180	68.5%
African American	2,303	1.7%
American Indian/Alaska Native	284	0.2%
Asian	13,363	10%
Hawaiian/Pacific Islander	280	0.2%
Some Other Race	5,464	4.1%
Hispanic	20,175	15.2%

Source: 2014–2018 American Community Survey (5-year estimates)

## HOUSEHOLD CHARACTERISTICS

Household type and size, income levels, and other household characteristics determine the type of housing needed by residents. This section details the various household characteristics affecting housing needs.

### Households Type and Size

A household refers to the people occupying a home, such as a family, a single person, or unrelated persons living together. Family households often prefer single-family homes or condominiums to accommodate children, while non-family households generally occupy smaller apartments or condominiums.

Table X-5 displays household composition as reported by the 2014–2018 American Community Survey (5-year estimates). In the City of Roseville, families comprised 68.9% of all households, of which 34.6% have children under 18 years of age. The average household size was 2.68 persons.

**Table X-5 | Household Characteristics, 2014–2018**

	Number	Percentage
Total Households	49,204	100.0%
Family Households	33,872	68.8%
Families with Children Under 18	17,040	34.6%
Non-Family	15,332	31.2%
<b>Average Household Size</b>	<b>2.68 persons</b>	

Source: 2014–2018 American Community Survey (5-year estimates)

### Overcrowded Housing

The US Census defines overcrowding as more than one person per room in a housing unit. The Census includes living rooms, dining rooms, bedrooms, kitchens, finished attics and basements, recreation and family rooms, permanently enclosed porches, and rooms used for offices in the definition of a “room.”

According to the 2012–2016 Comprehensive Housing Affordability Strategy (CHAS) data, 0.9% of Roseville’s owner-occupied households (approximately 270 units) and 3.0% of renter-occupied households (approximately 500 units) were overcrowded (more than 1 person per room). Generally, overcrowding reflects a household’s inability to afford a larger housing unit.



Overcrowding does not appear to be a significant problem in Roseville. However, it can be assumed that those households living in an overcrowded situation are most likely lower-income households that cannot afford to rent market-rate, adequately-sized units that meet their space needs.

## Household Income

Along with housing prices and rents, household income is the most important factor affecting housing opportunities in Roseville. Housing choices such as tenure (owning versus renting), housing type, and location are dependent on household income. On the other hand, household size and type often affect the proportion of income that can be spent on housing.

For the purpose of evaluating housing affordability, housing need, and eligibility for housing assistance, income levels are defined by guidelines adopted each year by the California Department of Housing and Community Development (HCD). For Placer County, the area median income (AMI) for a family of four in 2020 was \$80,100.

- Extremely Low Income           Up to 30% of AMI (\$0–\$25,100)
- Very Low Income                30–50% of AMI (\$25,101–\$40,050)
- Low Income                        50–80% of AMI (\$40,051–\$64,100)
- Moderate Income                80–120% of AMI (\$64,101–\$96,100)
- Above Moderate Income        Above 120% of AMI (more than \$96,100)

**Table X-6 | Placer County Income Limits, 2020**

Income Category	Household Size							
	1 Person	2 Persons	3 Persons	4 Persons	5 Persons	6 Persons	7 Persons	8 Persons
Extremely Low	\$16,850	\$19,250	\$21,650	\$25,100	\$29,420	\$33,740	\$38,060	\$42,380
Very Low	\$28,050	\$32,050	\$36,050	\$40,050	\$43,300	\$46,500	\$49,700	\$52,900
Low	\$44,900	\$51,300	\$57,700	\$64,100	\$69,250	\$74,400	\$79,500	\$84,650
Moderate	\$67,250	\$76,900	\$86,500	\$96,100	\$103,800	\$111,500	\$119,150	\$126,850

Source: HCD 2020

## Extremely Low-Income Households

In 2020, the median income for a household of four in Placer County was \$80,100. Households that earn 30% or less than the county's median income are considered "extremely low-income." The 2012–2016 Comprehensive Housing Affordability Strategy (CHAS) data indicate that 4.9% of owner-occupied households (1,485) and 17.6% of renter-occupied households (2,935) are extremely low income.

The Roseville Housing Authority (RHA) is authorized to provide 785 households with Housing Choice Voucher (HCV) rental assistance. This total includes special vouchers for the following special needs groups:

- 75 vouchers for households with a head-of-household or spouse that are non-elderly and disabled (NED)
- 65 vouchers for veteran households that come by referral from the Veterans Affairs Department (VASH)

- 33 vouchers that assist households who have a non-elderly adult with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless (Mainstream – new program in 2018)
- 30 vouchers that are attached to specific units at the Main Street Plaza affordable project (Project Based Vouchers new program in 2020). Of the 30 PBV vouchers:
  - 1 is a regular HCV voucher
  - 10 are regular vouchers layered with Placer County Mental Health Services Act funding,
    - 3 of these households must come from homeless
  - 19 are VASH vouchers
- 50 new Emergency Housing Vouchers for those who are homeless or at risk of homelessness, fleeing or attempting to flee domestic violence, dating violence, sexual assault, stalking, or human trafficking, recently homeless, or having high risk of housing instability (new program in 2021)

All of the HCV programs listed above support Roseville households that are extremely low-income. The Housing Choice Voucher Rental Assistance Program requires that 75% of households admitted to the program each year earn 30% of the area median income or less. Between 2013 and 2020, RHA issued 282 vouchers to new households. Over the last 8 years, RHA has assisted 26 extremely low-income households per year, at the minimum.

In addition to the City's Housing Choice Voucher program, the City has multiple programs serving the homeless population or populations at risk of homelessness; these are extremely low income populations. Supportive programs include Programs 20 through 24, which create opportunities for permanent supportive housing, create and fund rehousing plans to move people from temporary to permanent shelter, provide rental assistance, prevent displacement, and undertake preservation programs; link homeless individuals to services throughout the County; respond to family crisis situations and calls from minors to connect individuals to support and services which will avoid homelessness; connect individuals experiencing homelessness with family and friends who can support the person; and use Homeless Emergency Assistance and Rapid Transition to Housing Act funding, respectively.

## Cost Burden

State and federal housing law defines cost-burdened households as those paying more than 30% of gross income for housing expenses. Housing cost burdens are especially problematic for lower-income households that have limited resources for other living expenses. For renters, housing costs include rent and utilities paid by the tenant. For owners, housing costs include mortgage payment, taxes, insurance and utilities. According to HUD's definition, housing is not affordable, and a cost burden occurs when households pay more than 30% of their income for housing costs and a severe cost burden occurs when households pay more than 50% for housing costs.

Table X-7 shows to what extent occupied housing units (households) are cost burdened for housing cost by their income category in the City of Roseville. Of the lower-income households in the city, 11,505 (24.0%) were cost burdened. For homeowners, data on cost burden takes into account whether the home is owned free and clear or whether it is mortgaged.



Table X-7 | Total Households Overpaying by Income

Income Range	Renter-Occupied		Owner-Occupied		All Occupied Housing	
	Number	Percentage	Number	Percentage	Number	Percentage
Extremely Low (0–30%AMI)	2,715	38.6%	1,505	33.7%	4,220	36.7%
Very Low (30–50% AMI)	1,930	27.4%	1,210	27.1%	3,140	27.3%
Low (50–80% AMI)	2,390	34.0%	1,755	39.3%	4,145	36.0%
Total Burdened Households	7,035	41.6%	4,470	14.4%	11,505	24.0%
<b>Total Households</b>	<b>16,910</b>	<b>–</b>	<b>30,940</b>	<b>–</b>	<b>47,850</b>	<b>–</b>

Source: 2013–2017 CHAS data

## EMPLOYMENT CHARACTERISTICS

### Roseville's Labor Force

According to data from the 2013–2017 U S Census American Community Survey (5-year estimates), the City of Roseville has 65,414 persons in the civilian labor force, of which 61,692 are employed. At the time of data collection, the City had an unemployment rate of 5.7%. Of the employed persons, the top occupations were management, business, and financial occupations; and sales and office occupations (see Tables X-8 and X-9). Table X-10 provides the number of persons within each business sector to the percent each industry represents.

Table X-8 | Summary of Labor Force

Summary Information	
Total In civilian labor force	65,414
Civilian employed population 16 years and over	61,692
Unemployment rate	5.7%
Average travel time to work	25.8 minutes

Source: 2013–2017 U S Census American Community Survey (5-year estimates)

Table X-9 | Employment by Occupation

Occupation	Number	Percentage	Median Income
Management, business, and financial occupations	27,938	45.3%	\$71,804
Service occupations	9,766	15.8%	\$20,422
Sales and office occupations	16,873	27.4%	\$39,276
Natural resources, construction and maintenance occupations	3,715	6.0%	\$50,216
Production, transportation, and material moving occupations	3,400	5.5%	\$32,606
<b>Total</b>	<b>61,692</b>	<b>100%</b>	

Source: 2013–2017 American Community Survey (5-year estimates)

**Table X-10 | Business by Sector**

Business by Sector	Number of Workers	Percent	Number of Jobs
Agriculture, Mining, Oil, and Gas Extraction	145	0.2%	50
Arts, Entertainment, Accommodations and Food Services	5,590	9.1%	8,963
Construction	3,254	5.3%	3,825
Education, Health Care and Social Assistance	14,795	24.0%	14,699
Finance, Insurance, and Real Estate	5,819	9.4%	7,696
Information	1,346	2.2%	943
Manufacturing	3,779	6.1%	3,442
Other Services [except Public Administration]	2,732	4.4%	2,611
Professional, Scientific, Management Services	7,592	12.3%	5,260
Public Administration	4,526	7.3%	1,721
Retail Trade	7,785	12.6%	12,525
Transportation and Warehousing	2,457	4.0%	887
Wholesale Trade	1,872	3.0%	1,732
<b>Total</b>	<b>61,692</b>	<b>100%</b>	<b>64,354</b>

Source: 2013–2017 American Community Survey (5-year estimates). SACOG 2019. (Workers). 2015 and 2017 Longitudinal Employer-Household Dynamics (LEHD) (Jobs).

NOTE: Labor Market is residence based, not work location based. These data represent the industry sector in which the resident population works.

## HOUSING STOCK CHARACTERISTICS

This section describes the housing characteristics and conditions that affect housing needs in Roseville. Important housing stock characteristics include housing type, tenure, vacancy rates, age, condition, cost, and affordability.

### Housing Type

According to the 2014–2018 American Community Survey, 76.4% of the city’s housing stock was made up of single-family homes, 22.9% was multi-family units, and the remaining 0.7% was mobile homes.

**Table X-11 | Housing Units by Housing Type**

Housing Type	Number	Percentage
Single-Family Detached	40,337	73.8%
Single-Family Attached	1,414	2.6%
Multi-Family 2–4 Units	2,827	5.2%
Multi-Family 5+ Units	9,653	17.7%
Mobile Homes	390	0.7%
<b>Total Housing Units</b>	<b>54,621</b>	<b>100.0%</b>

Source: 2014–2018 American Community Survey



## Housing Tenure

Housing tenure (owner versus renter) can be affected by many factors, such as housing cost (interest rates, economics, land supply, and development constraints), housing type, housing availability, job availability, and consumer preference.

Table X-12 details housing tenure in Roseville according to the 2014–2018 American Community Survey. Almost two thirds of Roseville households were owner-occupied (65.2%), leaving a little more than one third renter-occupied (34.8%).

**Table X-12 | Housing Tenure**

Housing Tenure	Number	Percentage
Owner-Occupied Households	32,080	65.2%
Renter-Occupied Households	17,124	34.8%

Source: 2014–2018 American Communities Survey

## Vacancy Rate

Vacancy rates of 5% to 6% for rental housing and 1.5% to 2.0% for ownership housing are generally considered to be optimum. A higher vacancy rate may indicate an excess supply of units and a softer market, and result in lower housing prices. A lower vacancy rate may indicate a shortage of housing and high competition for available housing, which generally leads to higher housing prices and diminished affordability.

Table X-13 shows the occupancy status of the housing stock according to the 2014–2018 ACS. The City of Roseville had a rental vacancy rate of 6.6% and an ownership vacancy rate of 0.9%. The vacancy rate among rental households is slightly higher than optimum while the vacancy rate among for sale households is lower than optimum.

**Table X-13 | Occupancy Status of Housing Stock, 2014–2018**

Type	Number	Percentage
Occupied	46,986	95.5%
Vacant	2,218	4.5%
For rent	1,129	2.3%
For sale	319	0.6%
Rented or Sold, not occupied	322	0.7%
For seasonal/recreational or occasional use	146	0.3%
All other vacant	302	0.6%
<b>Total Owner Households</b>	<b>32,080</b>	----
For Sale Vacancy Rate		0.9%
<b>Total Renter Households</b>	<b>17,124</b>	----
For Rent Vacancy Rate		6.6%
<b>Total Households</b>	<b>49,204</b>	<b>100.0%</b>

Source: 2014–2018 American Community Survey

## Condition of Housing Stock

There are several ways to assess the condition of housing stock and estimate the need for housing rehabilitation, including the age of housing stock, estimates obtained from experts within the city, or surveys. As a general rule in the housing industry, structures older than 30 years begin to show signs of deterioration and require reinvestment to maintain their quality. Unless properly maintained, homes older than 50 years require major renovations to remain in good condition. If not properly and regularly maintained, housing can deteriorate and discourage reinvestment, thereby depressing neighboring property values and impacting the quality of life in a neighborhood. Maintaining and improving housing quality is an important goal for the City.

In July and August 2020, the City undertook a housing conditions windshield survey of units built prior to 1980 and looked at a few select neighborhoods (reference Figure X-1 for each neighborhood surveyed), which included homes built within any time frame, to assist with determining the condition of housing stock. The City's survey methods were consistent with both US Department of Housing and Urban Development (HUD) and California Department of Housing and Community Development (HCD) guidelines. The windshield survey included only an exterior assessment of the condition of the roof, siding, windows, and foundation. Interior conditions were not inspected.

The condition of housing was assessed by an exterior survey of quality, condition, and improvement needed. Each residential structure was scored according to structural criteria established by the HCD. There are five structural categories (foundation, roofing, siding, windows, and electrical). Based on scores assigned to the five categories, each housing structure was rated as being in sound or dilapidated condition, or in need of minor, moderate, or substantial repairs (defined below).

The majority of units, 504 units (72.01%), were found to be in sound condition, with 148 units (21.14%) in need of minor and 45 units (6.42) requiring moderate repairs. Only 3 units (0.43%) were in need of substantial rehabilitation or in dilapidated condition (see Figure X-1).

According to the 2014–2018 American Community Survey (ACS), approximately 22.2% of the city's housing stock was built prior to 1980 and 8.7% prior to 1960. Looking at the ACS and the 2020 housing condition survey results, it is safe to assume that approximately 25% of the housing stock is in need of some type of rehabilitation.

### DEFINITION OF HOUSING CONDITIONS

**Sound** – A unit that appears new or well maintained and structurally intact. The foundation should appear structurally undamaged and there should be straight roof lines. Siding, windows, and doors should be in good repair with good exterior paint condition. Minor problems such as small areas of peeling paint and/or other maintenance items are allowable under this category.

**Minor** – A unit that show signs of deferred maintenance, or which needs only one major component, such as a roof.

**Moderate** – A unit in need of replacement of one or more major components and other repairs, such as roof replacement, painting, and window repairs.

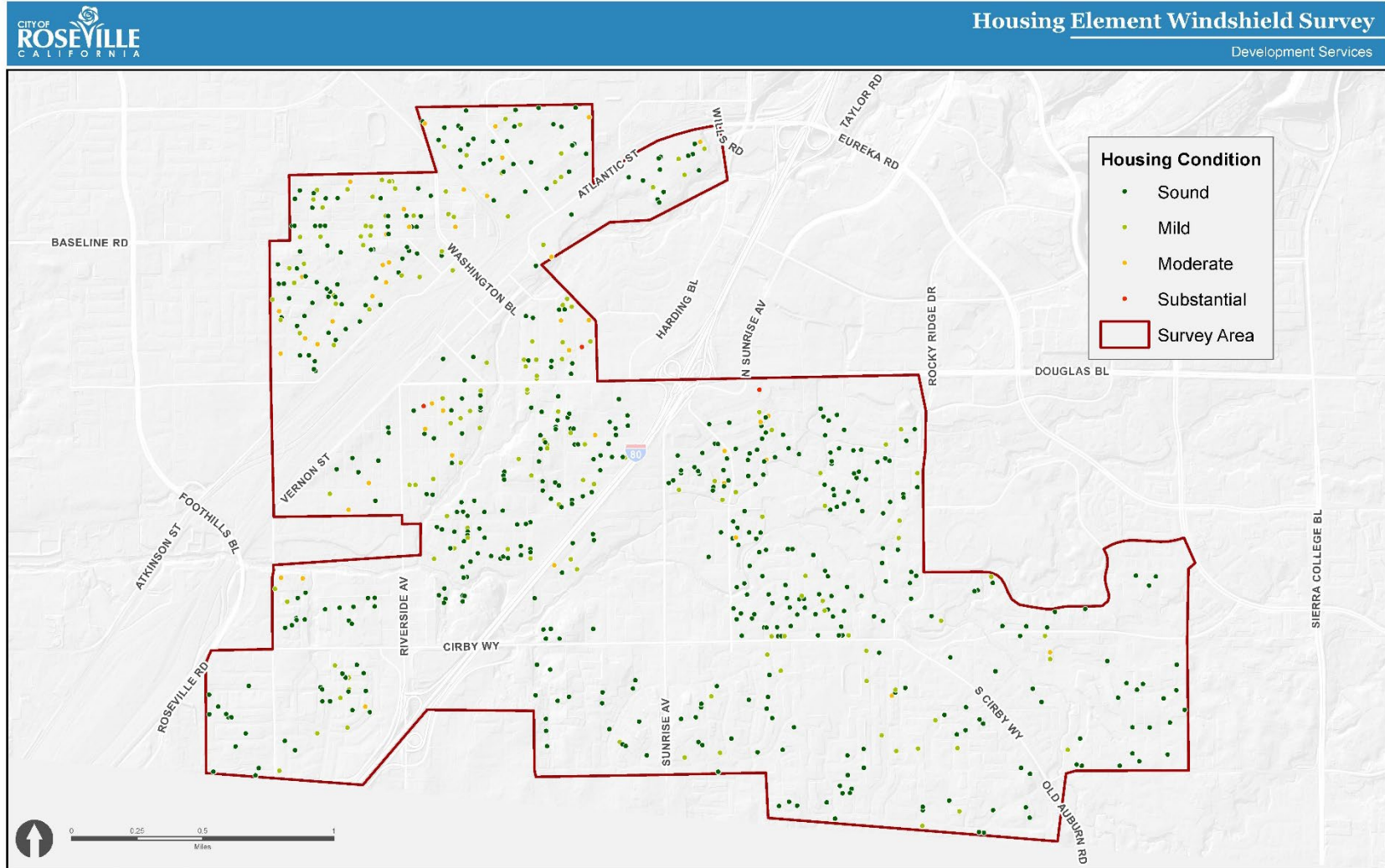
**Substantial** – A unit that requires replacement of several major systems and possibly other repairs (e.g., complete foundation work, roof structure replacement and re-roofing, as well as painting and window replacement).

**Dilapidated** – A unit suffering from excessive neglect, where the building appears structurally unsound and maintenance is nonexistent, is not fit for human habitation in its current condition, may be considered for demolition, or at minimum, major rehabilitation will be required.

Through this survey, the City was able to identify specific rehabilitation needs and formulate efforts to meet such needs. Based on the windshield survey, 196 units (28.0%) of those surveyed (700 units) were in need of rehabilitation. A large majority of units that require rehabilitation; 148 units (75.5%) require only minor rehabilitation.



Figure X-1 | 2020 Housing Condition Survey Results



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## Housing Rehabilitation

The Roseville Housing Rehabilitation Program provides a means to preserve Roseville's housing stock affordable to lower-income households. The Housing Rehabilitation Program assists low-income, owner-occupied households with deferred loans up to \$100,000 for health and safety repairs and general property improvements, and provides \$5,000 grants to elderly and disabled owner-occupied households to address health and safety repairs. Over the eight-year planning period, an estimated 50 households (6 per year) will be assisted with the Housing Rehabilitation Program during 2021–2029.

The City's Housing Rehabilitation Program maintains an ongoing waiting list of low-income, owner-occupied households in need of housing rehabilitation and completes an average of 6 rehabilitation projects each year.

## Housing Cost and Affordability

One of the major barriers to housing availability is the cost of housing. In order to provide housing to all economic levels in the community, a wide variety of housing opportunities at various prices should be made available. Housing affordability is based on the relationship between household income and housing expenses. According to the US Department of Housing and Urban Development (HUD) and the California Department of Housing and Community Development, housing is considered “affordable” if the monthly housing cost is no more than 30% of a household's gross income.

## SALES PRICES

The median sales price for homes in Roseville for the period from May 2020 to July 2020 was \$492,000. This figure represents an increase 1.4%, or \$6,500, compared to the prior quarter and an increase of 5.8% compared to the prior year. Sales prices have appreciated 29.5% over the last five years in Roseville. The average sale price for Roseville homes for sale on Redfin.com was \$495,000 for the week ending August 28, 2020. The market was in the most competitive range with most homes getting multiple offers and sell for around the list price. Average price per square foot for Roseville was \$277 in 2020, an increase of 4.1 % compared to the same period in the previous year (see Table X-14).

Table X-14 | Median Sales Prices

No. Bedrooms	May – July 2020	Year of Year Change	3 Months Prior	1 Year Prior	5 Years Prior
1 bedroom	\$245,000	+2.08%	\$240,000	\$247,000	\$138,500
2 bedrooms	\$370,000	+2.77%	\$320,000	\$360,000	\$200,660
3 bedrooms	\$449,900	+5.64%	\$385,000	\$425,000	\$342,000
4 bedrooms	\$594,000	+6.26%	\$550,000	\$559,000	\$482,000
<b>All properties</b>	<b>\$492,000</b>	<b>+5.80%</b>	<b>\$485,500</b>	<b>\$465,000</b>	<b>\$380,000</b>
Square Foot (average)	\$277	+4.1%	\$269	\$266	\$199

Source: MetroList Services (MLS) Comparative Market Analysis (CMA) Report, August 2020. Realtor.com. [https://www.realtor.com/realestateandhomes-search/Roseville\\_CA/housing-market](https://www.realtor.com/realestateandhomes-search/Roseville_CA/housing-market), Redfin.com <https://www.redfin.com/city/16146/CA/Roseville/housing-market>. Accessed September 24, 2020

(1) Realtor.com website data

## RENTAL PRICES

In August 2020, a rental survey was conducted to determine rent rates for housing units in Roseville (see Table X-15).



Table X-15 | Rental Cost

Number of Bedrooms	Monthly Rental Range	Median Monthly Rental
1 bedroom	\$744–\$3,400	\$1,450
2 bedrooms	\$888–\$5,000	\$1,865
3 bedrooms	\$1,023–\$4,180	\$2,197
4 bedrooms	\$2,195–\$6,000	\$2,595

Source: Forrent.com, realton.com, Zumper.com, August 2020

## HOUSING AFFORDABILITY

Table X-16 provides the affordable rents and maximum purchase price, based on the 2020 HCD income limits for Placer County. As shown in Table X-16, the maximum affordable rent for a very low-income four-person household is \$916 monthly. As shown in Table X-15, two-bedroom apartments were renting for \$888 to \$5,000, meaning that very low-income households would be able to afford a two-bedroom apartment at the lowest end of the rent spectrum. But the number of units affordable at this level are limited.

The median sales price for single-family homes in Roseville has almost fully recovered from the 2008 recession low and had a 29.5% increase in the last five years. From May 2020 to July 2020, the median sales prices in the city were \$449,900 for a three-bedroom home, and \$370,000 for a two-bedroom home and \$245,000 for a one-bedroom home. (Table X-14). The maximum affordable sales price for a four-person household is \$152,244 for a very low-income household, \$251,279 for a low-income household, and \$398,883 for a moderate-income household. This indicates that low-income households would be able to afford a one-bedroom home and moderate income households would be able to afford a one or two-bedroom home in Roseville..

Table X-16 | Housing Affordability by Income Level

	Income Level		
	Very Low	Low	Moderate
Annual Income	\$43,150	\$69,050	\$103,550
Monthly Income	\$3,596	\$5,754	\$8,629
Maximum Monthly Gross Rent <sup>1</sup>	\$916	\$1,561	\$2,426
Maximum Purchase Price <sup>2</sup>	\$152,244	\$251,279	\$398,883

Source: 2020 income limits: HCD; Monthly mortgage calculation: primelending.com

<sup>1</sup> Affordable housing cost for renter-occupied households assumes 30% of gross household income, not including utility cost.

<sup>2</sup> Affordable housing sales prices are based on the following assumed variables: approximately 10% down payment, 30-year fixed rate mortgage at 3.75% annual interest rate.

## OVERPAYMENT

Housing cost burden is the most prevalent housing issue facing Roseville residents, even among homeowners and upper income households. HUD defines affordable housing costs to be no more than 30% of a household's gross income, including utilities. Very low-income (VLI) and extremely low-income (ELI) households (those between 31-50% AMI and those below 30% AMI respectively) experience a cost burden greater than 50% of income to a significantly greater degree than households in the low- or moderate-income categories (51% AMI or greater). VLI and ELI households have little, if any, disposable income available to handle unexpected expenses or income disruption and have a higher rate of becoming homeless. The City's programs are responsive to VLI and ELI households needs.

According to CHAS data, using 2013-2017 ACS data, approximately 33.2% of Roseville households paid more than 30% of their income towards housing costs. HUD considers households paying more than 50% of their income

towards housing costs to be “cost burdened” and at risk of losing their housing. In Roseville, 14.1% of households paid more than 50% of income.

Of the VLI renters, 89.4% are cost burdened and 53.9% are extremely cost burdened. In the ELI renters, the data is significantly different finding that 78.7% are cost burdened and 74.3% are extremely cost burdened. However, even at the highest income-levels (>100% AMI) 9.3% of renters are cost burdened, and 40.9% of moderate-income renters (>80% to 100% AMI) are cost burdened.

Statewide, 72.6% of ELI households are renters. However, in Roseville the number are more evenly divided between renters and homeowners with 63.9% of ELI households are renters, and 36.1% are homeowners. This finding supports the City’s efforts to manage programs that address both ELI renters and owners, such as rental assistance and owner occupied rehabilitation programs.

Overall, in Roseville, 47.8% of renters are cost burdened and 23.6% are severely cost burdened. Of the City’s homeowners, 25.2% are cost burdened and 9.0% are severely cost burdened. Statewide, 51.1% of renters are cost burdened and 26.6% are severely cost burdened. For homeowners, the City’s percentages are lower than California homeowners where statewide 30.8% are cost burdened and 13.3% are severely cost burdened.

## SPECIAL NEEDS GROUPS

In accordance with Section 65583(a)(6) of the Government Code, this section of the Housing Element evaluates the special housing needs and needs for supportive housing services within the City of Roseville. Special housing needs categories include persons with disabilities, seniors, large families, female-headed households, farmworkers, and homeless individuals and families.

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process. Public Service programs that serve all special needs groups over the last 8 years include:

- Lighthouse Counseling Services
- Handyperson Program
- Supportive Housing Case Management
- BAGS Program for Elderly and Disabled Adults
- Transportation Services
- Child and Family Therapy
- Transitional Housing for Homeless Persons with Mental Illness
- Emergency Homeless Shelter
- Mental Health Clinician
- Family Mental Wellness Counseling
- Housing Supportive Services
- Fair Housing Services

### Persons with Disabilities

The 2014–2018 ACS identified 9.8% (13,164 persons) of Roseville’s population 5 years and older as having one or more disabilities. There are a variety of disabilities, including sensory, physical, mental, and developmental. Disabilities can result in mobility, self-care, and employment limitations. Of the 13,164 persons identified to have a disability, 5,294 are within the labor force age group of 18-64 years old. Within this labor force group, 2,119 are employed (40%), 330 are unemployed (6.2%), and 2,845 (53.7%) are not considered eligible to be included the labor force. The majority of disabled persons have income significantly lower than that of the non-disabled population and require housing



assistance. While it is difficult to determine how many of the disabled require supportive housing services, it can be assumed that those with mobility and/or self-care limitations have special needs and require in-home supportive services and special housing accommodations. Table X-17 provides information on disabled Placer County residents, by type of disability.

Placer Independent Resource Services (PIRS) is a primary resource for disabled persons in Placer County, including in the City of Roseville. PIRS advocates for the rights of people with disabilities, educates the community about disability issues, and provides services to persons with disabilities to live independent, productive lives. PIRS identified a need for programs that provide assistance with accessibility improvements that create more accessible and safer home living environments for the disabled and senior populations.

Persons with mental health disabilities range from those that can live and work within the community to those with severe mental illness that require special housing accommodations, constant medical attention, and supportive services. Placer County Adult System of Care (ASOC) provides a variety of services to the mentally ill. ASOC identifies housing as a constant struggle for the severely mentally ill. Mental health clients are typically low income; in addition, their illnesses have resulted in rental histories or credit histories that do not meet typical rent requirements and limit their housing options.

The Roseville Housing Authority will continue to apply for the following Housing Choice Vouchers when applications are made available:

- Non-Elderly Disabled (NED) - used to provide rental assistance to households with a member who is under the age of 62 and disabled
- Veterans Administration Supportive Housing (VASH) – used to house veteran households who are homeless or at risk of becoming homeless
- Mainstream (MV) – used to house households with a disabled non-elderly adult who is transitioning out of institutional and other segregated settings, or is currently homeless or at risk of becoming homeless

Residential care facilities and single-room occupancy (SRO) units provide additional housing options for the disabled. These housing types can house persons with similar disabilities, assist with case management efforts, and provide an environment where residents support one another.

In summary, disabled persons generally do not have the financial capacity to pay for needed accommodations or modifications to their homes. In addition, disabled persons need housing in close proximity to public services and public infrastructure and facilities that are accessible with special design features that alleviate the disability. The City offers multiple programs to help close this gap, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable. The City also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years.

The City adopted a Reasonable Accommodation Ordinance to provide a process for individuals with disabilities to make requests for reasonable accommodation in regard to relief from the various land use, zoning, rules, policies, practices and/or procedures of the City. Reasonable accommodation is necessary in instances where an accommodation is needed in order to make housing available or livable for a person with a disability. The process allows approval of ministerial accommodations (ramps, walls, handrails, or other minor physical improvements) by the Planning Manager. Other requests are forwarded to the Planning Commission as a request for an Administrative Permit.

Although the City has established this process, it is rarely used, primarily because the City's existing land use, zoning, and other procedures are not unduly burdensome and do not generally restrict individuals from making the necessary improvements to a property. For example, a typical improvement would be a ramp with hand rails to replace a step up

to a porch or front door. The City's Zoning Ordinance does not apply setbacks or other regulations to decks (and similar structures) of up to 30 inches tall, which is equivalent to between four and seven steps, depending on the riser height. When they are included at all, homes typically only have a few steps up to the front door, and therefore the City's existing development regulations already accommodate the addition of a ramp. The City's existing development regulations do not unduly restrict improvements to property needed to support individuals with disabilities, and has established a Reasonable Accommodation Ordinance for those rare instances where an improvement may not meet development regulations.

**Table X-17 | Disabled Residents, by Disability Type (Placer County)**

Age Group and Disability Type	# of People	% of Disabled Residents	% of Total Population
<b>Hearing Difficulty</b>	<b>13,782</b>	<b>19%</b>	<b>4%</b>
Under 18 years	460	1%	--
18 to 64 years	3,641	5%	--
65 years and over	9,681	13%	--
<b>Vision Difficulty</b>	<b>5,795</b>	<b>8%</b>	<b>2%</b>
Under 18 years	223	0%	--
18 to 64 years	2,424	3%	--
65 years and over	3,148	4%	--
<b>Cognitive Difficulty</b>	<b>14,198</b>	<b>19%</b>	<b>4%</b>
Under 18 years	2,070	3%	--
18 to 64 years	6,839	9%	--
65 years and over	5,289	7%	--
<b>Ambulatory Difficulty</b>	<b>18,990</b>	<b>26%</b>	<b>5%</b>
Under 18 years	234	0%	--
18 to 64 years	6,389	9%	--
65 years and over	12,367	17%	--
<b>Self-care difficulty</b>	<b>7,566</b>	<b>10%</b>	<b>2%</b>
Under 18 years	649	1%	--
18 to 64 years	2,272	3%	--
65 years and over	4,645	6%	--
<b>Independent living difficulty</b>	<b>13,915</b>	<b>19%</b>	<b>4%</b>
18 to 64 years	5,719	8%	--
65 years and over	8,196	11%	--
<b>TOTAL DISABLED RESIDENTS</b>	<b>74,246</b>	<b>--</b>	<b>19%</b>

Source: 2015–2019 American Community Survey, based on a population of 382,926 people

## PERSONS WITH DEVELOPMENTAL DISABILITIES

Senate Bill (SB) 812 requires the City to include in the “Special Housing Needs Analysis”, the needs of individuals with a developmental disability within the community. According to Section 4512 of the Welfare and Institutions Code, “developmental disability” means a disability that originates before an individual attains age 18 years, continues, or can be expected to continue, indefinitely, and constitutes a substantial disability for that individual which includes mental retardation, cerebral palsy, epilepsy, and autism. This term also includes disabling conditions found to be closely related to mental retardation or to require treatment similar to that required for individuals with mental retardation but does not include other handicapping conditions that are solely physical in nature.

Many developmentally disabled persons can live and work independently within a conventional housing environment. More severely disabled individuals require a group living environment where supervision is provided. The most severely affected individuals may require an institutional environment where medical attention and physical therapy are



provided. Because developmental disabilities exist before adulthood, the first issue in supportive housing for the developmentally disabled is the transition from the person's living situation as a child to an appropriate level of independence as an adult.

The Alta California Regional Center provides the City point of entry to services for people with developmental disabilities. The center is a private, non-profit community agency that contracts with local businesses to offer a wide range of services to individuals with developmental disabilities and their families.

The information in the tables below from the Alta California Regional Center provides a closer look at the disabled population.

**Table X-18 | Developmentally Disabled Residents, by Age, for Roseville**

Roseville Zip Codes	0–14 Years	15–22 Years	23–54 Years	55–65 Years	65+ Years	Total
95661	231	22	17	0	5	275
95678	343	50	23	0	0	420
95747	678	48	22	2	2	752
<b>Total</b>	<b>1252</b>	<b>120</b>	<b>62</b>	<b>2</b>	<b>2</b>	<b>1447</b>

Source: Alta California Regional Center Client Master File, March 2021

There are a number of housing types appropriate for people living with a development disability: rent-subsidized homes, licensed and unlicensed single-family homes, inclusionary housing, Housing Choice Vouchers (aka Section 8), special programs for home purchase, HUD housing, and SB 962 homes. The design of housing-accessibility modifications, the proximity to services and transit, and the availability of group living opportunities represent some of the types of considerations that are important in serving this special needs group. Incorporating "barrier-free" design in all new multi-family housing is especially important to provide the widest range of choices for disabled residents.

**Table X-19 | Developmentally Disabled Residents, by Residence Type**

Zip Code Area	Home of Parent/ Family/ Guardian	Independent/ Supported Living	Community Care Facility	Intermediate Care Facility	Foster Family /Home	Other	Total
95661	231	22	17	0	0	5	275
95678	343	50	23	0	0	4	420
95747	678	48	22	2	2	0	752
<b>Total</b>	<b>1252</b>	<b>120</b>	<b>62</b>	<b>2</b>	<b>2</b>	<b>9</b>	<b>1447</b>

Source: Alta California Regional Center Client Master File, March 2021

In order to assist in the housing needs for persons with developmental disabilities, the City will continue to implement programs to coordinate housing activities and outreach with the Alta California Regional Center and encourage housing providers to designate a portion of new affordable housing developments for persons with disabilities, especially persons with developmental disabilities, and pursue funding sources designated for persons with special needs and disabilities. The City offers multiple programs to help close this gap, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable. The City also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years.

More than twenty (20) years ago, the Roseville Housing Authority (RHA) adopted a policy allowing Shared Housing under their Housing Choice Voucher (HCV) Program. Shared Housing enables persons who may have developmental disabilities to be able to use their voucher in housing that is shared with other non-related persons. The rent and rental subsidy for these households is then based on the use of only one bedroom (or two if a live-in aide is required). The HCV rental assistance Shared Housing option does not take into account the income of the other household members who may actually be assisting in providing some independence for the developmentally disabled HCV participant. RHA has had a number of developmentally disabled individuals make use of this option of Shared Housing and has received positive feedback from the participants, their families and landlords regarding the benefit of this provision.

## Female Heads of Household

Female-headed households are considered a special needs group because of the higher incidence of poverty in this type of household as compared with all families. Most female-headed households are either single women over the age of 65 or single women (mothers or other female relatives) with minor children.

Of the 33,872 families in the City, according to the 2014–2018 ACS, 4,893 were female-headed families, or 14.4%. Approximately 53.2% (2,604) of female-headed families have minor children. Approximately 19.3% of female-headed families are classified as living below the poverty level and 23.5% have children under the age of 18. Comparatively, only 6.6% of all families in Roseville had household incomes below the poverty level.

It may be assumed that the majority of lower-income, female-headed households are cost burdened for housing (i.e., more than 30% of their income) or are experiencing other unmet housing needs. As a result of poverty, female heads of families often spend more on immediate needs such as food, clothing, transportation, and medical care than on home maintenance, which results in living units falling into disrepair. Female-headed families have a greater need for affordable housing, located in areas near child care, schools, parks, transportation, shopping, and other services. Access to affordable childcare can be particularly key for female-headed households with minor children. The City's regulations provide for childcare in all but the Industrial zones of the City; in-home daycare is a by-right residential use. Childcare facilities are also permitted in commercial zones and are permitted as an accessory use to a school or church.

In addition to the City's overall programs to provide affordable housing, including the Housing Choice Voucher program (in combination with the Shared Housing program), the City's affordable housing goal to provide 10% of all new units as affordable, and the Electric Rate Assistance Program, the City also offers programs which can specifically assist with issues more particular to female-headed households. The City's Owner Occupied Rehabilitation Program assists residents such as these whose homes may fall into disrepair because funds are needed for food and transportation.

The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years. The City's Housing Rehabilitation program has assisted 49 households with general repairs, 47 with exterior paint, and 417 households with handyperson repairs. The City continues to offer this program and targets the assistance of a minimum of 15 households annually, for a total of 120 over the housing cycle.

## Seniors

According to the 2014–2018 ACS, there are 22,162 seniors (persons age 65 or older) residing in Roseville. Seniors age 65 and older account for 16.7% of the city's population. Examining the last decade of data on seniors and tenure indicates that rates of homeownership and rental have remained fairly steady. Approximately 28% of homeowners are seniors while approximately 16% of renters are seniors. Seniors are more likely to have lower incomes than the general population, and according to the 2014–2018 ACS, 9.0% of the senior population is at or below the poverty level. Many seniors face financial challenges due to limited incomes and need affordable housing. Seniors also face housing challenges related to physical disabilities. Many of the disabilities are age related, including declining mobility and self-care issues that interfere with their ability to remain independent.

Seniors have a variety of housing options, including:



- Independent living – seniors reside in their home or apartment with little support or care
- Assisted living facilities – senior maintains a level of independence, residing in an apartment and receives varied levels of support and assistance such as light housekeeping, meals, transportation, and/or medication
- Residential care facilities – typically a smaller licensed facility, often with 6 or fewer residents, that provides services similar to those provided by assisted living facilities
- Intermediate care or skilled nursing facilities – a licensed facility that provides a higher, continuous level of professional care

Although there are a variety of housing options for seniors, and all housing options are available in Roseville, facilities providing supportive services and a higher level of care are expensive. Most affordable senior housing is classified as independent living and does not provide supportive services. Lower-income seniors cannot afford to take advantage of many of the housing options and consequently, remain in independent living situations struggling with self-care issues.

Seniors First/Senior Link, located in Placer County, provides a link to variety of senior programs, referral services, and housing options and serves as an advocate for seniors within the community. The Area 4 Agency on Aging serves a seven-county area including the City of Roseville.

In addition to the City's overall programs to provide affordable housing, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, the City's affordable housing goal to provide 10% of all new units as affordable, and the Electric Rate Assistance Program, the City also offers programs which can specifically assist with senior low income households. This includes the Medical Support Rate Reduction for customers with medical devices in their homes. Seniors often struggle with medical difficulties related to age which require equipment, such as oxygen, that can require more energy than average. Offering reduced electric rates for these residents can significantly reduce expenses related to necessary medical devices. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years and Roseville Electric currently assists over 1,700 households with rate assistance.

## Large Families

Large families are defined by HUD as family households with five or more persons. The 2014–18 ACS reports that 9.2% of the total households (4,528 households) in Roseville are large families, and of those 33% are renters and 67% are homeowners. Data from the City's 2020 Consolidated Plan found that of the large families, 70.1% have an AMI greater than 100% and 5.4% are moderate income. Low-income large families make up 7.5% of the total of large families in the City; and fewer than 300 or 6.5% of the large families are extremely low-income.

For renters, the Consolidated Plan data showed that 625 large families were cost burdened and 310 large family renters were extremely-cost burdened. There were 335 large family homeowners that were cost burdened, and 215 that were extremely cost-burdened.

There are approximately 23,395 units (47.5%) in the city with three or more bedrooms, indicating that the City of Roseville has a sufficient supply of large housing units for the 4,528 large households residing in the city. Of the total number of all sizes of units, for homeowners, 85% of the housing stock have 3 or more bedrooms and 37% of the rental units have 3 or more bedrooms. Since the proportion of for-sale and rental housing closely aligns with the number of large households which are owners versus renters, the City's housing stock provides sufficient supply by tenure type.

The City's housing supply includes sufficient units in total and by tenure type to support large families, and other than living space the needs of lower income large families are similar to those of other lower income households. Therefore, the City's programs to help close affordability gaps, including the Housing Choice Voucher program (in combination with the Shared Housing program), the Owner Occupied Rehabilitation Program, and the City's affordable housing goal to provide 10% of all new units as affordable provides the needed support for this special needs group. The City

also offers the Electric Rate Assistance program, which offers a discount to residential customers whose income is very low or lower, and also offers a Medical Support Rate Reduction for customers with medical devices in their homes. The City's programs have been highly effective, with the Roseville Housing Authority designated by HUD as a "High Performing Housing Authority" for the past fifteen years.

## Farmworkers

Farmworkers tend to have low incomes due to the lower-paying nature of their work. The Employment and Earnings of California Farmworkers in 2015 by U.C. Davis and the California Employment Development Department reveals that the average annual earnings of persons with at least one farm job in California was \$20,500, which is below the extremely low income limit for a family of four. Farmworkers who are permanent residents, particularly those who are part of large family households, face many of the same difficulties in obtaining suitable affordable housing as other extremely low-income families. Farmworkers who migrate on a seasonal basis face the issue of finding suitable, short-term housing.

The City of Roseville does not contain any farmlands, nor does the City have agricultural or farmland zoning or land use designations. The 2013–2017 ACS indicates that 0.2% of the working population (persons 16 years and older) are employed in the broader agriculture, mining, oil, and gas extraction industries (50 jobs total). In the greater County, the U.S. Census of Agriculture (2017) indicates there are 277 hired farm labor positions (farms) and a further 1,386 farm labor positions (workers). Of the farm labor workers, 67% work fewer than 150 days, which generally means these are seasonal jobs.

In some cases farmworker housing is provided on or adjacent to farms and agricultural facilities in rural County areas, but there are benefits to farmworker households living in cities, because there is greater access to services. Farmworker households share many factors in common with other extremely low income housing, as they need very low cost housing combined with larger units, so that multiple households can share accommodations—and therefore costs. As evaluated in the Large Families section of the Housing Element, above, nearly half of the City's housing units have three or more bedrooms, making them suitable for shared households. The City also has many programs which support extremely low income households. For example, the City's Housing Choice Voucher Rental Assistance program requires that 75% of vouchers serve extremely low income families. Because the number of farmworkers in the City and within Placer County is very low and the needs of this group are shared by other extremely low income households, the City's programs serving extremely low income households and the City's capacity of large units will provide support for this special needs group.

## Homelessness

People struggling with homelessness have complex, multiple needs and require integrated and coordinated services. A lack of affordable housing can make it difficult for families to move from shelters and temporary supportive housing into permanent housing and puts many low-income families at risk of becoming homeless as well. It is difficult to estimate the number of individual households and households with children who are at risk of becoming homeless. It can be assumed that those most at risk are lower-income households with severe cost burden (households pay more than 50% of their income for housing costs).

Each January Placer County and its partners participate in the annual Point in Time Count and interview homeless individuals. A point-in-time count is simply a snapshot reflecting those persons identified as homeless for one night and is not an absolute number. Many people move in and out of homelessness throughout a year. According to the 2020 count, the City of Roseville had 197 homeless persons. Most, 73 percent, said they lived in Placer County at least one year before becoming homeless. The infographic below provides information regarding homeless persons within Placer County. As shown, the number of homeless individuals counted in Roseville has been consistently dropping over the past several years. The 2021 count was not conducted due to safety concerns related to COVID-19, but it is expected there has been an increase in the number of homeless individuals resulting from COVID-19 impacts.

The City's homeless population tends to be most concentrated in the central area of the City. The central area of the City is a hub for transit and trails, and has robust access to services, employment, and open spaces and parks. There



are multiple non-profits which operate in this area, providing overnight shelter, meals, and access to restrooms and other facilities. The City also operates both warming and cooling centers in this area.

The analysis in the table below is based on the 2020 count, since that is the most recent complete data set. When applying an equity lens to homelessness there are two key questions to ask: whether certain racial or ethnic populations are disproportionately affected by homelessness and whether racial or ethnic populations are receiving shelter services equitably. The evaluation below compares the percentage of a racial or ethnic population as it relates to: the total population, the homeless population, and the homeless population receiving shelter services. If populations were not disproportionately affected and services are evenly distributed, then the percentage of the total population, homeless population, and sheltered population for each racial or ethnic group should closely align<sup>3</sup>.

**Table X-20 | Homeless Population Demographics**

Race or Ethnicity	% of Total Population	% of Homeless Population	% of Sheltered <sup>1</sup> Population
<b>Placer County</b>			
<b>American Indian or Alaska Native</b>	0.3%	4.7%	4.4%
<b>Asian</b>	6.8%	1.2%	1.2%
<b>Black or African American</b>	1.4%	8.5%	12.1%
<b>Hispanic/Latino</b>	13.6%	13.8%	15.9%
<b>Multiple Races</b>	3.7%	2.4%	5.6%
<b>Native Hawaiian or Other Pacific Islander</b>	0.1%	0.4%	0.6%
<b>White</b>	73.8%	80.2%	76.1%
<b>City of Roseville</b>			
<b>American Indian or Alaska Native</b>	0.2%	2.5%	8.1%
<b>Asian</b>	10.0%	1.0%	2.5%
<b>Black or African American</b>	1.7%	8.6%	18.1%
<b>Hispanic/Latino</b>	15.2%	13.7%	13.8%
<b>Multiple Races</b>	4.1%	9.1%	4.4%
<b>Native Hawaiian or Other Pacific Islander</b>	0.2%	1.0%	0%
<b>White</b>	68.5%	65.0%	28.8%

Source: 2020 Point in Time Count and 2013 to 2017 ACS 5-Year Estimates. Total homeless population is 744 people and total sheltered population is 405 people.

1. "Sheltered" means people who are homeless and receiving housing from an emergency, transitional, or safe haven shelter.

At both the county and local level there are variances between population-level demographics and homeless population demographics. Some of these figures seem like small variances—for example the Native Hawaiian or other Pacific Islander community is 0.1 percent of the Placer County population and 0.4 percent of the homeless population, which is only an increase of 0.3 percent. However, this means that this group is overrepresented in the homeless population by a factor of four times. At the County level the most disproportionately impacted communities are the American Indian or Alaskan Native community, which is overrepresented by a factor of sixteen times; the Black or African American community, by a factor of six times; and the Native Hawaiian or other Pacific Islander community, by a factor of four times.

When examining those receiving services at a shelter, there are two populations receiving shelter at disproportionately lower rates, though the disproportionality is relatively low. The American Indian or Alaskan Native community and the white population accessing shelter services are both underrepresented by a factor of one time.

<sup>3</sup> That is if a particular group is 50% of the total population, then that group should make up close to 50% of the homeless population and 50% of the sheltered population.

At the local (Roseville) level homelessness disproportionately impacts the American Indian or Alaskan Native community, by a factor of thirteen times; the Black or African American community, by five times; and the Native Hawaiian or other Pacific Islander community, by five times. The most disproportionately impacted communities at the County level remain the most impacted in Roseville, but the degree of the impact is slightly reduced.

In response to the patterns and trends observed above, the City's Homeless Prevention and Rapid Rehousing program (Program 12 and Program 20) has been amended to include annual monitoring to determine whether the funding is being equitably distributed, and commit to making funding adjustments if not. The Fair Housing Program (Program 27) also includes monitoring of the demographics of the beneficiaries of housing and service programs, and includes meeting monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.

While the Hispanic or Latino community is, based on the analysis above, not disproportionately affected by homelessness or underrepresented in accessing shelter services, it is important to consider that this homeless population may be undercounted. The Latino Leadership Council conducts grassroots outreach to the Latino community, which includes outreach and assistance activities for people struggling with homelessness. During Housing Element outreach, the Latino Leadership Council indicated that fear of being questioned about immigration status inhibits people from seeking services, and that many members of the Latino community hide or avoid contact during homelessness surveys. This fear impacts both documented and undocumented individuals, because people struggling with homelessness or other housing insecurity may simply not have access to their documentation.

In response to this feedback, the City invited the Latino Leadership Council to join the monthly coordination meetings for homeless outreach organizations, added the Latino Leadership Council to the City's list of homeless support service organizations, contacted service agencies and provided a confirmed list of support organizations that affirmed they do not ask about immigration status, and provided the Latino Leadership Council with contact information for the City's Social Services Unit to improve coordination in the field. The City's Homeless Outreach program also emphasizes building trust within communities where distrust is widespread and acts as a barrier to accessing services.

The City of Roseville, Placer County, other cities in Placer County, service agencies, and faith-based organizations collaborate to support and work as part of a cooperative effort through the Placer Collaborative Network (PCN) and the Placer Consortium on Homelessness (PCOH) (a subgroup of the PCN) to address homelessness and provide comprehensive services on a regional basis. In addition to regional collaboration, the City has an internal Homeless Response Team made up of representatives from Housing, Parks and Open Space, Police Department's Social Services Unit (SSU), City Attorney's Office, and Public Affairs and Communication. Roseville Police Department's SSU uses a balanced approach of services and enforcement, with a team including Problem Oriented Policing (POP) officers, a sergeant for the unit, outreach workers, Placer County Probation, a family mobile unit, and a mental health crisis team. Through a partnership with the City, Placer County and the Downtown Roseville Partnership (DRP), the City has secured homeless outreach workers who work with Police Department's Social Services Unit and the County.

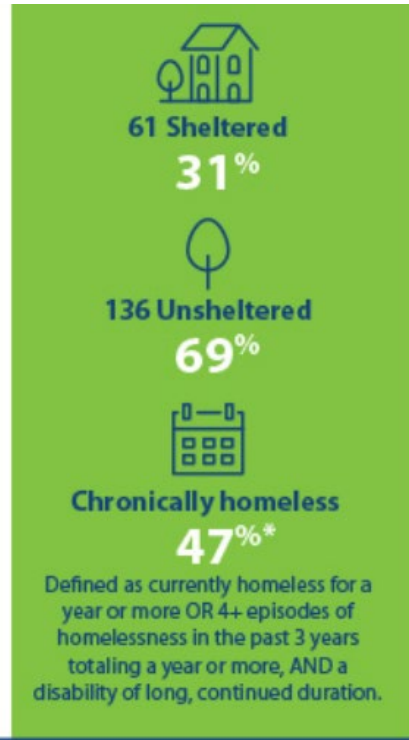
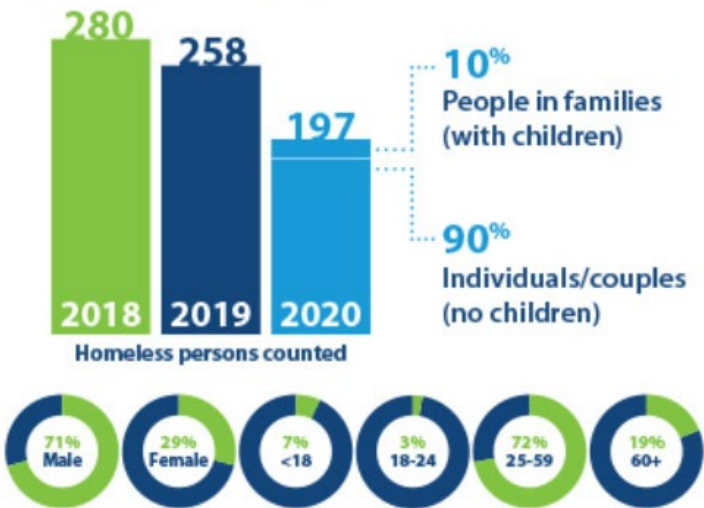
Through the support of Kaiser Permanente, the City is a member of the Built for Zero team along with Placer County's Adult System of Care and The Gathering Inn. Built for Zero is a data driven and system wide approach to encourage a place where homelessness is rare overall and brief when it occurs. As part of the Built for Zero initiative, the City participates in regional collaboration to house the most vulnerable homeless residents of Placer County.

The spectrum of City and regional housing and services includes outreach and SSU services, accessing ready to rent programs, mental health, food and healthcare services, accessing emergency shelter, accessing transitional housing programs, obtaining rental assistance, obtaining an affordable housing unit, living with family or friends, and utilizing ongoing supportive services to maintain housing.



### 2020 Point-in-time count results

City of Roseville homeless count continues to drop. Each January, Placer County and its partners survey homeless individuals. A point-in-time count is only a snapshot reflecting those persons identified as homeless for one night and is not an absolute number. Many people move in and out of homelessness throughout a year.



### Most said they lived in Placer County at least 1 year before becoming homeless:



Initiated in 2017 by a three-year partnership with Sutter, the City continues to administer and fund the Homeless Prevention and Rapid Rehousing program to help homeless service providers keep people housed and address barriers to housing. Non-profits apply for funds annually to provide grants to residents for utility bills, credit and background check fees, deposits, rent, and more.

Roseville Housing Authority provides rental assistance, which allows participants of the program to remain housed, preventing homelessness. More than half of participants are senior or disabled and about 75 percent are extremely low-income (earning 0-30 percent of Area Median Income). Roseville Housing Authority addresses homelessness with several different vouchers specifically for the homeless population:

- VASH vouchers permanently house homeless veterans
- Mainstream vouchers permanently house homeless non-elderly disabled

- Project Based Vouchers with Mental Health Services Act (MHSA) funding establish permanent supportive units for homeless with a disability.

Placer County's homeless service providers strive to meet the multiple needs of the homeless and provide integrated, coordinated services. Placer County and Roseville services can be accessed by calling 211 Connecting Point, which is a resource and information hub that connects people with community programs and services through a searchable web page and 24/7 local call center serving Nevada County, Placer County, and the Tahoe-Truckee region. For a complete listing of homeless resources available in Placer County, please refer to Appendix G.

The City's past programs focused heavily on the use of vouchers and emergency housing, and though these programs were successful—serving nearly 1,000 households—the City's homeless population continued to struggle to find resources and long-term housing. Leading up to this Housing Element cycle, the City convened a task force spanning multiple Departments, including Housing, Planning, Economic Development, Parks and Recreation, and Police, to develop new programs and add new staff to provide better assistance. The City's current Housing Element now includes multiple programs to assist unsheltered populations and those in danger of becoming unsheltered. These programs include the Homeless Outreach program to link homeless individuals to services and build trust with unsheltered individuals, the Family Mobile Team which responds to family crisis situations, the Family Reunification Program which seeks to link homeless individuals with supportive friends or family, and the City's existing programs which have been brought forward, which include Regional Housing Programs and the Homeless Prevention and Rapid Rehousing Programs.

## ANALYSIS OF AT-RISK HOUSING

State housing element law requires the analysis of government-assisted housing units that are eligible to convert from low-income housing to market-rate housing during the next 10 years due to expiring subsidies, mortgage prepayments, or expiration of affordability restrictions and the development of programs aimed at their preservation. Consistent with State law, this section identifies publicly assisted housing units in the City and analyzes their potential to convert to market rate housing uses.

### Inventory of Affordable Units

A list of the City's assisted housing developments, including expiration dates, is provided in Table X-21 and the locations are shown in a map in Figure X-2. There are three assisted multi-family rental housing development in the City that have government assistance and/or expirations of restrictions on use that will expire during this Housing Element period and one that is at-risk in the 10-year period. Units include: Somerset Hill, 25 units that expire in 2024; Colonial Village, 56 units that will expire in 2025 and 34 units at Preserve at Creekside that will expire in 2029. In the 10 year period, 62 units at Manzanita Place will expire. The City will continue to monitor these at-risk units and should a notice of intent to convert to market rate be filed, work with potential purchasers to preserve the units, and ensure that tenants were properly notified of their rights under California law.

Table X-22 lists the inventory of at-risk units in the 10-year period. A total of 177 units are at-risk in the City over the 10-year period and 115 units are at-risk in the 9-year period that is the effective term of this housing element. The 25 units at Somerset Hill and 34 units Preserve at Creekside are considered highest priority, due to owner types. Somerset Hill and Preserve at Creekside are owned by profit motivated entities. Somerset Hill is managed by a national firm that manages 12 housing developments in the City, including other affordable housing developments.

Colonial Village was developed and is currently owned and managed by Project Go. Inc., a Roseville housing non-profit that also developed, owns, and operates 236 elderly affordable units at Maidu Village I, II and III. As a mission driven non-profit, the Colonial Village units are low-risk. Manaznita Place with 62 units for the elderly is owned by Volunteers of America, a non-profit organization and will most likely seek to preserve affordability therefore is also considered low-risk.



Table X-21 | Affordable Housing Developments

Apartment Complex	Earliest Date Affordability Period Expires	Type of Government Assistance Received	Very Low-Income Units 0–50% AMI	Low-Income Units 51–80% AMI	Total Units	Units per Acre
<b>Senior Apartments</b>						
Eskaton Roseville Manor 1725 Pleasant Grove Boulevard	2050	HUD 202/811; City HOME funds; Low Mod fund	48 @ 50%		49	19.6
Maidu Village I Apartments (Elderly 62+) 1750 Eureka Road	2041	LIHTC; City covenant		79 @ 60%	80	13.6
Maidu Village II Apartments (Senior 55+) 101 Sterling Court	2040	LIHTC; City covenant		82 @ 60%	84	25.6
Maidu Village III Apartments (Senior 55+) 109 Sterling Court	2059	LIHTC; City Low Mod Fund	23 @ 50%	52 @ 60%	76	22.9
Manzanita Place (Elderly 62+) 1019 Madden Lane	2030	LIHTC; HUD 202/811; City Low Mod Fund	62 @ 50%		63	35
Silver Ridge Apartments (Senior 55+) 1101 Stone Canyon Drive	2033	LIHTC; City covenant	30 @ 50%	125 @ 60%	156	29
Sutter Terrace Apartments (Elderly 62+) 6725 Fiddymont Road	2038	LIHTC; HUD; CalHFA; City Low Mod Fund	19 @ 50%	80 @ 60%	100	25
Vintage Square at Westpark 2351 Wharton Lane	2064	LIHTC; City Affordable Housing Fund	75 @ 50%	75 @ 60%	152	19.3
Woodcreek Terrace Apartments (Senior 55+) 1295 Hemingway Drive	2039	LIHTC; City covenant	4 @ 50%	99 @ 60%	104	19.5
<i>Subtotal of Units per Income Limit</i>			261	592		
<b>Multi-Family Apartments</b>						
Campus Oaks Apartments Phase I 500 Roseville Parkway	2042	LIHTC; CDBG; City Low Mod Fund	42 @ 50%		186	20.4

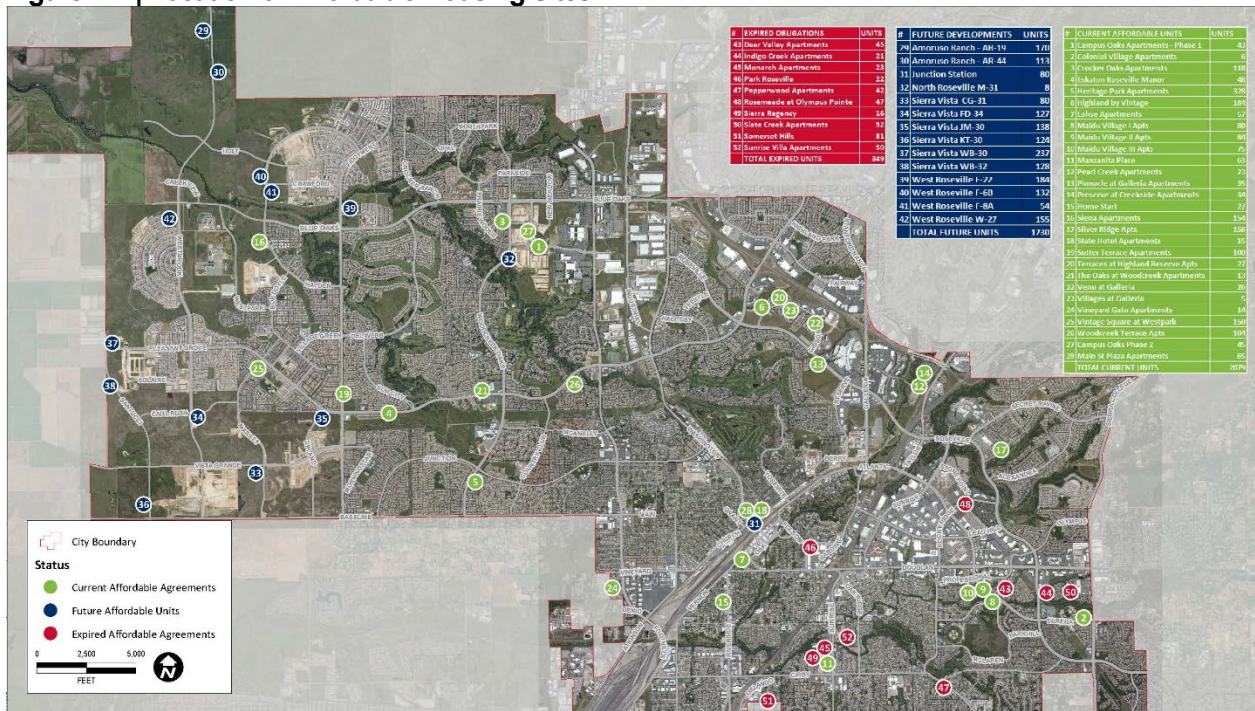
Campus Oaks Apartments Phase II 350 Roseville Parkway	2073	LIHTC	45 @ 50%		210	23.6
Colonial Village Apartments 3881 Eureka Road	2025	LIHTC; City covenant	50 @50%	6 @ 60%	56	12.87
Crocker Oaks Apartments 8000 Painted Desert Way	2042	LIHTC; CDBG; City Low Mod Fund	14 @ 50%	52 @ 60%	131	21
Villages at Galleria (formerly Haverhill) 701 Gibson Drive	2032	City covenant		20 @ 80%	321	15.3
Heritage Park Apartments 1098 Woodcreek Oaks Boulevard	2047	LIHTC; City covenant	65 @ 50%	260 @ 60%	328	19.4
Highland by Vintage 800 Gibson Drive	2043	LIHTC; City Low Mod Fund	54 @ 50%	129 @ 60%	184	21.5
Lohse Apartments 623 Vernon Street	2070	LIHTC; City Housing Taxable Bonds Fund	5 @ 30% 15 @ 40% 20 @ 50%	15 @ 60%	56	50
Main Street Plaza Apartments 140 Main Street	2072	LIHTC; HUD, CDBG; City covenant	8 @35%	12@ 60%	21	56
Main Street Plaza Apartments 134 Main Street	2072	LIHTC; CDBG; City covenant	23@30% 6@50%	14@60%	44	56
The Oaks at Woodcreek Apartments 1550 Pleasant Grove Boulevard	2031	LIHTC; City covenant		34 @ 60%	80	14.81
Pearl Creek 1298 Antelope Creek Drive	2044	City covenant	9 @ 50%	14 @ 80%	224	19.1
Pinnacle at Galleria Apartments 1100 Roseville Parkway	2031	City covenant		12 @ 60% 23 @ 80%	200	16.42
Preserve at Creekside 1299 Antelope Creek Drive	2029	City covenant		34 @ 100%	336	19.1
Siena Apartments 2501 Hayden Pkwy	2064	LIHTC; City Low Mod Fund	78 @ 50%	77 @ 60%	156	22.5
Somerset Hill 3 Somer Ridge Drive	2024	CalHFA		25	124	
State Hotel Apartments 324 Lincoln Street	2058	City Low Mod Fund	15 @ 50%		15	15
Terraces at Highland Reserve Apartments 700 Gibson Drive	2032	City covenant		27 @ 80%	273	18.2



Venu at Galleria Apartments 301 Gibson Drive	2034	City covenant		26 @ 80%	258	20.12
Vineyard Gate Apartments 1601 Vineyard Road	2032	City covenant		5 @ 60% 9 @ 80%	280	19.35
<i>Subtotal of Multi-Family Units per Income Limit</i>			449	794		
<b>Total Number of Units per Income Limit</b>			<b>710</b>	<b>1,386</b>		

Source: City of Roseville, 2021; California Housing Partnership Preservation Database, 2021; State of California, Office of the Treasurer, List of (LIHTC) projects, 2021

Figure X-2 | Location of Affordable Housing Sites



**Table X-22| Inventory of At-Risk Units in the Ten-Year Period**

Year	Name of Project	Non-Elderly Units	Elderly Units	Total
2021	No Projects At risk	0	0	0
2022	No Projects At risk	0	0	0
2023	No Projects At risk	0	0	0
2024	Somersett Hill	25	0	25
2025	Colonial Village Apartments	56	0	56
2026	No Projects At risk	0	0	0
2027	No Projects At risk	0	0	0
2028	No Projects At risk	0	0	0
2029	Preserve at Creekside	34	0	34
2030	Manzanita Place	0	62	62
<b>Total</b>		<b>115</b>	<b>62</b>	<b>177</b>

Source: City of Roseville, 2021; California Housing Partnership Preservation Database, 2021; State of California, Office of the Treasurer, List of (LIHTC) projects, 2021

## Preservation Options

Preservation of the high-risk units can be achieved in several ways: 1) facilitate transfer of ownership, or purchase of similar units, of these projects to nonprofit organizations; 2) purchase of affordability covenants; 3) provide rental subsidies and 4) construction of new units. Preservation of the low-risk units often includes rehabilitation and renewal of rent subsidies.

### Transfer of Ownership

Long-term affordability of lower income units can be secured by transferring ownership of these projects to non-profit housing organizations. By doing so, these units would be eligible for a greater range of government assistance. In most situations, unless some form of mortgage assistance is available to the interested nonprofit organizations, rental income alone from the lower income tenants would not likely be adequate to cover the mortgage payment, and rental subsidy would be required.

### Purchase of Affordability Covenants

Another option to preserve the affordability of the at-risk project is to provide a financial assistance package to the owner to maintain the project as affordable housing. Assistance could include writing down the interest rate on the remaining loan balance (if funding source allows), providing a lump-sum payment, and/or supplementing the rents to market levels.

### Rent Subsidy

Project and tenant-based rent subsidies could be used to preserve the affordability of housing. In addition to Housing Choice Vouchers, the City through a variety of potential funding sources could provide a voucher to low-income households. The level of the subsidy required to preserve the at-risk affordable housing is estimated to equal the Fair Market Rent for a unit minus the housing cost affordable by a low-income household.



### Construction of Replacement Units

The construction of new low-income housing units is a means of replacing the at-risk units if they are converted to market-rate units. The cost of developing housing depends upon a variety of factors, including density, size of the units (i.e., square footage and number of bedrooms), location, land costs, and type of construction.

**Table X-23 | New Construction Replacement Cost Estimates**

Expiration Time Period	Number of Units	Costs
2021 – 2025	81	\$22,586,850
2026 - 2030	96	\$26,769,600

Note: Costs in 2021 dollars. Cost based on actual development cost per affordable unit in the City from four recent affordable developments. The cost of a unit ranges from \$198,525 to \$350,000 with the average cost per unit at \$278,850.

**Table X-24 | Investment Value of At-Risk Housing Units Estimates**

Expiration Time Period	Number of Units	Costs
2021 – 2025	81	\$14,587,290
2026 - 2030	96	\$17,288,640

Note: Cost in 2021 dollars. Investment value is estimated using the Gross Rent Multiplier Method (GRM) with the following assumptions. All units are 1 bedroom and have a median monthly market rent of \$1,450 (Table X-15). The GRM for Sacramento-Roseville-Arden Arcade is 10.35. Apartment Property Valuation data accessed 3/15/2021.

### Cost Comparison

The cost to build new housing to replace the 177 at-risk units has an estimated total cost of more than \$49,355,000. The cost of new construction is substantially higher than the estimated cost associated with purchase/ transfer of ownership which is \$31,875,000.

## PUBLIC AND PRIVATE NONPROFIT ENTITIES

Public and Private nonprofit entities serving Placer County, including Roseville, known to the City and Qualified Entities that have the legal and managerial capacity to acquire and manage these housing developments.

- ACLC, Inc.
- Affordable Housing Foundation
- Auburn Villa Tenant Association
- Christian Church Homes of Northern California
- Eskaton Properties, Inc.
- Pacific Housing, Inc.
- Project Go, Inc.
- ROEM Development Corporation
- Rural California Housing Corp
- Sacramento-Yolo Mutual Housing Association
- Volunteers of America National Services

## RESOURCES FOR PRESERVATION

The City has access to state, federal and local funding that can be used to preserve assisted housing developments. These programs include

### Community Development Block Grant (CDBG)

The CDBG Program is administered by HUD. Through this program, the federal government provides funding to jurisdictions to undertake community development and housing activities. The City's FY 2021-22 allocation is approximately \$730,000. A portion of these funds are frequently used to assist non-profit organizations that support affordable housing opportunities to low-income households.

### Home Investment Partnership Act (HOME)

The HOME program provides federal funds for the development and rehabilitation of affordable rental and ownership housing for lower income households (<80 percent of AMI). The program gives local governments the flexibility to fund a wide range of affordable housing activities through housing partnerships with private industry and non-profit organizations. The City, or a developer, can apply for HOME funds which can be used for activities that promote affordable rental housing and homeownership by low-income households: An example of the City's use of HOME funds includes assisting with 49 affordable elderly units in 2010.

### Permanent Local Housing Allocation (PLHA)

The PLHA program provides a permanent source of funding to all local governments in California to help cities and counties implement plans to increase the affordable housing stock. Funding amounts will vary from year to year based on annual revenues to the Building Homes and Jobs Trust Fund.

### Housing Choice Voucher Assistance (HCV)

The City administers the Roseville Housing Authority and manages the Housing Choice Voucher program, which extends rental subsidies to very-low income (up to 50 percent of AMI) family and seniors who spend more than 30 percent of their income on rent. The subsidy represents the difference between the excess of 30 percent of the monthly income and the actual rent.

### City of Roseville Affordable Housing Fund Program

The City holds in-lieu fees, in addition to loan payoffs from the Affordable Purchase Program. In Lieu fees totaling \$1,036,410 were collected between 2013 and 2021. These fees are part of the \$4.36M reservation of funds for the 80 affordable units project at Junction Crossing.



Junction Crossing is a 100% affordable, 80-unit apartment complex proposed by St. Anton, a non-profit housing entity. Slated for 120 Pacific Street in Old Town Roseville, this complex will house 20 studio apartments and 60 one-bedroom units. The project will have 55-year affordability covenants.



## Unit Conservation

Important components of the City's affordable housing strategy are programs aimed at maintaining and improving existing affordable housing stock. The following programs, in addition to the Housing Rehabilitation Program, will help conserve housing affordability.

- The City will continue the practice of using Affordable Rental Housing Agreements to secure the affordability of rental housing on a long-term basis. These agreements will maintain affordability for approximately 2,700 units during the eight-year planning period.
- The City will continue the practice of using Affordable Purchase Housing Agreements to create and secure the affordability of purchase housing for middle income buyers. These agreements will create and maintain affordability for approximately 45 units during the eight-year planning period
- The First Time Homebuyer Down Payment Assistance Program targeted to low-income households could assist up to 10 households during the eight-year planning period if the average cost of homes in Roseville decreases and the program receives future funding.
- The City's Housing Choice Voucher (HCV) Program administered by the Roseville Housing Authority (RHA) provides rental assistance to extremely and very low-income households through direct payments to the property owner. The Housing Authority currently has the 735 vouchers, which can conserve the availability of affordable housing.
- The City offers several energy-conservation programs which, by lowering the cost of utilities, can help to conserve affordability. These programs include energy audits, which provides suggestions for low- and no-cost practices and adjustments which can reduce energy usage; energy efficiency rebates for individuals who install energy efficient appliances and fixtures; and Roseville Electric offers a discount to residential customers whose income is very low or extremely low or for customers who have medical devices in their homes.
- Roseville Housing Authority's policy to allow Shared Housing to enable persons with disabilities to use their voucher in housing that is shared with non-related persons also helps to conserve affordable housing, by allowing more flexible use of the Housing Choice Voucher.

### Non-profit Entities

Non-profit entities serving Placer County, including Roseville, can be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion. A partial listing of entities with resources in the Placer County area includes:

- ACLC, Inc.
- Affordable Housing Foundation
- Auburn Villa Tenant Association
- Christian Church Homes of Northern California
- Eskaton Properties, Inc.
- Pacific Housing, Inc.
- ROEM Development Corporation
- Rural California Housing Corp
- Sacramento-Yolo Mutual Housing Association

## RESIDENTIAL LAND INVENTORY

### REGIONAL HOUSING NEEDS ALLOCATION

An important component of the Housing Element is the identification of sites for future housing development and an evaluation of the adequacy of these sites in fulfilling the City’s share of the RHNA, as determined by Sacramento Area Council of Governments (SACOG). The intent of the RHNA is to ensure that local jurisdictions address their fair share of the housing needs for the entire region. Additionally, a major goal of the RHNA is to assure that every community provides an opportunity for a mix of affordable housing to all economic segments of its population.

The 2021–2029 Regional Housing Needs Plan, adopted in March 2020 by SACOG, mandates Roseville’s share of the region’s housing needs for all income categories as 12,066 units. Table X-25 shows the Regional Housing Needs Allocation for the planning period from 2021 to 2029 for the City of Roseville.

**Table X-25 | Regional Housing Needs Allocation, 2021–2029**

Income Category	Regional Housing Needs Allocation	
	Number of Units	Percentage of Total Units
Extremely Low	1,927	16.0%
Very Low	1,928	16.0%
Low	2,323	19.2%
<b>Lower Income Total</b>	<b>6,178</b>	<b>51.2%</b>
Moderate	1,746	14.5%
Above Moderate	4,142	34.3%
<b>Total</b>	<b>12,066</b>	<b>100.0%</b>

Source: Sacramento Area Council of Governments, March 2020

Note: The RHNP allocates the City 3,855 units in the Very Low income category, which for the purposes of this table has been equally divided between Extremely Low and Very Low incomes.

**NOTE:** The formerly-named Benefits of the Specific Plan Process and Infill Development sections have been moved to follow the inventory below, and have been renamed Specific Plan Areas Realistic Capacity and Infill Development Realistic Capacity.

### AVAILABILITY OF LAND AND SITES INVENTORY

To demonstrate the City’s capacity to meet its RHNA, an adequate sites inventory was conducted. This section begins with a discussion of the relationship between density and affordability, along with an analysis to determine the minimum density appropriate for lower income units. This is followed by a summary of the City’s inventory and then a detailed inventory, including vacant land, underutilized land (i.e. land with redevelopment potential), and accessory dwelling units. The Housing Element is required to provide discussion and supporting evidence that the units in the inventory are achievable, also known as “realistic capacity.” Each inventory is followed by an analysis of realistic capacity.

#### Zoning and Density to Accommodate the Development of Housing Affordable to Lower-Income Households

An adequate sites inventory must identify the specific parcels of land where units meeting the City’s RHNA allocation can be accommodated, at specified levels of affordability. In general, while the affordability of future residential projects is unknown the density of a residential project tends to correlate with levels of affordability. That is, single family homes on large lots (low density residential) tend to be more expensive than apartments (high density residential). Consequently, density is used in inventories to estimate affordability levels.



In addition, housing element law specifically requires jurisdictions to provide a requisite analysis demonstrating that densities identified as adequate for lower-income households are sufficient to encourage such development. The law provides two options for preparing the analysis: (1) describe market demand and trends, financial feasibility, and recent development experience; (2) use default density standards deemed adequate to meet the appropriate zoning test. According to state law, the default density standard for a jurisdiction of the City of Roseville's size is 30 dwelling units per acre. The City has elected to provide an analysis, rather than rely on default density standards.

For the purposes of determining affordability, the City's inventory assumes that above-moderate income housing needs are fulfilled by Low Density Residential development (fewer than 7 units per acre), moderate income housing needs are fulfilled by Medium Density Residential development (7 to 12 units per acre) plus High Density Residential development of 13 to 22 units per acre, and lower income housing needs are fulfilled by High Density Residential development of 23 units per acre or greater plus Commercial Mixed Use development. Commercial Mixed Use (CMU) is where residential units are intermixed with commercial uses.

Typical mixed use developments in the City include either ground-floor retail with second and third floor apartments, or a small apartment building connected to or adjacent to retail. Typical density calculations do not apply in these instances, since the acreage is mixed between commercial and residential. However, in order to accommodate the allocated units plus commercial building area, the apartment sizes and designs are of necessity compact and correspond to apartments constructed at densities of 30 units to the acre and higher. While the City's CMU zone does not require construction of the allocated residential units, it is uncommon for these units to remain unbuilt, for financial reasons. There is a loss of potential revenue and in some Specific Plans there are implications for the financing plans when allocated units are simply unbuilt. An evaluation of the City's developed/built sites which had been vacant sites zoned to permit both residential and commercial uses (CMU, Village Center, etc) finds that 100% of these sites have been developed with the allocated units. As a current example, a prospective applicant is currently discussing building housing on vacant CMU sites KT-40A and B in the Sierra Vista Specific Plan; the application is expected by the end of summer. The housing is anticipated to be market rate, so these sites have been included in the moderate income category of the City's inventory. In fact, the analysis found that the land use trend during the last housing cycle—a trend which is continuing—is for applicants to apply to rezone commercial property to residential uses.

As a result of Roseville's Affordable Housing Goal, units affordable to low-income households have been produced on parcels with densities lower than 20 units per acre. For example, North Roseville Specific Plan Parcels WN-4 and WN-5 (medium-density residential parcels with densities of less than 9 units per acre) included a combined affordable housing goal of 43 units. The solution resulted in halfplex developments on corner lots. The halfplexes were priced at rates affordable to low-income households using private financing. In another example, tax credits used for Northwest Roseville Specific Plan Parcel 91 allowed affordable units to be developed at 15 units per acre. The project resulted in 80 rental units, 32 of which are affordable to low-income households (60% of median). The remainder is affordable to households of moderate income (80% to 120% of median). These projects demonstrate that an effective affordable housing program can produce affordable units on project sites with densities less than 20 units per acre. The full list of all multi-family affordable housing developments can be found in Table X-21, while Table X-26 lists the multi-family affordable housing developments in the City at less than 25 units per acre.

In addition, the City contacted local affordable housing developers to receive input on appropriate densities for the production of affordable housing. The City received feedback from The Grupe Company, Mutual Housing, and Mercy Housing. Based on those conversations, it was determined that densities of 20–25 units per acre are appropriate for development of affordable housing. Mercy Housing stated that the push toward a minimum density of 30 dwelling units per acre has proven problematic, while The Grupe Company specifically stated that it would be helpful to have more land zoned for the 20–25 dwelling unit range, particularly in infill areas of the community. Most critically, Mutual Housing pointed out that at 20–25 units per acre State Density Bonus Law enables a project to increase density by 80%, up to 36–40 units per acre. Therefore, a land use density of 20–25 units per acre already provides flexibility for a range of 20–40 dwelling units per acre. For this reason, Mutual Housing indicated that—provided a site allows at least 20 units per acre—the more critical rule of thumb is the total number of units which can be realized. They indicated that their projects must be no less than 60 units, and preferably at least 100 units, in order to be financially feasible; the higher the total units, the more development and operating cost efficiencies are realized and the project's viability is increased.

The City also received feedback on what is needed from a jurisdiction in order to make an affordable project work. Mutual Housing expressed that a key issue is the need for localities to provide a local contribution in order to qualify for State and Federal affordable housing financing programs, which are essential for all affordable housing developments. Mutual Housing specifically stated that “without a local contribution, increasing allowed density will not result in new affordable housing development.” Therefore, gap financing is more critical to the success of affordable housing production than increasing minimum densities.

In examining current market conditions, the City has seen the completion of multiple apartment developments within the past several years, including Harvest at Fiddymont Ranch (market-rate), Campus Oaks Apartments Phase I and Campus Oaks Apartments Phase II, Lohse Apartments, and Main Street Apartments. The market-rate complex offers 1–3 bedrooms with high-end finishing and amenities, and advertised rents range from \$1,700 to \$2,400/month; this development is located within the West Roseville Specific Plan. All of the other listed developments provide affordable rents from 30 percent to 60 percent of median income, and are located in the City’s Downtown Specific Plan and Campus Oaks Master Plan (North Industrial Planning Area).

Based on the above information, taking into account conversations with affordable housing developers, and looking at what has been built in the community in the past eight-year cycle, the City of Roseville strongly believes it is appropriate to rely on parcels of 20 units per acre or greater to meet a portion of lower-income RHNA. However, as previously stated the City is relying on sites of 23 units per acre or greater, as discussed in the Sites Inventory section below.

**Table X-26 | Affordable Housing Developments, Less Than 22 Units Per Acre**

Apartment Complex	Affordability Expires	Very Low Income	Low Income	Total Units	Du/Acre
Campus Oaks Apartments Phase I 500 Roseville Parkway	7/2074	42 @ 50%		186	20.4
Campus Oaks Apartments Phase II 350 Roseville Parkway		45 @ 50%		210	23.6
Colonial Village Apartments 3881 Eureka Road	2/2025		6 @ 60%	56	12.87
Crocker Oaks Apartments 8000 Painted Desert Way	11/2042	14 @ 50%	38 @ 60%. 66 @ 80%	131	21
Haverhill at Highland Reserve Apartments 701 Gibson Drive	4/2032		20 @ 80%	321	15.3
Heritage Park Apartments 1098 Woodcreek Oaks Blvd.	9/2047	65 @ 50%	263 @ 60%	328	19.4
Highland Creek Apartments 800 Gibson Drive	1/2043	55 @ 50%	129 @ 60%	184	21.5
The Oaks at Woodcreek Apartments 1550 Pleasant Grove Blvd.	9/2031		13 @ 60%	80	14.81
Pearl Creek 1298 Antelope Creek Drive	12/2043	9 @ 50%	14 @ 80%	224	19.1
Pinnacle at Galleria Apartments 1100 Roseville Parkway	9/2031		12 @ 60% 23 @ 80%	200	16.42
Preserve at Creekside 1299 Antelope Creek Drive	4/2028		34 @ 100%	336	19.1

Source: City of Roseville



## Sites Inventory

Table X-27 compares the City of Roseville's RHNA to the undeveloped land capacity. The City currently has capacity for 1,166 units at 30 dwelling units per acre or more, meeting 19% of the lower-income RHNA on these sites. A further 1,961 units of lower-income capacity will be met on ten sites zoned to allow 25 to 29 dwelling units per acre (32% of the lower-income RHNA), and 705 units of lower-income capacity will be met on five sites zoned to allow 23–24 units per acre (11% of the lower-income RHNA). Table X-28 displays the City's existing land capacity by land use acreage and Table X-29 displays the City's inventory by Plan Area.

The lower-income vacant land total includes all sites with a deed-restricted affordable housing obligation, regardless of the site density. Parcels with a recorded affordable housing obligation include footnotes in Table X-27, below, noting the amount and affordability level of the obligation. Including vacant land, underutilized opportunity sites (in the Downtown and Riverside Gateway Specific Plans), and accessory dwelling units, the City has a slight surplus of above-moderate unit capacity, a significant surplus of moderate income unit capacity, and a 1,791-unit shortfall of lower income unit capacity. The City's plan to address this shortfall is addressed in Housing Element Program 14 (Rezone Program) and within Appendix E.

**Table X-27 | Comparison of Regional Housing Need and Existing Residential Unit Capacity**

Income Category	Regional Housing Needs Allocation	Vacant Land	Underutilized Opportunity Sites	Accessory Dwelling Units	Housing Unit Surplus or Deficit <sup>4</sup>
Very Low <sup>1</sup>	3,855	3,985	357	45	<b>-1,791</b>
Low <sup>1</sup>	2,323				
Moderate <sup>2</sup>	1,746	4,676	42	34	<b>3,006</b>
Above Moderate <sup>3</sup>	4,142	4,644	0	1	<b>503</b>
<b>Total</b>	<b>12,066</b>	<b>13,305</b>	<b>399</b>	<b>80</b>	<b>1,718</b>

Source: Sacramento Area Council of Governments; City of Roseville 2021

<sup>1</sup> Capacity based on sites with a density of 23 du/acre or greater and/or a lower income affordable housing obligation

<sup>2</sup> Capacity based on sites with a density of 7–22.9 du/acre

<sup>3</sup> Capacity based on sites with a density of less than 7 du/acre

<sup>4</sup> This number is derived from the current existing housing unit capacity minus the regional housing need number for the planning period.

**Table X-28 | Summary of Vacant Residential Land by Land Use Density**

Land Use Category	Density (units/acre)	Undeveloped Acres	Undeveloped Units	% of Total Units
Low Density Residential (LDR)	0.5 to 6.9	870	4,617	34%
Medium Density Residential (MDR)	7.0 to 12.9	351	3,017	22%
High Density Residential (HDR)	13.0 and above	214	5,283	39%
Mixed Use (CC)	--	44	598	4%
<b>TOTAL</b>		<b>1,502</b>	<b>13,796</b>	<b>100%</b>

**Table X-29 | Summary of All Residential Land Inventory by Plan Area**

Plan Area	Undeveloped Acres					Undeveloped Units				
	LDR	MDR	HDR	Mixed Use	Total	LDR	MDR	HDR	Mixed Use	Total
ARSP	240	49	38	27	354	1,252	542	873	159	2,826
CSP	155	39	13	0	208	791	520	420	0	1,731
DTSP	0	0	0	5	5	0	0	0	257	257
NCRSP	0	0	20	0	20	0	0	322	0	322
NIPA	25	15	0	0	40	121	113	0	0	234
NRSP	0	0	8	0	8	0	0	98	0	98
RSG	0	0	0	6	6	0	0	0	142	142
SVSP	329	216	92	6	642	1,674	1,465	2,337	40	5,516
WRSP	113	26	38	0	178	731	307	1,136	0	2,174
INFILL	9	6	4	0	19	48	70	97	0	215
<b>Total</b>	<b>870</b>	<b>351</b>	<b>214</b>	<b>44</b>	<b>1479</b>	<b>4,617</b>	<b>3,017</b>	<b>5,283</b>	<b>598</b>	<b>13,515</b>

Note: Several of the City's Specific Plans are not included in this list, because they are fully developed and have no further undeveloped land.

### UNDEVELOPED RESIDENTIAL LAND INVENTORY

The following section includes an inventory of all undeveloped residential land in the City based on the City's Specific Plan parcels. Table X-30 displays the City's Specific Plan parcel number, the land use and zoning designation, the land use density, the number of undeveloped units allocated to the parcel, and the income category the units satisfy. Because the City comprehensively plans for development as part of its Specific Plan process, sufficient public services and facilities exist or are planned and fully funded to serve the parcels listed. The final column indicates whether any of the vacant sites were included within the past two Housing Element inventories (the 2008 and 2013 Housing Elements). Footnotes are included for those sites with a recorded affordable housing obligation, describing the breakdown of units by affordability. Appendix E includes maps of all inventory sites and a map of all undeveloped sites in the City with a land use designation of at least 23 units per acre. A more detailed inventory based on Assessor's Parcel Number is included as Appendix C of this Housing Element.

**Table X-30 | Specific Plan and Infill Sites Inventory, (A through H)**

A. Amoruso Ranch Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
Above Moderate Income							
AR-1	LDR	R1	20.2	68	3.4	68	N
AR-2	LDR	R1	24.7	97	3.9	97	N
AR-3	LDR	R1	27.3	80	2.9	80	N
AR-4	LDR	RS	7.3	41	5.6	41	N
AR-5	LDR	RS	2.8	17	6.1	17	N
AR-6	LDR	RS	5	34	6.8	34	N



AR-7	LDR	RS	3.1	18	5.8	18	N
AR-8	LDR	RS	8.4	52	6.2	52	N
AR-9	LDR	RS	6.3	40	6.3	40	N
AR-11	LDR	RS	8.4	55	6.5	55	N
AR-12	LDR	RS	3.4	21	6.2	21	N
AR-13	LDR	RS	6.1	40	6.6	40	N
AR-14	LDR	RS	7.1	45	6.3	45	N
AR-15	LDR	RS	7.4	45	6.1	45	N
AR-16	LDR	RS	6.6	43	6.5	43	N
AR-17	LDR	RS	3.6	24	6.7	24	N
AR-18	LDR	RS	5.1	31	6.1	31	N
AR-21	LDR	RS	2.4	13	5.4	13	N
AR-22	LDR	RS	4.4	28	6.4	28	N
AR-23	LDR	RS	2.8	19	6.8	19	N
AR-24	LDR	RS	2.5	13	5.2	13	N
AR-25	LDR	RS	4.7	28	6	28	N
AR-26	LDR	RS	9.7	55	5.7	55	N
AR-27	LDR	RS	2.4	15	6.3	15	N
AR-30	LDR	RS	3.2	23	7.2	23	N
AR-31	LDR	RS	4.5	27	6	27	N
AR-32	LDR	RS	7.6	50	6.6	50	N
AR-34	LDR	RS	3.7	19	5.1	19	N
AR-35	LDR	RS	4.8	24	5	24	N
AR-37	LDR	RS	5.1	25	4.9	25	N
AR-40	LDR	RS	14.4	71	4.9	71	N
AR-43	LDR	RS	12.1	78	6.4	78	N
AR-46	LDR	RS	2.4	13	5.4	13	N
<b>Above Moderate Income Subtotal</b>			<b>239.5</b>	<b>1,252</b>		<b>1,252</b>	
<b>Moderate Income</b>							
AR-10	MDR	RS	10.5	138	13.1	138	N
AR-28	MDR	RS	10.2	129	12.6	129	N
AR-33	MDR	RS	5.3	61	11.5	61	N
AR-39	MDR	RS	7.8	54	6.9	54	N
AR-42	MDR	RS	7.5	66	8.8	66	N
AR-45	MDR	RS	8	94	11.8	94	N
AR-36	HDR	R3	7.5	113	15.1	113	N
<b>Moderate Income Subtotal</b>			<b>56.8</b>	<b>655</b>		<b>655</b>	
<b>Lower Income</b>							

AR-19 <sup>a</sup>	HDR	R3	9.3	230	24.7	230	N
AR-38	HDR	R3	15.1	380	25.2	380	N
AR-44 <sup>b</sup>	HDR	R3	5.9	150	25.4	150	N
<b>HDR Subtotal</b>			<b>30.3</b>	<b>760</b>		<b>760</b>	
AR-51	CC-VC	CMU-SA	14.3	91	--	91	N
AR-52	CC-VC	CMU-SA	13	68	--	68	N
<b>Mixed Use Subtotal</b>			<b>27.3</b>	<b>159</b>		<b>159</b>	
<b>Lower Income Subtotal</b>			<b>57.6</b>	<b>919</b>		<b>919</b>	
<b>Total</b>			<b>353.9</b>	<b>2,826</b>		<b>2,826</b>	

- a. AR-19 includes an affordable housing obligation of 68 very low and 102 low income units.  
 b. AR-44 includes an affordable housing obligation of 45 very low and 68 low income units

B. Creekview Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
C-1	LDR	R1/DS	19.6	94	4.8	94	N
C-2	LDR	R1/DS	10.1	52	5.1	52	N
C-3	LDR	R1/DS	14	67	4.8	67	N
C-4	LDR	R1/DS	9.7	51	5.3	51	N
C-5	LDR	R1/DS	13.6	74	5.4	74	N
C-6	LDR	R1/DS	7.9	48	6.1	48	N
C-7	LDR	R1/DS	13.9	74	5.3	74	N
C-8	LDR	R1/DS	5.6	32	5.7	32	N
C-9	LDR	R1/DS	22.1	97	4.4	97	N
C-12	LDR	R1/DS	18.7	95	5.1	95	N
C-16	LDR	R1/DS	12.9	71	5.5	71	N
C-17	LDR	R1/DS	6.9	36	5.2	36	N
<b>Above Moderate Subtotal</b>			<b>155</b>	<b>791</b>		<b>791</b>	
<b>Moderate Income</b>							
C-20	MDR	RS/DS	8.7	106	12.2	106	N
C-21	MDR	RS/DS	7.7	95	12.3	95	N
C-22	MDR	RS/DS	11.3	130	11.5	130	N
C-25	MDR	RS/DS	7.2	62	8.6	62	N
C-41 <sup>c</sup>	HDR	R3	4.3	127	29.5	127	N
<b>Moderate Subtotal</b>			<b>39.2</b>	<b>520</b>		<b>520</b>	
<b>Lower Income</b>							
C-40	HDR	R3	5.2	168	32.3	168	N
C-42 <sup>a</sup>	HDR	R3	4.3	136	31.6	136	N



C-43 <sup>b</sup>	HDR	R3	3.9	116	29.7	116	N
<b>Lower Subtotal</b>			<b>13.4</b>	<b>420</b>		<b>420</b>	
<b>Total</b>			<b>207.6</b>	<b>1,731</b>		<b>1,731</b>	

a. C-42 includes an affordable housing obligation of 60 very low and 60 low income units.

b. C-43 includes an affordable housing obligation of 41 very low and 40 low income units.

c. C-41 has a developer who has expressed interest. An application for market rate apartments is anticipated in summer 2021.

C. North Central Roseville Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Moderate Income</b>							
44	HDR	R3/DS/SA-NC	9.6	201 <sup>a</sup>	19	201	Y
	HDR	R3/DS/SA-NC	10.8	121 <sup>b</sup>	19	121	Y
<b>Moderate Total</b>			<b>20.4</b>	<b>322</b>		<b>322</b>	

a. Entitlements for age-restricted apartments which include 20 deed-restricted affordable units are approved on this site.

b. Entitlements for an assisted-living facility are approved on this site.

D. North Industrial Planning Area							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
CO-2	LDR	RS/DS	8.5	59	6.1	59	N
CO-3	LDR	R1/DS	16.6	62	3.8	62	N
CO-12	MDR	RS/DS	4.1	42	6.8	27	N
<b>Above Moderate Subtotal</b>			<b>29.2</b>	<b>163</b>		<b>148</b>	
<b>Moderate Income</b>							
CO-6	MDR	RS/DS	10.7	86	8.3	86	N
<b>Moderate Subtotal</b>			<b>10.7</b>	<b>86</b>		<b>86</b>	
<b>Total</b>			<b>39.9</b>	<b>249</b>		<b>234</b>	

E. North Roseville Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Moderate Income</b>							
WW-17 <sup>a</sup>	HDR	R3/SA-NR	7.5	147	19.9	98	Y
<b>Lower Total</b>			<b>7.5</b>	<b>147</b>		<b>98</b>	

a. Entitlements for age-restricted apartments with 49 low income and 49 very low income deed-restricted affordable units are approved on this site.

F. Sierra Vista Specific Plan							
Parcel Number	Land Use	Zoning	Acres	Allocated Units	Density	Undeveloped Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
CG-1	LDR	RS/DS	23.9	115	4.8	115	N
CO-1	LDR	RS/DS	17.2	86	5	86	N
CO-2A	LDR	RS/DS	14.3	71	5	71	N
CO-2B	LDR	RS/DS	14.6	73	5	73	N
CO-3	LDR	RS/DS	15.7	78	5	78	N
DF-1	LDR	RS/DS	19.9	100	5	100	N
DF-2	LDR	RS/DS	3.2	15	4.7	15	N
FD-1	LDR	RS/DS	18.6	74	4	74	N
FD-2	LDR	RS/DS	17.1	97	5.7	97	N
FD-5	LDR	RS/DS	17.4	90	5.2	90	N
FD-6	LDR	RS/DS	14.5	95	6.6	95	N
FD-7	LDR	RS/DS	9	57	6.3	57	N
FD-8A	LDR	RS/DS	16.5	75	4.5	75	N
FD-8B	LDR	RS/DS	19	81	4.3	81	N
FD-9	LDR	RS/DS	19.2	107	5.6	107	N
FD-10	LDR	RS/DS	20.5	143	7	143	N
JM-21	LDR	RS/DS	18.5	80	5.1	80	N
KT-1A	LDR	RS/DS	14.4	60	4.2	60	N
KT-1B	LDR	RS/DS	19.6	95	4.8	95	N
KT-4	LDR	RS/DS	15.9	82	5.2	82	N
<b>Above Moderate Subtotal</b>			<b>329</b>	<b>1,674</b>		<b>1,674</b>	
<b>Moderate Income</b>							
CG-20 <sup>a</sup>	MDR	RS/DS	5.3	44	8.3	44	N
CO-20 <sup>b</sup>	MDR	RS/DS	9.4	84	8.9	84	N
CO-21	MDR	RS/DS	7.8	62	7.9	62	N
CO-22	MDR	RS/DS	4.8	38	7.9	38	N
DF-20 <sup>c</sup>	MDR	RS/DS	14.5	97	7.9	97	N
FD-20B	MDR	RS/DS	11.6	88	7.6	88	N
FD-21	MDR	RS/DS	24.4	187	7.7	187	N
FD-23	MDR	RS/DS	17.7	127	7.2	127	N
FD-24	MDR	RS/DS	10.7	84	7.9	84	N
FD-32 <sup>d</sup>	HDR	R3	8.7	178	20.5	178	N
FD-33	HDR	R3	8.6	172	20	172	N



JM-1	MDR	RS/DS	17.2	135	7.8	135	N
JM-20	MDR	RS/DS	39.7	322	8.1	90	N
JM-30 <sup>e</sup>	HDR	R3	7.5	30	23.5	30	N
JM-40	MDR	RS/DS	4.6	35	7.6	35	N
KT-20 <sup>f</sup>	MDR	RS/DS	24.6	167	6.8	167	N
KT-40A <sup>l</sup>	CMU	CMU/SA	5.3	46	--	46	N
KT-40B <sup>l</sup>	CMU	CMU/SA	18.1	163	--	163	N
<b>Moderate Subtotal</b>			<b>240.5</b>	<b>2,067</b>		<b>1,827</b>	
<b>Lower Income</b>							
CG-30	HDR	R3	14.0	420	30	420	N
CG-31 <sup>g</sup>	HDR	R3	14.5	420	29	420	N
FD-34 <sup>h</sup>	HDR	R3	7.0	172	24.6	172	N
KT-30 <sup>i</sup>	HDR	R3	7.4	171	23.1	171	N
WB-30 <sup>j</sup>	HDR	R3	8.1	237	29.3	237	N
DF-20 <sup>c</sup>	MDR	RS/DS	14.5	18	7.9	18	N
JM-30 <sup>d</sup>	HDR	R3	7.5	146	23.5	146	N
WB-31	HDR	R3	11.1	263	23.7	263	N
WB-32 <sup>k</sup>	HDR	R3	5.1	128	25.1	128	N
<b>HDR Subtotal</b>			<b>89.2</b>	<b>1,975</b>		<b>1,975</b>	
FD-41	CMU	CMU/SA	5.7	40	--	40	N
<b>Mixed Use Subtotal</b>			<b>5.7</b>	<b>40</b>		<b>40</b>	
<b>Lower Subtotal</b>			<b>94.9</b>	<b>2,007</b>		<b>2,015</b>	
<b>Total</b>			<b>642.4</b>	<b>5,748</b>		<b>5,516</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

- a. CG-20 includes an affordable housing obligation of 20 moderate income units
- b. CO-20 includes an affordable housing obligation of 34 moderate income units
- c. DF-20 includes an affordable housing obligation of 5 moderate income units
- d. FD-32 includes an affordable housing obligation of 43 moderate income units
- e. JM-30 includes an affordable housing obligation of 73 very low and 73 low income units
- f. KT-20 includes an affordable housing obligation of 31 moderate income units
- g. CG-31 includes an affordable housing obligation of 40 very low and 40 low income units
- h. FD-34 includes an affordable housing obligation of 86 very low and 86 low income units
- i. KT-30 includes an affordable housing obligation of 62 very low and 62 low income units
- j. WB-30 includes an affordable housing obligation of 68 very low and 169 low income units
- k. WB-32 includes an affordable housing obligation of 36 very low and 92 low income units
- l. KT-40a and b have a developer who has expressed interest. Application for market rate apartments anticipated in summer 2021.

<b>G. West Roseville Specific Plan</b>							
<b>Parcel Number</b>	<b>Land Use</b>	<b>Zoning</b>	<b>Acres</b>	<b>Allocated Units</b>	<b>Density</b>	<b>Undeveloped Units</b>	<b>Previous Inventory Y/N</b>
<b>Above Moderate Income</b>							
F-6A	LDR	RS/DS	32.4	179	5.5	179	Y
F-10B	LDR	RS/DS	21.9	115	5.3	67	Y

F-10C	LDR	RS/DS	19.9	80	4	43	Y
F-21 <sup>f</sup>	HDR	R3	14.5	343	23.7	343	Y
F-55A	LDR	RS/DS	24.3	99	4.1	99	Y
<b>Above Moderate Subtotal</b>			<b>113</b>	<b>816</b>		<b>731</b>	
<b>Moderate Income</b>							
F-6B <sup>a</sup>	HDR	R3	8.4	195	23.2	63	Y
F-6C	MDR	RS/DS	26.3	307	11.7	307	Y
F-8A <sup>b</sup>	HDR	R3	11.7	277	23.7	277	Y
F-25 <sup>e</sup>	HDR	R3	5.5	137	24.9	95	Y
F-26 <sup>e</sup>	HDR	R3	5.6	140	25	94	Y
W-16	HDR	R3	12.2	250	20.5	250	Y
W-27 <sup>c</sup>	HDR/VC	R3/DS	7.9	20	21.5	20	Y
<b>Moderate Subtotal</b>			<b>77.6</b>	<b>1,326</b>		<b>1,106</b>	
<b>Lower Income</b>							
F-6B <sup>a</sup>	HDR	R3	8.4	195	23.2	132	Y
F-22 <sup>d</sup>	HDR	R3	9.8	244	24.9	244	Y
W-27 <sup>c</sup>	HDR/VC	R3/DS	7.9	150	21.5	150	Y
<b>Lower Subtotal</b>			<b>26.1</b>	<b>589</b>		<b>526</b>	
<b>Total</b>			<b>188.7</b>	<b>2,731</b>		<b>2,363</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

- a. F-6B includes an affordable housing obligation of 66 very low and 66 low, and 63 moderate income units.
- b. F-8A includes an affordable housing obligation of 54 moderate income units.
- c. W-27 includes an affordable housing obligation of 89 very low and 61 low income units, leaving 20 market-rate units.
- d. F-22 includes an affordable housing obligation of 91 very low and 93 low income units.
- e. F-25 & F-26 have an application in for apartments (2, 3, and 4 bedroom units) with rents up to \$2,500.
- f. F-21 has an application in progress for high-end apartments. Rents expected to exceed \$2,500.

H. Infill Plan Area							
Parcel Number	APN	Land Use	Zoning	Net Acres	Density	Potential Units	Previous Inventory Y/N
<b>Above Moderate Income</b>							
IN-7	015-360-026-000	LDR	R1	0.32	3.1	1	N
IN-9	011-172-007-000	LDR	R2	0.12	6.4	1	N
IN-9	011-181-006-000	LDR	R2	0.17	6.4	2	Y
IN-9	011-182-010-000	LDR	R2	0.17	6.4	2	N
IN-13	015-080-001-000	LDR	R1	0.76	4	3	N
IN-13	015-080-045-000	LDR	R1	0.26	4	1	N
IN-13	015-080-019-000	LDR	R1	0.16	4	1	Y
IN-18	012-134-031-000	LDR	R2	0.15	6.8	1	N
IN-18	012-144-005-000	LDR	R3	0.14	6.8	1	N



IN-18	012-162-009-000	LDR	R3	0.15	6.8	1	N
IN-18	012-172-020-000	LDR	R3	0.14	6.8	1	N
IN-18	012-185-029-000	LDR	R3	0.14	6.8	1	N
IN-18	012-142-018-000	LDR	R3	0.14	6.8	1	N
IN-18	012-132-047-000	LDR	R2	0.15	6.8	1	N
IN-30	014-252-003-000	LDR	R1	0.17	5	1	Y
IN-34	013-053-015-000	LDR	R3	0.54	5.7	3	N
IN-35	013-022-033-000	LDR	R1	0.12	4.4	1	Y
IN-35	013-022-047-000	LDR	R3	0.70	4.4	3	N
IN-35	013-024-023-000	LDR	R1	0.17	4.4	1	Y
IN-37	014-113-060-000	LDR	R1	0.15	4	1	Y
IN-37	014-130-008-000	LDR	R1	0.57	4	2	N
IN-38	014-263-042-000	LDR	R1	0.32	5.3	1	N
IN-38	014-263-045-000	LDR	R1	0.23	5.3	1	Y
IN-39	472-210-033-000	LDR	R1	0.23	4.1	1	N
IN-46	471-190-046-000	LDR	PD326	1.10	3.9	1	N
IN-54	470-050-008-000	LDR	R1	0.17	3.7	1	Y
IN-61	469-110-031-000	LDR	R1	0.51	3.5	2	Y
IN-86B	469-100-013-000	LDR	R3	1.18	10	12	Y
<b>Above Moderate Subtotal</b>				<b>8.86</b>		<b>48</b>	
<b>Moderate Income</b>							
IN-87	469-280-009-000	MDR	NC	0.29	8	2	Y
IN-98	013-012-002-000	MDR	GC	0.19	8.1	1	N
IN-102	011-250-007-000	MDR	R1	0.67	14.3	10	Y
IN-108	014-051-017-000	MDR	R3	0.16	11.1	3	Y
IN-108	014-062-018-000	MDR	R3	1.07	11.1	11	Y
IN-115	472-370-013-000	MDR	PD66	0.05	7.8	1	N
IN-115	472-370-014-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-015-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-016-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-017-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-018-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-019-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-020-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-021-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-022-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-023-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-024-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-025-000	MDR	PD66	0.04	7.8	1	N

IN-115	472-370-026-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-027-000	MDR	PD66	0.06	7.8	1	N
IN-115	472-370-028-000	MDR	PD66	0.05	7.8	1	N
IN-115	472-370-029-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-030-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-031-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-032-000	MDR	PD66	0.07	7.8	1	N
IN-115	472-370-033-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-034-000	MDR	PD66	0.04	7.8	1	N
IN-115	472-370-035-000	MDR	PD66	0.05	7.8	1	N
IN-118 <sup>a</sup>	048-350-015-000	MDR	RS/DS	0.51	8	5	N
	048-350-016-000	MDR	RS/DS	0.48	8	5	N
	048-350-018-000	MDR	RS/DS	1.07	8	5	N
	048-350-021-000	MDR	RS/DS	0.40	8	5	N
IN-148 <sup>b</sup>	048-260-048-000	HDR	R3	3.36	22.4	70	N
IN-149 <sup>c</sup>	013-192-036-000	HDR	R3	0.89	24.4	20	N
<b>Moderate Subtotal</b>				<b>10.20</b>		<b>160</b>	
<b>Lower Income</b>							
IN-148 <sup>b</sup>	048-260-048-000	HDR	R3	3.36	22.4	5	N
IN-149 <sup>c</sup>	013-192-036-000	HDR	R3	0.89	24.4	2	N
<b>Lower Income Subtotal</b>				<b>4.25</b>		<b>7</b>	
<b>Total</b>				<b>19.06</b>		<b>215</b>	

NOTE: Some lots have both moderate income and lower income units, and appear twice in this table. Therefore, the acreage subtotals include double-counting. The total acreage has been adjusted to reflect the actual total, without double-counting.

a. Entitlements for a 20-unit duplex project approved. Two units are reserved for lower income, while remainder will be moderate.

b. Entitlements for senior apartment complex approved. Five units are reserved for lower income, while remainder will be moderate.

c. Entitlements for townhome project approved on the site. Two units are reserved for lower income, while remainder will be moderate.

## Specific Plan Areas Realistic Capacity

The City's specific plan process provides certainty for the City and landowners by vesting all land uses approved with the specific plan through development agreements. The City has used Specific Plans to establish new growth areas since the 1980s, and as a consequence the majority of the City is within a Specific Plan. This approach assists the development of adequate housing by assigning housing unit allocations to appropriately-designated large lot parcels. Pursuant to state law, development agreements are recorded against individual properties, and outline the legal rights and responsibilities of the City and the landowner regarding land use designations and entitlements. This approach ultimately encourages and facilitates the creation of affordable housing, especially higher-density housing, which is necessary to provide for very low- and low-income housing opportunities in the city.

The City continually strives to make the best land use decisions and implement policies that efficiently use remaining developable land. To ensure the adequate provision and efficient use of facilities, services, and infrastructure, all specific plan areas within the City specify residential densities not as a range, but at a specific density (e.g. High Density Residential 25.0) and unit allocation (e.g. 150 units). This allows the Specific Plan process to identify the precise number of affordable housing units required to ensure compliance with the City's 10% affordable housing goal. The affordable housing section of the City's Specific Plans identify the large lots where affordable units (at specific levels of



affordability) must be accommodated within the planning area. This comprehensive approach also allows the City to ensure that the units are located on sites scattered throughout the planning area.

As a result of the detailed land use planning of the Specific Plan, the planning for circulation systems (including provisions for public transit), adequate infrastructure and capacity for water and wastewater facilities, utilities, drainage and flood control, and all other essential public facilities and services thoroughly covers all future facility and service needs. The same is true of the California Environmental Quality Act (CEQA) process, and the end result is the ability of projects consistent with the Specific Plan to develop without the need for additional studies or environmental review; without incurring unexpected infrastructure or service costs; and with the assurance that there is sufficient water, sewer, electrical and other service supplies to support development. This ensures that the projects not only are implemented but are able to build out in a timely manner. The City has capacity for full buildout of the adopted General Plan and the City's RHNA. The City's detailed planning process ensures new housing developments have timely access to water, sewer, power, and other utilities; construction of housing is not delayed or prohibited due to utility capacity constraints.

Community Facilities District ("Mello-Roos") financing provides a stable source of funding for construction and perpetual maintenance of public infrastructure in the specific plan area. Ultimately, the housing units allocated to individual large-lot parcels through the specific plan and development agreement process are used to calculate the financing necessary to adequately fund all required infrastructure. The specific plan and development agreement process ultimately provides certainty for the development community by reducing the long-term entitlement risk associated with residential development.

Residential projects consistent with the Specific Plan only require a Tentative Subdivision Map to establish the small-lot pattern which will supersede the large lot, and/or Design Review for compact residential housing (i.e. Medium Density Residential) and multiple-family development. Each Specific Plan also acknowledges that the plan is long-range, and property owners may need to make minor modifications to land uses based on changing market conditions; these can be approved at a staff level. Minor modifications include the transfer of unit allocations from one large lot to another or shifting large lot boundaries, provided the affected large lot allocations are not changed by more than 20% (cumulatively) and the land use designation does not change. The ability to allow minor modifications provides a needed level of flexibility. Modifications which are not minor require a Specific Plan Amendment.

The exact capacity and allowable density of Specific Plan sites in the City's existing sites inventory has already been determined through the specific plan process. Although the City's inventory includes High Density Residential sites greater than 10 acres, these sites have been deliberately sized larger as a direct consequence of the City's more detailed planning, for site-specific reasons. For example, large lot Parcel F-8A in the West Roseville Specific Plan is 11.7 acres and includes a lengthy frontage on an arterial roadway (the under-construction North Hayden Parkway) as well as adjacency to designated Open Space. Frontage improvements for the arterial roadway will include a deep landscape buffer and the interface with Open Space will also require a deep buffer. Therefore, this site's size is based on a need to ensure the site has room for these improvements while still providing capacity for the allocated units. The City also has a track record of developing sites of greater than 10 acres. Examples include large lot Parcel F-24, also in the West Roseville Specific Plan, which is 11.98 acres. Development of the site with its allocated 300 units at a density of 25 units per acre is nearly complete. A list of sites in excess of 10 acres and a reasoning for their size is included below.

- AR-38 is 15.1 acres because it has frontage on the future Placer Parkway and because it shares a significant portion of boundary with a 23-acre commercial site. Placer Parkway is a major regional transportation facility and will require deep landscape buffering and other site accommodations. The shared boundary with the commercial site brings many opportunities to orient and integrate the High Density Residential site with the future commercial center, but this will also require consideration of landscaping, pathways, and public or common amenities between the two areas, which will require land to accommodate.
- CG-30 and CG-31 are 14 acres and 14.5 acres, respectively, and are sized larger because they are part of the Village Node within the Sierra Vista Specific Plan. The Village Node is a planned higher-density residential district anchored by a commercial mixed-use core that creates a central gathering place for residents. These sites have

been deliberately sized and located to activate this central area and provide space on the sites for common amenities, paseos, and activated streetscapes.

- WB-31 is 11.1 acres and is part of a higher density node across from a commercial site with a planned transit hub for Bus Rapid Transit. A signalized intersection is planned at the intersection of Daylight Drive, Pleasant Grove Boulevard, and the High Density site entrance, so extra land area is needed to accommodate the signal improvements.

The City conferred with affordable housing developers on the feasibility of affordable housing construction on sites greater than 10 acres. It has typically been difficult to develop these sites because of funding limitations. The rents that lower income households pay are often too low to cover the costs of owning and maintaining a rental property. This difference between the funding needed to develop and operate a property and the revenue available is called a funding gap. The so-called “gap funding” available to address this generally comes from tax credits and other subsidies, but these funding amounts are limited. Therefore, while a market rate developer can maximize the number of units on the expectation that rent will enable the loans to be paid back, an affordable housing developer can only build as many units as the gap funding will cover.

One way to address this issue on large sites is to adopt a phasing program that makes it easier for a housing developer to split a large site into smaller parcels or otherwise phase development of the property. A developer can then secure funding for smaller projects and build out a site over time. The City has added a new program (Program 16, Prioritize Affordable Housing) to the Housing Element to assist with the development of large sites and other affordable housing sites.

In addition to phasing, recent financing changes have made the development of larger sites much more feasible. One of the primary subsidies leveraged by affordable housing developers is the Low Income Housing Tax Credit, which for many years required units to be affordable to households earning 60% of AMI or lower in order to qualify. However, this eligibility requirement was recently changed to include households earning up to 80% of AMI, which is still Low Income as defined by HUD. Affordable housing developers indicated that the change has a significant impact on the size of the gap, because it increases the amount of rent that can be expected from each unit. This means that larger sites with more units are much more feasible to develop than they have been in the past.

The City’s Specific Plans do not include any phasing requirements or other barriers which would preclude or delay development in any portion of the Specific Plan; on the contrary, they facilitate development consistent with the Specific Plan. In each of the City’s Specific Plans, higher density development is located along major roadways and is near commercial nodes, to facilitate access to transit and reduced reliance on vehicle trips. Because all of the High Density Residential development and most of the Medium Density Residential development is located along backbone transportation infrastructure for each Specific Plan, which is also the pathway of backbone utility infrastructure, those properties become available for development earlier in the Specific Plan buildout process. A brief discussion of the development status and potential growth is described below for each Specific Plan included in the existing sites inventory.

**Amoruso Ranch Specific Plan:** Approved in 2016, this Specific Plan is currently not connected to completed infrastructure within the City and has not begun development. However, plans to extend Westbrook Boulevard—the major backbone roadway connecting the Amoruso Ranch Specific Plan to the rest of the City—over the creek south of the planning area have been approved and bridge construction is anticipated to be completed in 2021. Once the bridge is complete, extension of Westbrook Boulevard into the planning area is anticipated in 2022. All of the High Density Residential property within the planning area is located along Westbrook Boulevard, so will be connected to infrastructure and available to build within the 8-year Housing Element period.

**Creekview Specific Plan:** Approved in 2012, this Specific Plan has just begun to develop within the last year. Westbrook Boulevard, the main backbone roadway connection, has been extended into the planning area and the adjacent properties have been rough graded. Tentative Subdivision Maps for these areas have been approved and recorded; none of these recorded maps are included within the City’s inventory, because they are actively under construction. The roadway infrastructure needed to access all but one of the High Density Residential sites has been installed. The remaining site is along Westbrook Boulevard across the creek bisecting the planning area. As indicated



previously, bridge construction is anticipated to be completed in 2021, and therefore all of the High Density Residential sites will be connected to infrastructure and available to build early in the first year of the 8-year Housing Element period.

**North Industrial Planning Area:** This planning area includes the Campus Oaks Master Plan area, approved in 2015. The large commercial center in this planning area is under construction and all of the High Density Residential sites have already been completed (and are therefore not included within the existing sites inventory). All of the undeveloped residential land within this planning area has been rough graded and significant sections of infrastructure have been installed or are under construction. Most of the planning area includes recorded tentative subdivision maps, so these sites are not included in the City's inventory. All of the remaining sites in this planning area will be connected to infrastructure and available to build within the 8-year Housing Element period.

**Sierra Vista Specific Plan:** Approved in 2010 at the end of the recession, development activity within this Planning Area increased as the economy recovered. The extension of Pleasant Grove Boulevard to its terminus near the City boundary has been completed, as have other sections of major backbone roadway systems, including Westbrook Boulevard, Market Street, Santucci Boulevard, and Vista Grande Boulevard. This planning area is actively developing and the backbone roadway systems needed to access the High Density Residential sites have all been completed or are under construction. Sites throughout this planning area will be available to construct from the outset of the 8-year Housing Element period.

**West Roseville Specific Plan:** Approved in 2004, nearly three-quarters of this planning area has been developed and the remainder is expected to be completed within the 8-year Housing Element period.

For all of the other specific plans, infrastructure and roadway connections are all completed, and there are only a few remaining undeveloped parcels, all of which are available from the outset of the 8-year Housing Element period.

## Infill Development Realistic Capacity

The City's Infill area is the older portion of the City which was established prior to the 1980s, where there is no Specific Plan. Infill areas, as well as planning areas which contemplated only non-residential uses, offer new opportunities to develop a diverse mix of housing. Many developers are looking to the city's infill areas to develop mixed-use developments, which offer commercial and residential units, in an effort to provide more diverse housing opportunities in centralized locations.

Though not within Specific Plans the stated additional capacity for the Infill area of the City was included as part of the City's 2035 General Plan and accompanying EIR, approved in 2020. Therefore, the units were assumed as part of the City's buildout analysis of water supply, sewer capacity, roadway capacity, and other infrastructure and service needs. The only potential realistic capacity constraints would be site-specific, such as the presence of restrictive easements. Of the 58 Infill sites listed in Table X-30, a total of 39 sites are vacant lots which can accommodate one unit. Only a building permit is required to build a home on a vacant lot. A handful of sites are vacant or have only one home but are designated for two units (duplex, or two-family zoning). These can also be developed with just a building permit. Sites with more units allocated may need a Tentative Map (either parcel or subdivision) or for multi-family housing would require a Design Review Permit. A handful of sites may also require a Tree Permit due to the presence of native oak trees, but this would depend on the specific site design; a Tree Permit would not be required if the native oak trees are not removed.

Staff specifically evaluated each of the Infill sites to determine their capacity. None of the sites on the list have significant site-specific constraints. One site is developed with a parking lot for a church, but the parking is not required and the property owner has inquired about residential development of the site in the past. The land use and zoning designation would allow multi-family, but for the inventory includes only one unit because it would not require elimination of the parking lot to construct one home adjacent to the neighboring homes. All of the other non-vacant lots have minor improvements, such as a fence, a shed, or junk storage. There are no easements or other restrictions that limit the use of the site, floodplain, or evidence of wetlands or other waters. All of the Infill sites have access to existing roadways and utility connections.

The stated capacity for the Infill sites is extremely conservative because many of these sites could be developed with more than the specified number of units based on their land use and zoning designation—all sites zoned R2 are permitted two units and all sites zoned R3 are permitted a minimum of three units—but the number allocated reflects what the City is certain can be easily and realistically built. Most of the properties on the table are either vacant or currently have only one unit, and so based on zoning could accommodate two or three new units, even though only one additional unit is listed on the table.

## UNDERUTILIZED LAND INVENTORY

Over the last two decades the City of Roseville renewed its focus on revitalization of our older neighborhoods and commercial corridors, as well as encouraging the development of mixed use and High Density Residential (HDR) units in both the Riverside Gateway Specific Plan and the Downtown Specific Plan. Table X-31 displays all of the opportunity sites within the City's Downtown and Riverside Gateway Specific Plan with the highest potential capacity for residential development. Refer to the Underutilized Land Realistic Capacity discussion following the table for further details.

### Underutilized Land Realistic Capacity

The two plan areas have unique characteristics which offer more housing opportunities, especially with the opportunity to consolidate small lots into larger development opportunities. Each specific plan land use map can be viewed online: <https://www.roseville.ca.us/cms/One.aspx?portalId=7964922&pageId=8774576>

Below are descriptions of the respective plan areas, which encourage and facilitate the development of high density and mixed use housing. See Appendix D for maps of the Riverside Gateway Specific Plan and the Downtown Specific Plan sites.

#### **Riverside Gateway Specific Plan**

Fundamental to the adopted Specific Plan are six development strategies that were developed by the Steering Committee of the Riverside Gateway Project. The Steering Committee was comprised of property owners, business representatives, residential property owners and appointed officials. The Specific Plan was adopted with the following recommendations:

**Parking Strategy:** The adopted parking strategy is based on; offsetting parking needs by providing additional on-street parking, consolidating and creating alley loaded parking fields, providing a central parking lot on Riverside Avenue, amending the parking requirement to reflect a mixed use standard and creating a future in-lieu fee to develop future parking.

**Pedestrian Friendly Improvements:** The plan promotes development of pedestrian friendly improvements, including the use of bulb-outs, sidewalk replacement, one-way alleyways with pedestrian shoulders, enhanced crosswalks and an enhancement of the intersection at Douglas Boulevard and Riverside Avenue.

**Enhancement of the Streetscape:** Streetscape features that include such items as furniture, signage, banners and other amenities that are similar in nature to the Vernon Streetscape design are also anticipated. Included in the streetscape is the upgrade and under grounding of utilities adding new capacity and making new development more attractive for the area.



Table X-31 | Downtown &amp; Riverside Gateway Specific Plan Residential Opportunity Sites

Map #	Address	Total Units	Residential Density (units/acre)	Floor Area Ratio	Acres	Zoning*	Existing Use	Permitted Use	Previous Inventory Y/N
<b>Historic Old Town</b>									
1	725–845 Lincoln	63	30	0.9	2.0	CMU/SA-DT	Vacant lot	Commercial/Residential	Y
This is a vacant triangular lot with roadway frontage on Lincoln Street and Washington Boulevard. It is also identified in the Downtown Specific Plan as a catalyst site, with pre-design plans for residential development. There are no easements or other such constraints to development, and the City has received inquiries about residential development on this site within the past year.									
2	400–412 Washington, 209–211 Pleasant, 210 Grove	34	37.8	--	0.7	CMU/SA-DT	Auto Sales / Office / Residential	Commercial/Residential	Y
This site consists of five parcels (the parcels are 0.19, 0.16, 0.10, 0.13, and 0.13 acres) with frontage on Washington Boulevard, Grove Street, and Pleasant Street, as well as an alley access. One parcel contains an older home, a second is a parking lot used by the small auto dealership on the adjacent parcel, another is a small office with a parking lot, and the last parcel is also a small office with parking. Approximately 19% (5,826 square feet) of building area occupies these properties. Existing improvements are minimal and aging, with chain link fencing, minimal or absent landscaping, and small 50-year-old buildings which have not been updated or improved by reinvestment. The City has had recent, positive experiences with affordable housing projects and other housing projects redeveloping sites such as this, within the nearby area (see evaluation preceding this table). There are no easements or other such constraints to development.									
3	400–426 Lincoln	80	58.1	0.37	1.4	HD/SA-DT	Parking lot	Commercial/Residential	Y
This site is multiple parcels under a single private ownership. The site is a parking lot which was constructed by and at the expense of the City to alleviate parking concerns expressed by surrounding businesses. The City has since completed two parking garages. There are no land use restrictions or other restrictions which would preclude or impede redevelopment of this site. Per the evaluation preceding this table, there has been significant market investment in housing in the general area, including multiple affordable housing projects. Site 4, below, is also a parking lot and an application to develop it as affordable apartments was received and approved by the City, at the same density provided for this site. Site 4 included more access and site design constraints, due to its location and the presence of a neighboring building siting directly on the property line.									
4	120 Pacific	80	60	1.57	1.4	HD/SA-DT	City Parking lot	Approved 4-story apartments, lower income	Y
This site is an existing parking lot, and a permit for a 4-story affordable housing apartment project has been approved on this site. Construction is anticipated to begin within the next year.									
<b>Subtotal</b>		<b>257</b>			<b>5.3</b>				

Riverside Gateway									
5	108–110 Douglas, 119– 125 Riverside	39	40.45	1.29	1.0	CMU/SA-RG	Used Auto Sales	Commercial/Residential	Y
<p>This site contains a used car dealership with a 9,500-square-foot older building, with the remaining 0.7 acres of the site paved with unmarked asphalt where vehicles are displayed. All of the parcels are under single ownership, and the site has roadway frontage on Riverside Avenue and Douglas Avenue. An alley separates the site from a single-family residential area. The Riverside Avenue, Vernon Street, and Douglas Boulevard intersection is a prime gateway intersection, where the City has invested streetscape improvements and monuments. There is a high potential for this corner to be redeveloped with a mixed use project similar to projects approved nearby on Vernon Street, due to its visibility and location, and due to the fact that the majority of the site is undeveloped paved area. This site is near the Lohse Apartments site, where two existing auto business and buildings were purchased and demolished to make way for housing. There are no easements or other such constraints to development.</p>									
6	201–227 Riverside	12	18.3	1	0.7	CMU/SA	Auto/Retail/Residential	Commercial/Residential	Y
<p>This site includes three parcels, two of which are under the same ownership (the parcels are 0.34, 0.17, and 0.12 acres). The site has frontage on Riverside Avenue and Bonita Street. An alley separates the site from a single-family residential area. The 201 Riverside parcel includes a 1,800-square-foot building housing multiple small spaces for offices, which include a psychic, a maid service, a pool service, a loan service, and car sales office. The remainder of that parcel, about 13,000 square feet, is paved with unmarked asphalt and is used for vehicle display. The building is over 100 years old but has had some cosmetic exterior updates. The adjacent parcel at 225 Riverside contains a single-family home, and the parcel at 227 Riverside contains a 1,700 square foot building which is currently a spa. The uses in these commercial buildings have changed multiple times in the past several years. Only 12 units have been assumed, as that would enable units to be built on the site in addition to the existing uses, rather than requiring replacement. Units could be constructed above the existing building, within the current asphalt area, and/or on the parcel with the single-family home. There are no easements or other such constraints to development.</p>									
7	401–415 Riverside, 110 Cherry	20	19.4	0.9	0.8	CMU/SA	Used Auto Sales	Commercial/Residential	Y
<p>This site includes four parcels, all under the same ownership. The site has frontage on Riverside Avenue and Cherry Street. An alley separates the site from a single-family residential area. There are three commercial buildings on the site, totaling approximately 7,000 square feet. One of the structures is a portable building, another is an old building that has not been updated, and the third is also old but has been updated with glass storefront windows. The site is a used car dealership. Most of the site is unmarked asphalt used for displaying vehicles. Only 20 units have been assumed on this site, as that would enable units to be constructed while leaving the more updated commercial building in place. However, as has been seen elsewhere where existing auto businesses have been sold and demolished for mixed use housing, development pressures are sufficient that the entire site could be redeveloped. There are no easements or other such constraints to development.</p>									
8	440 Riverside	10	14.5	0.8	1.0	CMU/SA	Used Auto Sales	Commercial/Residential	Y
<p>This site is two parcels under the same ownership. The site has frontage on Riverside Avenue and Fifth Street. An alley separates the site from a single-family residential area. One parcel contains an approximately 9,000-square-foot building and the second parcel is unmarked pavement and dirt used for vehicle display. The building is old but has updated glass display windows. Only 10 units have been assumed on this site, as that would enable units to be constructed in addition to the existing commercial use, rather than requiring elimination of all commercial use of the site. Utilities in the adjacent roadways have capacity to serve development of this site and there are no easements or other such constraints to development.</p>									



9	527 Riverside, 424 Clinton, 109-115 Darling	61	29	1.31	2.1	CMU/SA	Auto Sales, Auto Repair, Small Retail Strip Mall	Commercial/Residential	Y
<p>This site includes three parcels under the same ownership. The site has frontage on Riverside Avenue, Darling Way, and Clinton Avenue. The largest parcel includes three commercial buildings, totaling 3,960 square feet, one of which is auto repair, the other auto rental (Hertz), and the other is a small brick accessory building to Hertz. The second parcel includes unmarked asphalt where vehicles are displayed for sale (also Hertz), and the third parcel includes a small in-line strip mall occupied by a liquor store (4,000 square feet). All of the buildings on the site are old and have not been updated. The potential of this site is similar to Site 5. This is a key gateway with good visibility, and the City has made public improvements in this area, such as installing gateway monuments and features. Given the market pressures in the area, there is a high likelihood that this site could be redeveloped with a more intensive mixed use project like Lohse or Main Street Apartments, with ground-floor commercial space and upper floor housing. Utilities in the adjacent roadways have capacity to serve development of this site and there are no easements or other such constraints to development.</p>									
<b>Subtotal</b>		<b>142</b>			<b>5.6</b>				
<b>Total</b>		<b>399</b>							

\*Zoning Designations: CMU = Commercial Mixed Use, HD = Historical District, CBD = Central Business District, SA = Special Area, DT = Downtown Specific Plan area, RG = Riverside Gateway Specific Plan Area

\*\* Refers to the Roseville Specific Plan area; DT = Downtown Specific Plan, RG = Riverside Gateway Specific Plan

**Land Use Strategy:** The Specific Plan promotes an increase in the Floor Area Ratio (FAR) standard, adding a mix of residential uses and establishing more flexible design and development standards for the Riverside Gateway project area. (Note: FAR is the ratio of developed area, as compared to total area of a parcel.) The FAR standard in the planning area is a plan-wide average, rather than a site-specific limitation. This allows individual sites to have a much higher FAR. The previous average FAR was 0.27 and has been increased to 0.60, allowing for 4 story buildings to be created in the plan area. The existing average FAR in the Riverside Gateway area is 0.20 and therefore the planning area has an unbuilt capacity of 350,000 square feet.

In addition, the previous zoning was GC (General Commercial), which did not allow residential development. With the adoption of the Riverside Gateway Specific Plan, a Special Area overlay (SA) for zoning was applied to the plan area, thereby creating a Commercial Mixed Use Zone District with a Special Area overlay, which is known as CMU/SA-RG (Commercial Mixed Use with a Special Area Overlay for the Riverside Gateway Plan Area). The current zoning now allows residential development by right, creating more opportunities to develop higher density housing. Additionally the zoning now prohibits Auto Service and Auto Sales uses. Currently Riverside Avenue is heavily occupied by auto uses. By precluding these uses, the sites will become available for redevelopment with projects including residential units, further introducing additional HDR units into the plan area.

**Catalyst Sites** In order to promote redevelopment in the area the Council felt that it was important for the City to support and pursue funding for a catalyst project within the Riverside Gateway project area. There are two catalyst sites. The sites will combine smaller lots, which are owned by the same landowner, therefore increasing the probability of mixed use and high intensity development at each of these sites. Conceptual plans were prepared for the sites that, as proposed, would provide a cumulative of 100 additional HDR units within the plan area.

The conceptual plans and housing unit yield take into consideration the following: setbacks, floor area ratio, lot coverage, parking, height limitations, site constraints, and design guidelines.

**Site Development Prototypes.** The Riverside Gateway Specific Plan identifies various prototype development plans for interested developers, eliminating the project from going through the design review process. The developer would then save time and money, as well as ensure the project will have addressed concerns relative to parking, site access, landscaping, utility connections, and trash enclosures.

Four prototype plans were prepared for the various lot sizes on Riverside Avenue; single lots (50' x 150'), double lots (100' x 150'), triple lots (150' x 150') or triple corner lots. The prototypes demonstrate the redevelopment potential of the parcels with mixed-use, ground floor retail and upper floor residential use. The developments include between 2–12 residential units each and were designed to be consistent with the Riverside Gateway goals and City regulations. The prototype plans and housing unit yield take into consideration the following: setbacks, floor area ratio, lot coverage, parking, height limitations, and design guidelines. Refer to Chapter 9 of the Riverside Gateway Specific Plan for prototype plans.

Using the prototype plans, staff estimated the amount of new units that could be introduced to the area by redeveloping the parcels occupied by non-conforming uses.

**Analysis of Existing Uses.** The Riverside Gateway Specific Plan provides a variety of changes to the previous land use designations, as well as other regulatory incentives that encourage and facilitate the development of higher density residential housing units.

As mentioned under the Land Use Strategy and Site Development Prototype discussions, staff identified the parcels with potential development of HDR units. The sites identified are or were occupied by the now non-complying automotive uses. Although development has also slowed, the viability that these sites will be developed is probably more realistic once funding can be obtained due to the fact that there are fewer constraints that could potentially impede development. In summary, the analysis of existing uses reveals that there are no uses that could impede development of the potential development sites.



## **Downtown Specific Plan**

### **Introduction**

New housing in Downtown Roseville is a key strategy of the Downtown Specific Plan. The City of Roseville, as well as the Sacramento region, has been focused on reducing the footprint of future development on the outer edges of existing communities within the region. The Downtown Specific Plan provides new high density residential development within an urbanized area. New residents will enhance the customer base for Downtown retail businesses and will be in walking distance to the multi-modal facility and bus transfer facilities that exist in the plan area.

A variety of residential types are proposed to create a downtown that is accessible to different economic and life-style sectors of the community. Housing types that are appropriate in Downtown include multi-family flats and apartments, efficiency units, single room occupancy units, condominiums, town homes, flexible live-work options and mixed income housing (market rate and affordable units). The land use plan anticipates that the majority of units will be incorporated as part of future mixed use development or high density housing projects.

### **Incentives**

The Downtown Specific Plan regulates the development of property through use and bulk restrictions. The tool selected for regulating density and intensity in Downtown Roseville is the allowable Floor Area Ratio (FAR). In order to encourage a mix of housing within the Downtown area, there are a number of incentives that are directed towards assisting housing related projects. Through incentive zoning, the City seeks to realize certain amenities or design provisions related to a particular development project in exchange for granting an increase in the FAR, a reduction in the required parking or additional height for development, for the property being developed.

The City worked in conjunction with a consultant to prepare development plans for several sites within the Downtown. The sites were chosen based on size, location, existing conditions, and the property owners' interest in developing the site. All of the projects include mix-use development and are consistent with the Downtown policies and City regulations.

Six of the sites were identified as catalyst sites because they were vacant or City owned parcels. As an incentive to developers, Pre-Design plans were prepared for the sites and the review process streamlined. The developers then save time and money, as well as ensure the project addressed concerns relative to parking, site access, landscaping, utility connections and other City guidelines and regulations. In summary, the primary regulatory incentives are focused on land use, parking reductions, in-lieu fees and process streamlining. These incentives are intended to encourage additional housing in the Downtown. These overall incentives are listed below:

#### **Land Use**

- Increased FAR = Additional 900,000 square feet (s.f.) ground floor commercial and 1,020 residential units;
- Adds height to the existing zone districts;
- Adds new housing related uses as being principally permitted that the market supports, such as: Mixed Use, High Density Residential and Live Work housing;
- Principally permits existing single room occupancy residential units; and,
- Principally permits high efficiency residential units.

#### **Parking Requirements**

- On-site requirements for residential development have been reduced;
- Public Parking is used to satisfy private parking requirements. An increase in the public parking supply on the side streets will be added where plausible;
- An on-street parking credit of 2.5 spaces for every 7,500 s.f. of lot area is provided;
- Parcel aggregation credit is provided when consolidating properties; and,

- Permitted uses that are rehabilitating an existing building do not require additional on-site parking when a discretionary action is not required.

**Fees**

- Park land dedication fees and in-lieu fees are not required for residential uses; and,
- Parking in-lieu fee payment at a reduced rate based on number of spaces helps the financial proforma of projects.

**Process**

- Administrative Design Review Permits are encouraged to streamline future housing developments;
- Pre-approved development scenarios have been developed for catalyst sites containing residential development; and,
- Completion of an Environmental Impact Report will address increased traffic and utility use on an area wide basis.
- Completes an architectural and historical survey necessary for future CEQA actions.
- Provides the ability to use CEQA exemptions for future projects streamlining the development process.

**Application of Standards**

Due to the relatively small parcel sizes it is difficult to assign a density or unit allocation that is parcel specific. The Specific Plan allocates units on a district basis. It establishes minimum and maximum density requirements in order to allow the market to dictate what type of projects are economically feasible. For projects that are strictly residential, the density combined with the maximum FAR will be the regulating factors. Mixed use projects (residential over retail/office) will be regulated through the overall floor area ratio requirement. This approach will allow commercial mixed use projects to have smaller units, which can maximize density.

**Realistic Capacity**

The approach described above has resulted in significant success, with three 100% affordable apartment projects approved in the planning area in the last five years, plus two market rate townhomes projects. Two of the affordable projects have been constructed (on Table X-21, Lohse Apartments and Main Street Apartments). The three affordable apartment projects are all at densities in excess of 50 units per acre. The third affordable apartment project and the market rate townhomes are expected to begin construction in 2021 or 2022. The sites and their previous site constraints are described in the following:

- Lohse Apartments (623 Vernon Street): This site was under one acre and included multiple parcels, one of which contained a building housing an auto repair and paint shop, and another of which contained a U-Haul rental and building, along with associated parking areas. All of the existing uses (totaling 6,500 square feet of space) were demolished and the parcels were consolidated through a Voluntary Merger. The Lohse Apartments project is four stories and includes, one-, two-, and three-bedroom units as well as ground-floor non-residential space. Construction was completed in 2019.
- Main Street Apartments (300 Washington Boulevard): This site is approximately 1.5 acres and was minimally improved, with gravel and a few other small site improvements. The project included a Parcel Map and the abandonment of right-of-way on Pleasant Street. The Main Street Apartments project is a mix of three and four stories with one-, two-, and three-bedroom units, and includes ground-floor retail. Construction was completed this year.
- Junction Crossing Apartments (120 Pacific Street): This site is approximately 1.5 acres and included multiple parcels with a parking lot and mature landscaping. The project included a Parcel Map to merge and resubdivide the parcels. This is an 80-unit 100% affordable project, with construction anticipated to begin this year.
- Belvedere Townhomes (510 Lincoln): This site included multiple parcels containing a single-family home on



one parcel and the 4,000 square-foot Belvedere Hotel on another. The project included a Tentative Subdivision Map and the demolition of both existing buildings. The approved project includes 18 townhomes and construction is anticipated to begin this year (demolition has been completed).

- Nevada Street Lofts (1007 Douglas Boulevard): This site includes multiple parcels and existing development includes a large chain link fence and one single-family home. The approved project included a General Plan Amendment from Business Professional to a High Density Residential land use designation, a Tentative Subdivision Map, a Design Review Permit, and a Tree Permit to build 22 townhomes. Construction is anticipated to begin next year.

All of the sites listed above are within the same market area as the sites listed in Table X-31, above. All but one of the sites were non-vacant, and required the demolition of parking lots, commercial buildings, and/or residential buildings in order to enable their construction. All of these sites also required parcel consolidation, and all of these projects have occurred within the past five years, showing significant market forces at work in these areas. The success of these sites, three of which were identified in the City's 2013 Housing Element underutilized sites inventory, demonstrates the feasibility of development for the similar, nearby sites which are listed in Table X-31. In the past eight years, a total of six new private development projects have been approved in the City's downtown, and of those, five were housing projects. Therefore, 80% of the time when redevelopment has occurred in these areas it has been with housing.

The sites in the Riverside Gateway Specific Plan are all in the Commercial Mixed Use zone, which means density cannot be calculated by a simple division of units per acre; a portion of the site is expected to be non-residential. Density also cannot be expressed as a "maximum" or "minimum," because the plan has instead simply allocated a certain number of units to each property. For the purposes of planning, density has been conservatively expressed as the number of units realistically assumed divided by the total site acreage, but it is expected actual density would be higher, because some portion of the site may remain commercial. Based on this estimated land use density, the City's underutilized land supply provides capacity for 357 lower-income units and 42 moderate-income units.

In identifying the list of sites in Table X-31, the City has already gone through a process of evaluating sites in both plan areas and has included only those with the highest likelihood of developing with residential uses. The list is a conservative estimate of development potential in these planning areas, and it is expected that sites excluded from the list could also redevelop with housing. As an example, the Lohse Apartments site was not included in the 2013 Housing Element inventory but nonetheless it redeveloped with housing. The Downtown Specific Plan includes approximately 77 acres of land with a zoning designation that allows high density residential uses, but the table only assumes 5 acres (6%) of this area will be developed with housing. The Riverside Gateway Specific Plan includes approximately 29 acres of land with a Commercial Mixed Use zoning designation and approximately 8 acres of land with a multi-family residential zoning designation, while the table list below assumes only 6 acres (16%) of this area will be developed with housing. A higher proportion is assumed in Riverside Gateway than in the Downtown Specific Plan, because the Riverside Gateway planning area contains a much lower FAR—that is, there is far more undeveloped space in the planning area. As explained in the description of the Riverside Gateway Specific Plan, the existing average FAR is 0.20, which means that only 20% of the land area (or 0.2 acres to every acre) is developed with buildings.

## ACCESSORY DWELLING UNIT INVENTORY AND REALISTIC CAPACITY

SACOG completed a regional ADU affordability analysis (dated March 2020 and included as Appendix F) indicating that in Placer County a total of 56% of ADUs are affordable to lower income households (15% extremely low, 6% very low, and 35% low) and 43% are affordable to moderate income households. Only 1% are priced to meet the above moderate income level. State legislation has enacted relaxed development standards and fees for ADUs and JADUs, making them more easily accommodated on a lot and less expensive to construct. Due to these relaxed standards and fees, the City is projecting that ADUs and JADUs will be constructed at five times the average annual rate observed in the City between 2013 and 2017. The City only began reliably tracking this type of unit in 2018, so it is difficult to provide an accurate measure of the number of ADUs constructed in the 2013 to 2017 time period. An electronic search of building permit records using key words was used to develop an estimate, which was found to be two ADUs annually. Five times this annual average rate results in ten ADUs or JADUs annually for a total of 80 units over the 8-year planning period. Based on the affordability analysis, it is assumed that 45 of these will be affordable to lower income households.

## ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS

Environmental and infrastructure issues affect the amount, location, and timing of new residential development. New housing opportunities create challenges regarding public infrastructure extensions and expansions, and encroachment into agricultural land. In addition, the availability of adequate water, public infrastructure such as wells and wastewater treatment facilities, and other public services and facilities can impact the feasibility of new residential development.

### Environmental

All sites listed in the sites inventory are generally free of constraints or the site constraints are so minor they can be mitigated with development. The City does not give land use entitlements for land within a floodplain (it would contain a floodplain overlay designation, for instance, that limits development). If the affordable sites are part of a specific plan and subject to a development agreement, it is a condition of the development agreement that the affordable sites be free of any encumbrances.

### Infrastructure

The concept of linking growth management and the ability to provide adequate services is articulated throughout the goals and policies of the Growth Management Component, Policy LU8.3, which states: “Growth shall be managed to ensure that adequate public facilities and services, as defined in the Public Facilities Element, are planned and provided and public health, safety and welfare is protected.” Therefore, new development must contribute its fair share toward the provision of water, wastewater, electric, parks and recreation, and police and fire services, as well as school funding. The fees associated with the provision of adequate facilities and services will affect the cost of housing since the costs will be passed on to homebuyers, who will pay for the expansion and provision of services over time.

The City of Roseville is the utility provider for water, wastewater, sewer, and solid waste. The City has sufficient infrastructure capacity to address its RHNA during the 2021–2029 planning period of the Housing Element. The City’s Specific Plan process ensures there is sufficient water, sewer, electrical, and other service supplies to support full buildout of the planning area.


## OPPORTUNITIES FOR ENERGY EFFICIENCY AND CONSERVATION

An important consideration in the development of a comprehensive housing plan is the attention given to the issue of energy efficiency and conservation. Roseville Electric is a locally owned and operated non-profit municipal utility of the City of Roseville. Roseville Electric has served the Roseville community for over 90 years with the primary concerns of energy efficiency and conservation and maintaining low rates and high service reliability. Customers are encouraged to participate in the local utility commission meetings. Residential electric rates in the city are generally lower than rates charged by the Pacific Gas and Electric Company. The City’s Residential Energy Efficiency and Conservation goals and policies found in the Housing Plan section, reflect the City’s continued commitment to implement programs which incorporate efficiency and conservation measures into the construction and maintenance of the city’s housing, and reinforce the Water and Energy Conservation Component of the Public Facilities Element of the General Plan.

Continued promotion of efficiency and conservation efforts and program standards, rebates, and financial assistance will help reduce the percentage of income devoted to housing-related costs through utility bill savings. Further, many new homebuilders are embracing green technology and installing instant hot water features in their housing developments.

State law is addressing the issue of climate change, in terms of both the cause and the potential effects. Energy conservation has been identified as one of the most effective ways to counteract the effects of global warming.



Roseville's efficiency and conservation efforts contribute to needed reductions in greenhouse gas emissions. Such sustainable goals and policies throughout the General Plan are designated with an icon: .

Also, a more focused discussion of climate change can be referenced in the Air Quality Element of the General Plan.

## FINANCIAL RESOURCES

### Federal Programs

The *Housing Choice Voucher Program* provides direct rental assistance to very low-income families. Managed by the Roseville Housing Authority, this federally sponsored program distributes rental payments directly to the property owner. The Roseville Housing Authority currently has 562 Housing Choice Vouchers and 75 special purpose vouchers for non-elderly disabled households.

*Section 202* provides long-term direct loans to private, non-profit sponsors to finance new rental housing construction for very low-income seniors.

The *Community Development Block Grant (CDBG)* is a major federal program available to assist local government in the development and maintenance of affordable housing. Funds are used to encourage the construction and rehabilitation of low-income housing in cooperation with non-profit corporations to acquire or write down the cost of land for residential units and/or infrastructure improvements. Funds for the maintenance of affordable housing are available for rehabilitation projects.

The *Housing Rehabilitation Program* is partially funded by CDBG to provide financial assistance to low-income owner-occupied units for the purpose of repairing health and safety defects and for general property improvements. The Housing Rehabilitation Program currently provides \$5,000 grants to elderly or disabled, very low- and low-income owner occupants, and low-interest loans of up to \$100,000 to low-income owner-occupied units.

*Low Income Tax Credits* represent the federal government's largest effort to assist in the development of housing affordable to low-income households. The tax credits enable the owner of a rental complex which is affordable to low-income households to take an annual tax credit equal to 9% of the depreciable basis of the complex against the owner's federal tax obligation for up to ten years.

*Continuum of Care/Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH)*. Since 1987, programs authorized under the Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) Act of 2009 have been the major source of federal funding to states, local governments, and non-profits for meeting the needs of homeless individuals and families. The Supportive Housing Program (SHP) is designed to develop supportive housing and services that will allow homeless persons to live as independently as possible. The City will continue to participate in the preparation of the regional Continuum of Care application process in hopes of continuing to receive HEARTH Act Funds for homeless activities. It is reasonable to assume the City and Placer County can anticipate ongoing funding from this program over the eight-year program period of the Housing Element.

### State Programs

The *California Housing Finance Agency Programs (CalHFA)* Home Ownership Program provides low-interest financing for home purchase in every county of the state. Private for-profit and non-profit sponsors of new construction are eligible to receive loan commitments through this program.

The *Home Investment Partnership Program (HOME)* is funded by the federal government, which then annually awards funding to the State of California, who then administers the HOME Program to eligible local jurisdictions through the Department of Housing and Community Development (HCD). HOME funds are used to assist recipients in the areas of new construction, acquisition, rehabilitation, tenant-based rental assistance, and below-market-rate interest loans and deferred loans to low-income first-time homebuyers.

- The *Housing Rehabilitation Program* is partially funded by HOME funds to provide financial assistance to low-income owner-occupied units for the purpose of repairing health and safety defects and for general property improvements for very low- and low-income owner occupants. Low-interest loans are available to assist low-income owner-occupied units.
- The First Time Home Buyers Down Payment Assistance Program offers down payment assistance for low-income households. The program estimates it will assist approximately 20 households during the eight-year program period.

*Single Family Housing Bond Programs (Mortgage Revenue Bonds)* are issued through a third-party issuer and used by local lenders/developers to access below market interest rate loans for first-time homebuyers.

- *California Rural Gold* provides assistance to low- and middle-income homebuyers to purchase homes utilizing reduced interest rates. Cal Rural Gold is funded through issuance of taxable mortgage backed securities with continued funding based on the state allocation process.
- *Mortgage Credit Certificate Program* assists low- and moderate-income first-time homebuyers utilizing tax credits.

*Building Equity and Growth in Neighborhoods (BEGIN)* is funded by the State of California and administered by HCD. The funds are used to assist in the creation of affordable housing opportunities to low- and moderate-income households in new subdivisions which have been given special regulatory relief measures by the local jurisdiction. The assistance is in the form of \$30,000 maximum down payment assistance for each eligible household. The City has received funding for one subdivision in 2006 but is uncertain as to the ability to secure funds for this program in the upcoming eight-year Housing Element planning period.

*Cal Home* is administered by HCD with funds awarded to jurisdictions which have submitted successful applications for eligible activities. Activities which can be funded include owner-occupied housing rehabilitation and first-time homebuyer down payment assistance. Cal Home is designed to augment current programs offered by jurisdictions. The City is optimistic of the availability of this funding source in the upcoming eight-year planning period of the Housing Element.

*Low Income Housing Tax Credits* represent the state government's effort to assist in the development of housing affordable to low-income households. Tax credits enable the owner of a rental complex which is affordable to low-income households to take an annual tax credit equal to 4% of the depreciable basis of the complex against the owner's state tax obligation.

*Federal Emergency Shelter Grants* assists local government agencies and non-profit organizations to finance emergency shelters, supportive services, and transitional housing for homeless individuals and families. The City has assisted and supported Federal Emergency Shelter Grant applications in the past for non-profit organizations and is willing to assist with future applications. However, the City cannot anticipate ongoing funding from this program over the eight-year program period of the Housing Element.

## Local Government Programs

The City's Housing Division manages the *Homeless Prevention and Rapid Rehousing Program* funded by *Permanent Local Housing Allocation* and up to \$250,000 in *Low and Moderate Income Fund* dollars to provide grants to Roseville homeless persons or those at risk of becoming homeless by providing payment of past due rent, security deposits and first month's rent, past due utility bills, and emergency motel vouchers. Non-profits apply for funding on an annual basis.

## Private Programs

*Citizens' Benefit Trust.*

The Citizens' Benefit Trust was established in 1993 following the sale of the city-owned Roseville Hospital. The proceeds were placed in a trust and a portion of the interest earned each year is made available for grants with the



purpose of improving the quality of life for the citizens of Roseville. Public agencies, schools and non-profit 501(c)3 or 501(c)4 are eligible to apply. The Grants Advisory Commission was created in 1994 to review grant applications for expenditures of the Citizens' Benefit Trust and to make recommendations to the City Council on an annual basis.

*REACH Fund - The Roseville Employees Annual Charitable Hearts Fund (REACH) is a community giving fund created through the generosity of Roseville employees and retirees. These employee-donated funds are dispersed to local charitable organizations that serve youth, seniors and families in the South Placer County region.*

*Developer contributions* are a result of the City's 10% Affordable Housing Goal. The types of contributions vary depending on the type of affordable housing developed. The typical developer contribution funds silent second mortgages on purchase units, to bridge the gap between the affordable purchase price and market value, and facilitate land write-downs for affordable rental unit projects.

*Non-profit corporations* advocate for affordable housing and educate the community on current and projected needs for affordable housing through presentations, articles, and workshops. They may also develop and manage an unmet need for affordable housing for very low- and low-income households. Non-profit firms may apply directly for state and federal housing funds and solicit funding from private sources and foundations. The Roseville Charter allows the City to sell surplus property to non-profit firms headquartered in the city without holding a competitive bid.

*Project Go* is a locally based non-profit housing development corporation working with the City in implementing affordable housing through the development of multi-family affordable housing. Project Go offers free weatherization services for low-income households to help reduce energy bills, thereby providing a means of keeping housing affordable.

Other non-profit corporations, such as the Nehemiah Progressive Housing Corporation, Pacific Housing Inc., Community Revitalization and Development Corporation, and Greek Orthodox Housing Corporation, have worked in conjunction with the City to build affordable housing utilizing the Low Income Tax Credits program.

*Reverse Annuity Mortgage* is a home equity conversion program, where elderly homeowners may work in conjunction with local financial institutions to allow the extraction of equity out of their homes for repairs and as supplemental income. The City has not been involved in referring residents to financial institutions to pursue reverse annuity mortgage programs. Instead, residents are referred to the Community Services Department's Housing Division's Residential Rehabilitation Program.

*Private funding* sources are noted as potential resources; however, the City does not control private funding and cannot anticipate ongoing funding from these sources over the eight-year program period of the Housing Element.

## FAIR HOUSING ASSESSMENT

### Introduction and Overview of AB 686

Assembly Bill 686, signed in 2018, requires each city or county to take actions to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities. Housing elements must now include an assessment of fair housing practices, examine the relationship of available sites to areas of high opportunity, identify and prioritize contributing factors to fair housing issues, and include actions to affirmatively further fair housing (AFFH).

### Assessment of Fair Housing Issues

This section examines existing conditions and demographic patterns in the City of Roseville, including patterns of integration and segregation, concentrated areas of poverty, areas of low and high opportunity, and disproportionate housing needs. The analysis is presented from a local and regional perspective to describe settlement patterns across the region. This analysis is then used to identify and prioritize contributing factors that inhibit fair housing in Roseville. Goals, policies, and programs to address the contributing factors and affirmatively further fair housing are detailed in the Programs section of this Housing Element.

The information in this section is partially from the Analysis of Impediments to Fair Housing Choice (AI) report, prepared for the Sacramento Valley Fair Housing Collaborative in February 2020. The AI assessed fair housing in cities and unincorporated jurisdictions of Placer, Sacramento, and Yolo counties, including the City of Roseville. The complete report is included as Appendix B; below is a summary of the findings. Additional data specific to Roseville has also been included where available from the American Community Survey and the HCD AFFH Data and Mapping Resources Tool.

## HISTORIC AND CURRENT BARRIERS TO HOUSING ACCESS

A key consideration to providing housing for all segments of the community is evaluating inequities which may present barriers to access, known as fair housing. Throughout the nation there are historically underserved and/or disenfranchised communities which have experienced housing and infrastructure disinvestment and exclusion from housing opportunities. The makeup and profile of existing communities throughout the nation is often heavily influenced by historic patterns of racism and other forms of exclusion, the effects of which persist to this day. The history of Roseville and the greater Sacramento region is consistent with this national history, and includes periods where people were excluded or expelled from the area or otherwise prevented from purchasing land or homes on the basis of race or background.

Both Rocklin and Roseville were railroad towns, and because Chinese immigrants made up nearly 90% of the labor force laying the track<sup>4</sup>, the area was home to approximately 400 Chinese immigrants by the 1870s. However, as documented in “Driven Out: The Forgotten War against Chinese Americans” (Jean Pfaelzer, 2008), in 1877 a group of Chinese men were accused of murder, and a white mob formed. After all of the Chinese residents were driven out, the homes in the Chinese quarter were demolished and a fire started, which burned the shops and homes to the ground. As news of the incident spread, neighboring towns followed suit: Loomis, Penryn and Roseville ordered all Chinese people to leave their towns and armed men rode into Chinese-owned mining camps and forced them to leave. At the time “many Chinese either owned or leased considerable land or mining claims within a ten-mile radius of Rocklin, and most of their loans had been fully paid off.” Thus, the events of this period disenfranchised a sizable existing community of Chinese immigrants in this region. Events such as this ensured that as the City incorporated and expanded, the majority of property owners and residents were white.

“Redlining Revisited: Mortgage Lending Patterns in Sacramento 1930–2004”<sup>5</sup> describes patterns of disenfranchisement in the greater Sacramento region. In this area racially-restrictive covenants—terms within deeds and other documents prohibiting sale or rental of property to people of color—began use in the 1920s. In the 1930s, approval of federal loans increasingly became contingent on including racially restrictive covenants on the property. By the late 1930s the process known as “redlining” was established. This was a process of developing lending risk maps which were based on the assumption that the presence of Black, immigrant, or poor white communities compromised the value of homes and made mortgages in these areas higher risk. Areas designated in red (hence “redlining”) on these maps were considered highest risk and were placed over majority Black neighborhoods, neighborhoods with high immigrant populations, and less affluent neighborhoods. Redlining made financing for properties in these areas extremely difficult to obtain, severely hampering the ability of people to finance home maintenance and repairs or buy property in these areas. This in turn drove down property values in these areas, even while property values climbed elsewhere. Although racial exclusion, redlining, and racially-restrictive covenants are now illegal, the effects of this discrimination linger to the present day. CalEnviroScreen is an interactive map-based tool that identifies relative risk based on the community pollution burdens, health risk indicators, and economic vulnerability. An overlay of the 1930s era redlining map of Sacramento and the CalEnviroScreen map of Sacramento shows substantial overlap between redlined areas and areas today which have higher pollution burdens and vulnerable populations. Moreover, demographic maps of the region show that the patterns of racial segregation established by this history have improved, but remain evident.

<sup>4</sup> From the Chinese Railroad Workers in North America Project at Stanford University: <https://web.stanford.edu/group/chineserailroad/cgi-bin/website/virtual/>

<sup>5</sup> Hernandez, Jesus. (2009). Redlining Revisited: Mortgage Lending Patterns in Sacramento 1930-2004. International Journal of Urban and Regional Research. 33. 291-313. 10.1111/j.1468-2427.2009.00873.x.



## FAIR HOUSING ENFORCEMENT AND OUTREACH

Fair housing complaints can be used as an indicator to identify characteristics of households experiencing discrimination in housing. Pursuant to the California Fair Employment and Housing Act [Government Code Section 12921 (a)], the opportunity to seek, obtain, and hold housing cannot be determined by an individual's "race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, marital status, national origin, ancestry, familial status, source of income, disability, veteran or military status, genetic information, or any other basis prohibited by Section 51 of the Civil Code."

Fair housing issues that may arise in any jurisdiction include but are not limited to:

- housing design that makes a dwelling unit inaccessible to an individual with a disability;
- discrimination against an individual based on race, national origin, familial status, disability, religion, sex, or other characteristic when renting or selling a housing unit; and
- disproportionate housing needs including cost burden, overcrowding, substandard housing, and risk of displacement.

The Roseville Housing Division ensures that front desk staff is trained to provide fair housing outreach materials for those who visit, call or email with questions and issues. The City refers discrimination complaints to the California Department of Fair Employment and Housing. The California Department of Fair Employment and Housing dual-files fair housing cases with HUD's Region IX Office of Fair Housing and Equal Opportunity (FHEO), as part of the Fair Housing Assistance Program. HUD's FHEO reported that 8 housing discrimination cases were filed by residents of Placer County in 2019. City level data is not available.

The City of Roseville provides fair housing outreach materials for each of the programs managed by the Housing Division:

The Housing Choice Voucher Program provides several items in the briefing packet for each household that is issued a voucher for the program. The fair housing items include HUD's "Are You a Victim of Discrimination?" booklet, a fair housing resource contact sheet that includes the contact information for HUD, DFEH, Legal Services of Northern California, Project Sentinel and several other resources, as well as the Violence Against Women Act information forms and the Informal Review information for applicants and tenants.

The City, as an entitlement jurisdiction for CDBG funds through the Department of Housing and Urban Development, completes an "Analysis of Impediments to Fair Housing Choice" along with a certification that states it will affirmatively further fair housing in its community. The certification further requires that the grantee undertake fair housing planning through: 1) the completion of an Analysis of Impediments (AI) to Fair Housing Choice in the community; 2) the undertaking of actions to eliminate identified impediments; and 3) the maintenance of records regarding the analysis and actions.

The City also has a Fair Housing Resource page on the Housing website which lists several agencies that offer fair housing information. The website encourages persons who believe they have experienced discrimination in housing rental, sales, or financing because of race, color, religion, sexual orientation, national origin, marital status, disability, or familial status to contact any of the agencies listed.

## INTEGRATION AND SEGREGATION PATTERNS AND TRENDS

### Race and Ethnicity

The Sacramento Valley region is home to more racial, ethnic, and cultural diversity than the national average, and has been growing more diverse. In 2017, non-Hispanic White residents made up 55.7 percent of the population within the region, compared to 73 percent in 1990. However, as described previously, the patterns of segregation established by racial exclusion, redlining, and racially-exclusive covenants remain visible today within the region. The location of Black and Hispanic residents in the Sacramento Region today tends to fall outside of the areas of historic covenant restrictions. Figure X-3 shows the racial and ethnic distribution in the Sacramento Region as of 2010. Generally,

patterns of settlement indicate that the majority of non-White and Hispanic/Latino residents reside in and around the Cities of Sacramento and Elk Grove.

Roseville is less diverse than the region, as Roseville had a higher proportion of non-Hispanic White residents (68.5 percent) than the regional average (56 percent) in 2018. However, communities of color in the City and region have increased over the past three decades. Comparatively, the City's population of non-Hispanic Whites was 85 percent in 1990, 72.6 percent in 2010, and 68.5 percent as of 2018. Demographic maps of the region show that the patterns of segregation remain evident (see Figure X-3). This section describes those patterns of segregation for communities with protected characteristics—including race and ethnicity, familial status, income, and disability status—relative to the City of Roseville and the region.

As shown in Figure X-4, people of color now comprise a significant portion of the population within many block groups in the city, particularly along Douglas Blvd and in the Downtown and Stanford neighborhoods. However, 68.5 percent of the population identifies as non-Hispanic White and all census tracts in the city are predominantly made up of White households (see Figure X-5).



Figure X-3 | Racial and Ethnic Segregation Patterns

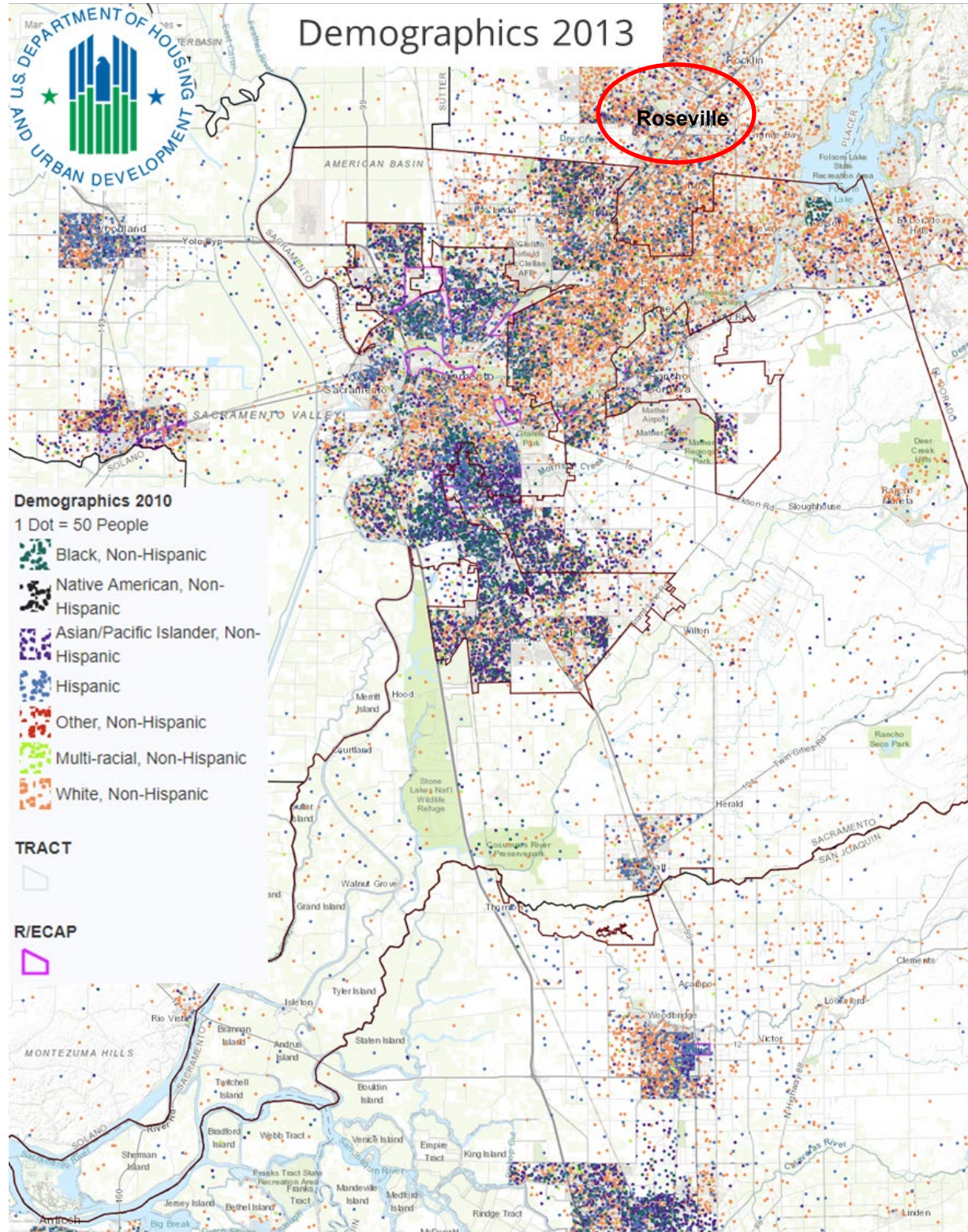
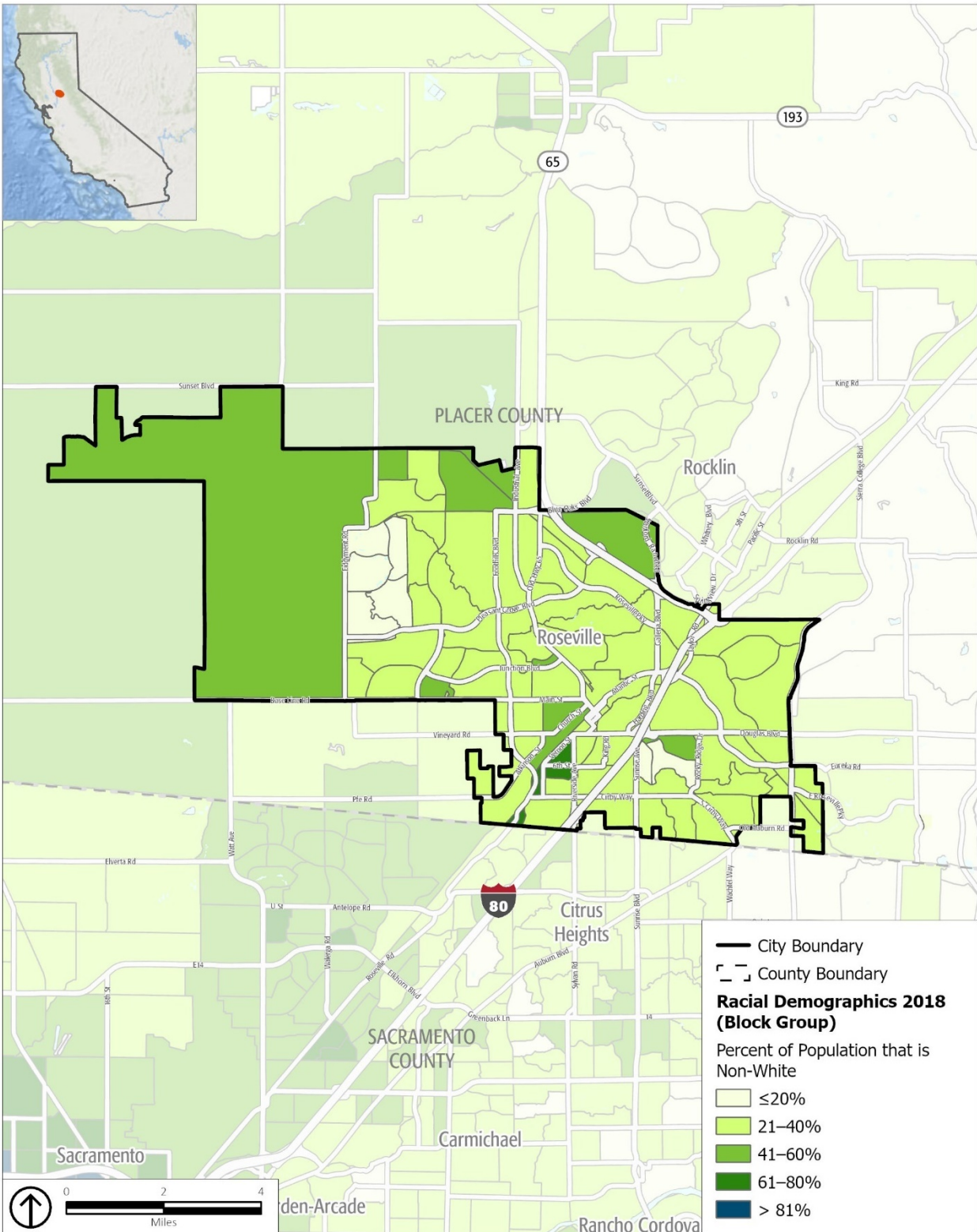


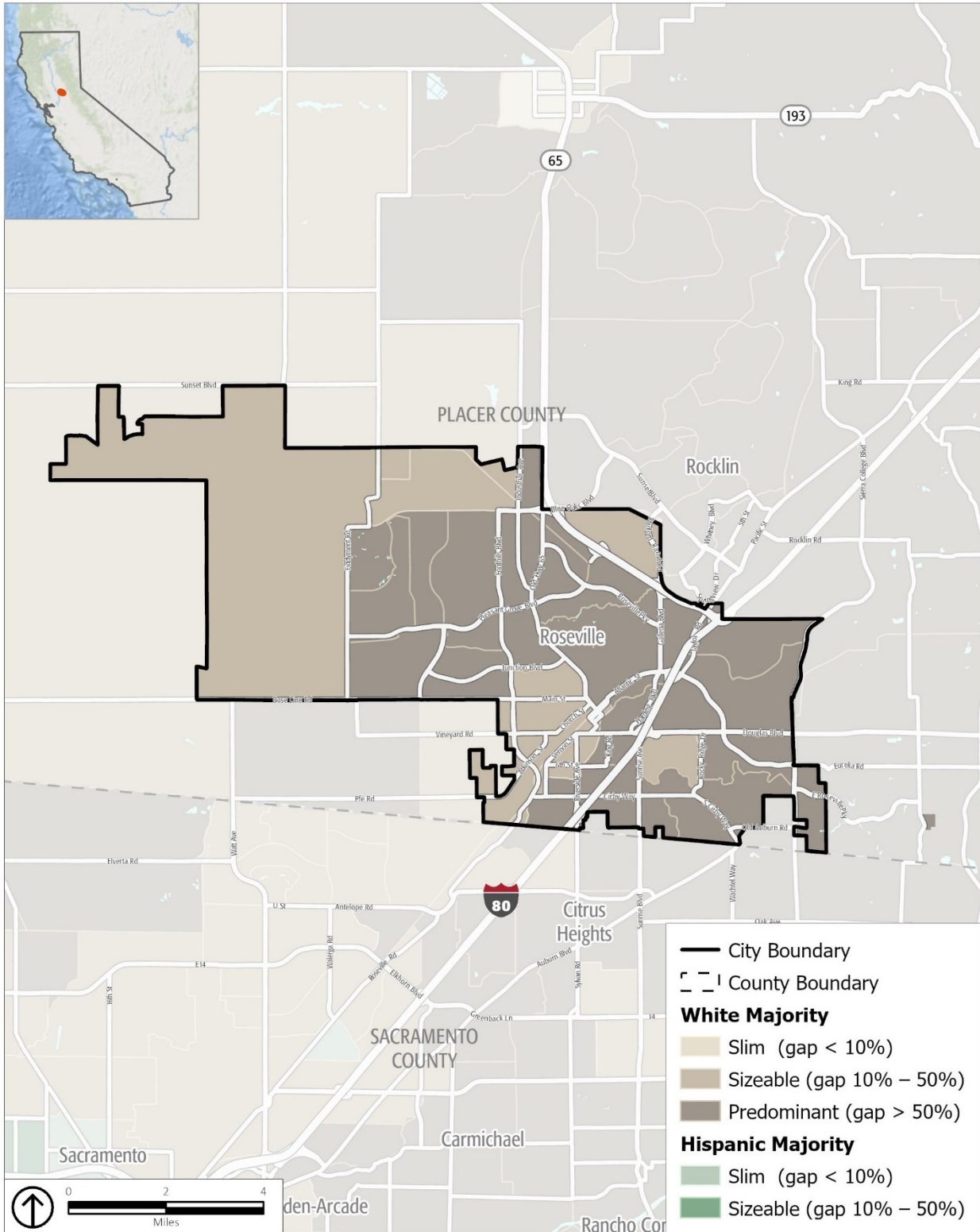
Figure X-4 | Racial Demographics, City of Roseville, 2018



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2018.



Figure X-5 | Racial Predominance by Census Tract, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2018.

### Dissimilarity Index

A common measure of the magnitude of segregation within a city or county is the dissimilarity index (DI). The DI measures the degree to which two specific groups are distributed across a geographic area. The DI varies between 0 and 100 and measures the percentage of one group that would have to move across neighborhoods to be distributed the same way as the second group. A dissimilarity index of 0 indicates conditions of total integration under which both groups are distributed in the same proportions across all neighborhoods. A dissimilarity index of 100 indicates conditions of total segregation such that the members of one group are located in completely different neighborhoods than the second group.

It is important to note that the DI provided by HUD uses non-Hispanic White residents as the primary comparison group. That is, all DI values compare racial and ethnic groups against the distribution of non-Hispanic White residents and do not directly measure segregation between two minority groups (e.g., Black and Hispanic segregation).

Figure X-6 shows the DI prepared for the Sacramento Valley Housing Collaborative as part of the AI. Overall, the DI shows that 15.92 percent of all “minority” households in the city would need to relocate neighborhoods in order to be evenly dispersed with non-Hispanic White households. Patterns of segregation are relatively low within Roseville. The AI notes that a low dissimilarity index (a measure of segregation) can sometimes occur because overall diversity is low, not because segregation is low. Since more than half of all residents in Roseville were non-Hispanic White in 2018 (68.5 percent; see Figure X-4) and most census tracts in the city are predominately white (see Figure X-5), low diversity levels in Roseville have resulted in a more evenly distributed population.

**Figure X-6 | Dissimilarity Index, Sacramento County**

Jurisdiction	Minority/NHW		Hispanic/NHW		Black/NHW		Asian/NHW	
	Dissimilarity Index	Rating	Dissimilarity Index	Rating	Dissimilarity Index	Rating	Dissimilarity Index	Rating
Citrus Heights	18.54	Low	20.64	Low	25.50	Low	18.52	Low
Elk Grove	27.10	Low	19.63	Low	28.80	Low	34.68	Low
Davis	17.96	Low	16.62	Low	21.90	Low	23.63	Low
Rancho Cordova	17.87	Low	18.52	Low	25.16	Low	36.80	Low
Roseville	15.92	Low	20.19	Low	19.41	Low	29.67	Low
Rocklin	12.74	Low	13.44	Low	21.48	Low	24.21	Low
Balance of Sacramento	36.41	Low	36.76	Low	48.52	Moderate	45.19	Moderate
City of Sacramento	37.80	Low	39.56	Low	44.92	Moderate	43.73	Moderate
W. Sacramento	19.26	Low	27.57	Low	29.52	Low	24.27	Low
Woodland	21.58	Low	22.69	Low	30.89	Low	39.69	Low

Note: NHW is Non-Hispanic White.

Source: Decennial Census 2010 pulled from the HUD Exchange and Root Policy Research.

### Familial Status

During the 2014–2018 ACS survey period, the City of Roseville had a higher proportion of family households with children (34.6 percent) compared to Placer County as a whole (29.5 percent). Figure X-7 displays the percentage of children in married couple households in Roseville compared to the rest of the region. Roseville census tracts have a generally high percentage of children in married couple households (more than 60 percent) in comparison to many



surrounding tracts in the region, but a lower percentage of children in married couple households than neighboring cities of Granite Bay and Loomis. The area with the lowest population of children in married couple households is the tract that contains the Timber Creek and Sierra Pine Golf Courses and the tracts along the Church Street and Vernon Street corridors.

Additionally, Roseville had a higher proportion of female headed households with children and no spouse present (5.3 percent) from 2014–2018 than Placer County (4.2 percent). Figure X-8 shows the regional distribution of the percentage of children in female-headed households with no spouse present. The map indicates that less than 20 percent of children in most census tracts throughout the city live in single-female headed households with a few census tracts that have up to 40 percent of children in single-female headed households.

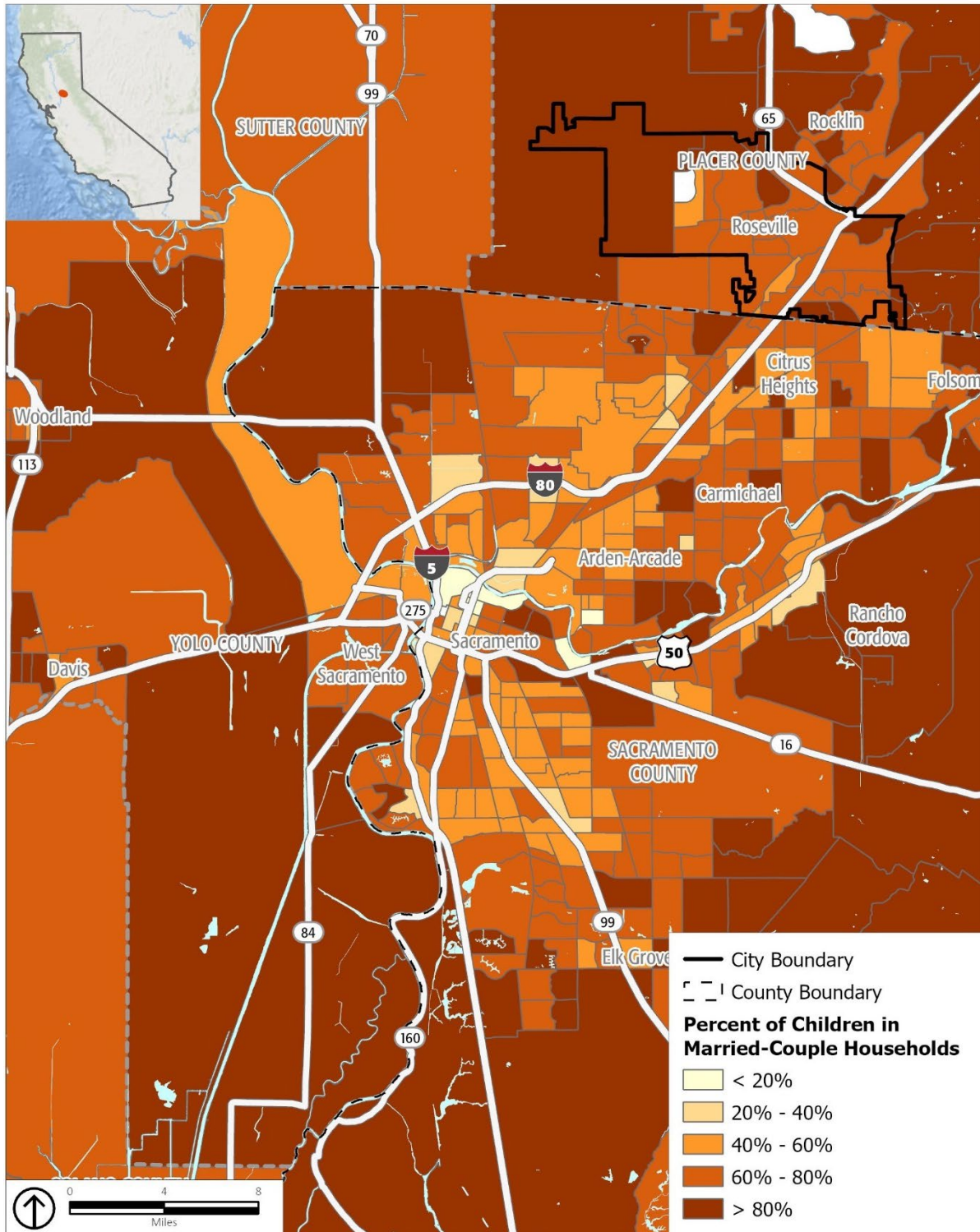
### **Disability**

The U.S. Census Bureau defines disability as one of the following: hearing difficulty, vision difficulty, cognitive difficulty, ambulatory difficulty, self-care difficulty, and independent living difficulty. Roseville has approximately 14,000 residents with disabilities, approximately 6,000 of whom have ambulatory disabilities.

Figure X-9 shows the population with a disability by census tract in the city using American Community Survey data from 2015–2019. Most census tracts have 20 percent or less of their population living with a disability. Many tracts in the northern part of the city have less than 10 percent of people living with a disability and tracts in the southern portion of the city have 20 percent or less with a disability. However, there is one census tract in western Roseville between Pleasant Grove Blvd and Blue Oaks Blvd where between 20 to 30 percent of the population is living with a disability. This is the location of Sun City Roseville, an age-restricted, managed community of more than 3,000 homes.

Residents with disabilities are twice as likely to live in poverty and in a regional survey conducted by for the AI, results showed that one in four households that include a member with a disability are precariously housed and one in three households with a mobility need are living in housing that does not meet those mobility needs. When asked what improvements or modifications were needed to meet accessibility needs, nearly half of respondents reported a lack of grab bars, and approximately a quarter indicated that service or support animals were prohibited, showers were not walk or roll-in, and reserved accessible parking was not near the entrance.

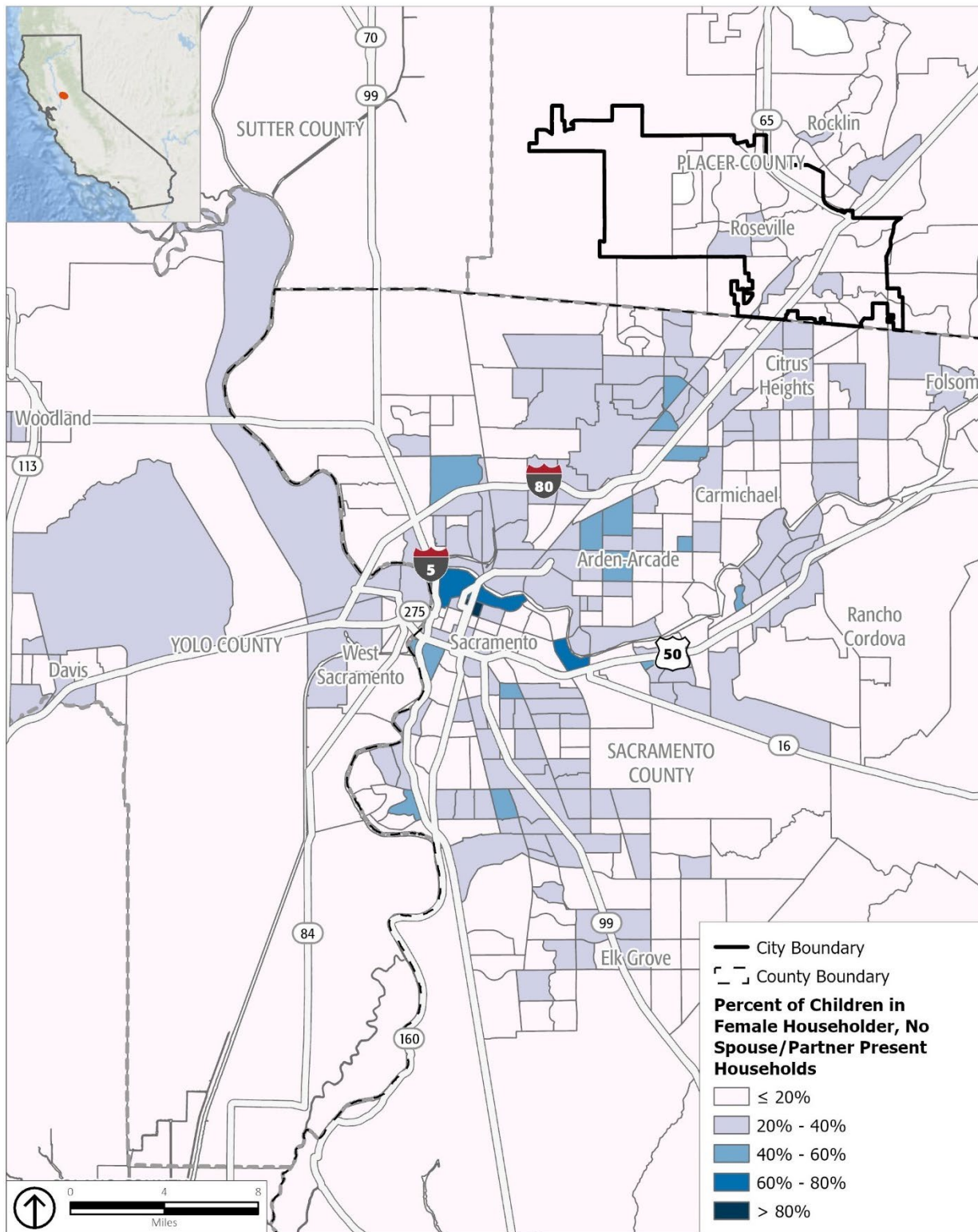
Figure X-7 | Percent of Children in Married Couple Households, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

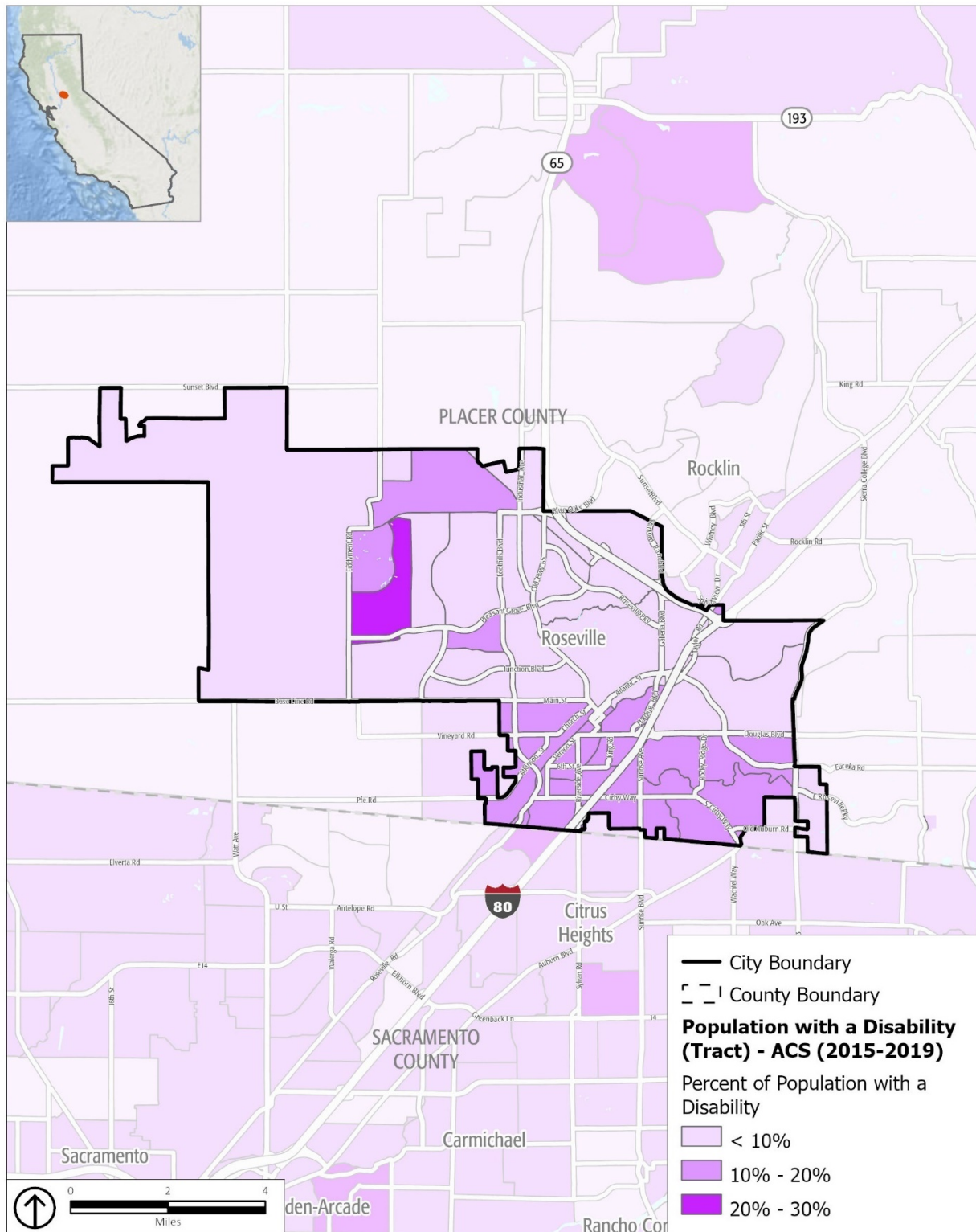


Figure X-8 | Percent of Children in Female-Headed Households, No Spouse Present, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

Figure X-9 | Percent of Population with a Disability, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.



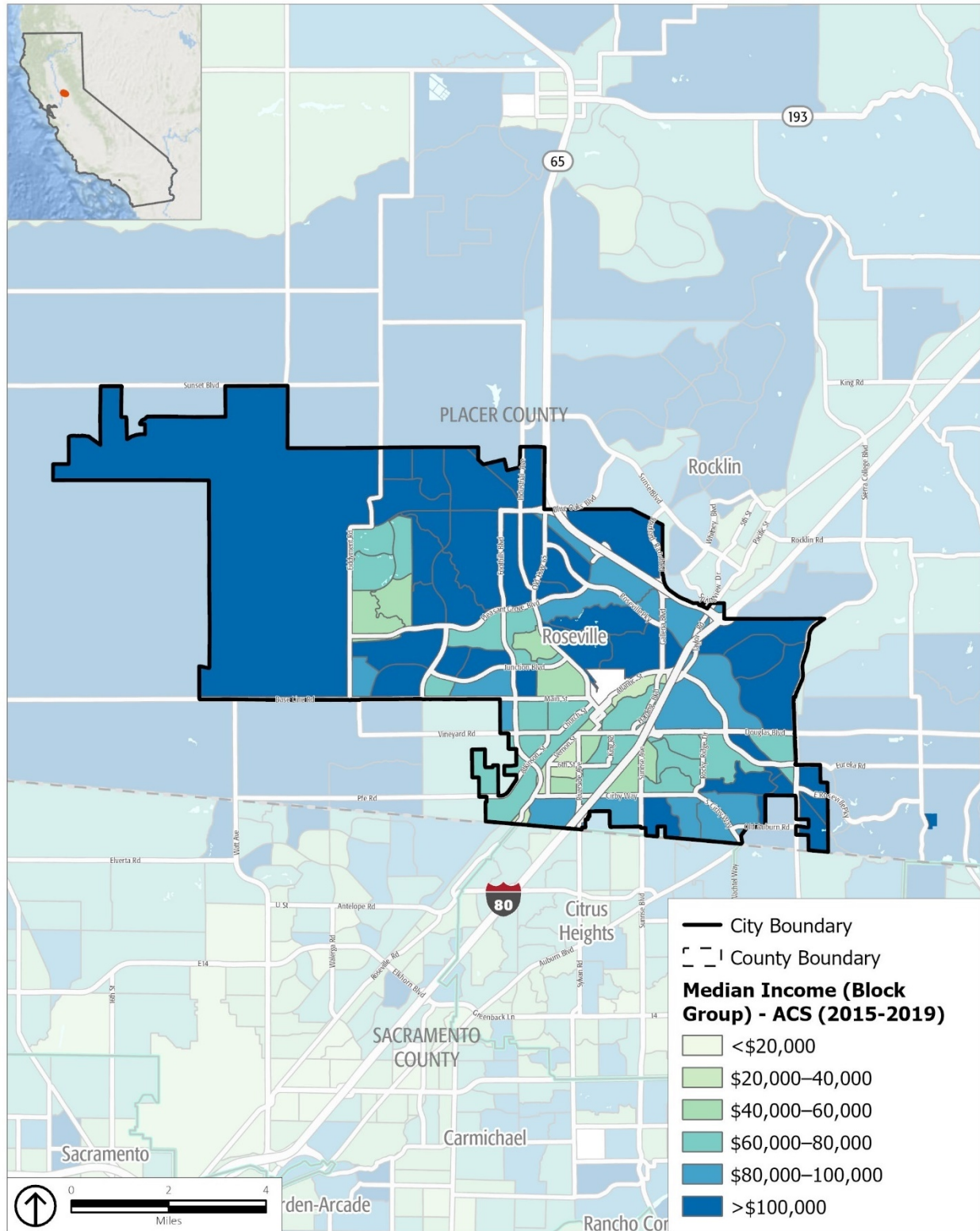
### Income

Income diversity describes the percentage of people within a community who fall within different income levels and it can help describe and define economic segregation. The AI study examined the proportion of people within low-income (below \$35,000 annually), middle-income (\$35,000–\$100,000), and high-income (above \$100,000) households. In 2016, the regional share of these households was 31 percent low-income, 43 percent middle-income, and 27 percent high-income and the City of Roseville share of these households was 21 percent low-income, 41 percent middle-income, and 39 percent high-income. As shown, the City has a higher proportion of high-income households than the region. However, more notable is the change since 2010. The City's middle-income households declined by 5 percentage points over this period while the high-income households increased by 4 percentage points. This should not be construed as describing upward mobility of middle-income families, as it is equally likely to describe the end result of increasing housing and other costs making it less affordable for middle-income families to remain in Roseville.

Figure X-10 below shows the geographic distribution of households by median household income by block groups in Roseville. Many block groups in the county have an income greater than or equal to the 2020 State Median Income (\$87,100). Households with the highest incomes mostly live in the northern part of the city near Rocklin while households with lower incomes are generally south of Base Line Road.

Figure X-11 further displays this information by showing the percentage of low to moderate income households by census tract. As displayed in the map, tracts with the highest percentage of low and moderate-income households are located in the southern part of the city between Foothills Boulevard and Interstate 80. The lowest percentages of low to moderate income households (or households with higher incomes) are located in the outer areas of the city north of Pleasant Grove Boulevard and into the Highland Park neighborhood. As shown in Figure X-12, which displays poverty status by census tract in the county, there are no areas in Roseville with more than 30 percent of the population below the poverty level. While poverty exists throughout the city, it is most concentrated in south Central Roseville between Interstate-80 and the railyards.

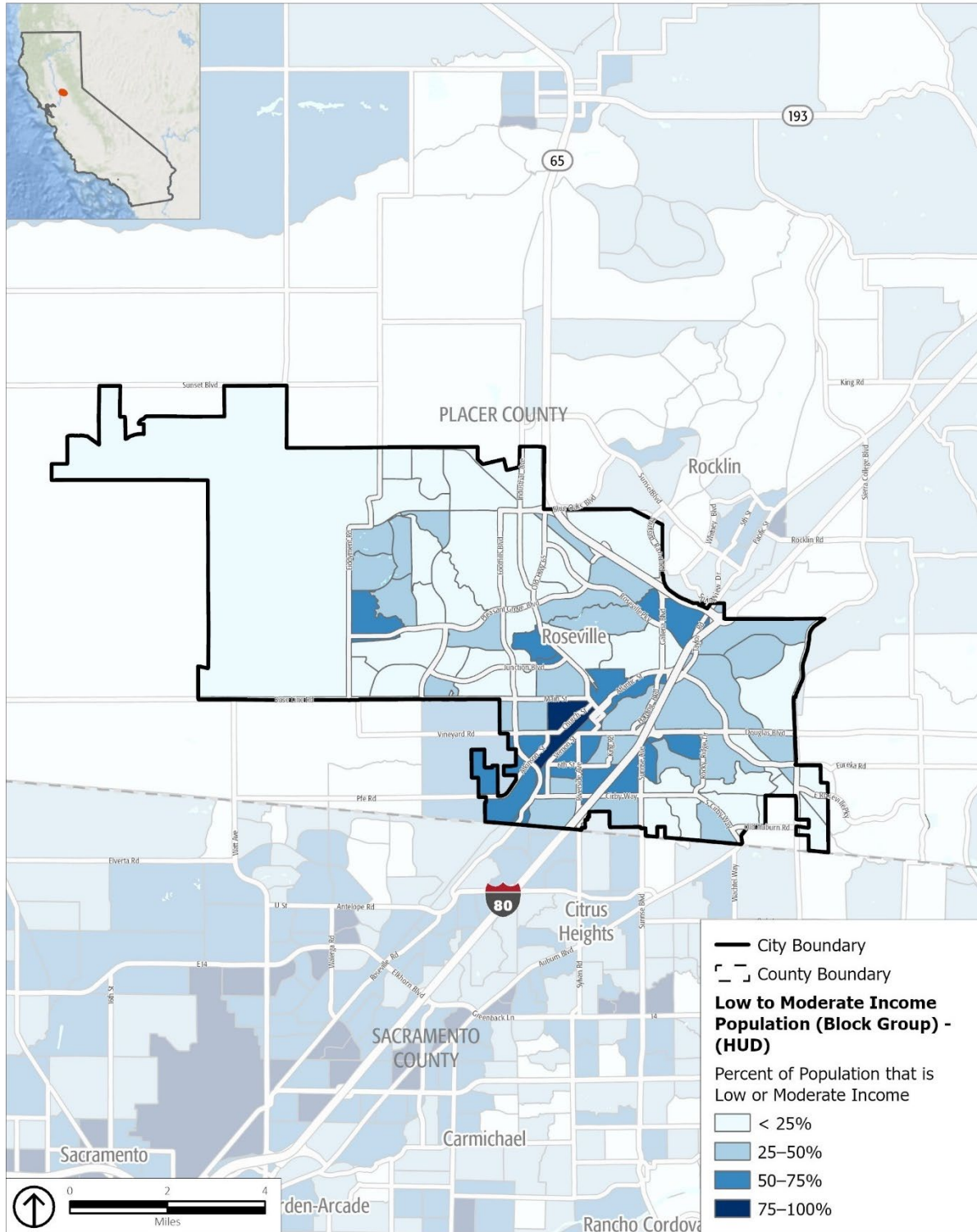
Figure X-10 | Distribution of Median Income by Block Group, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

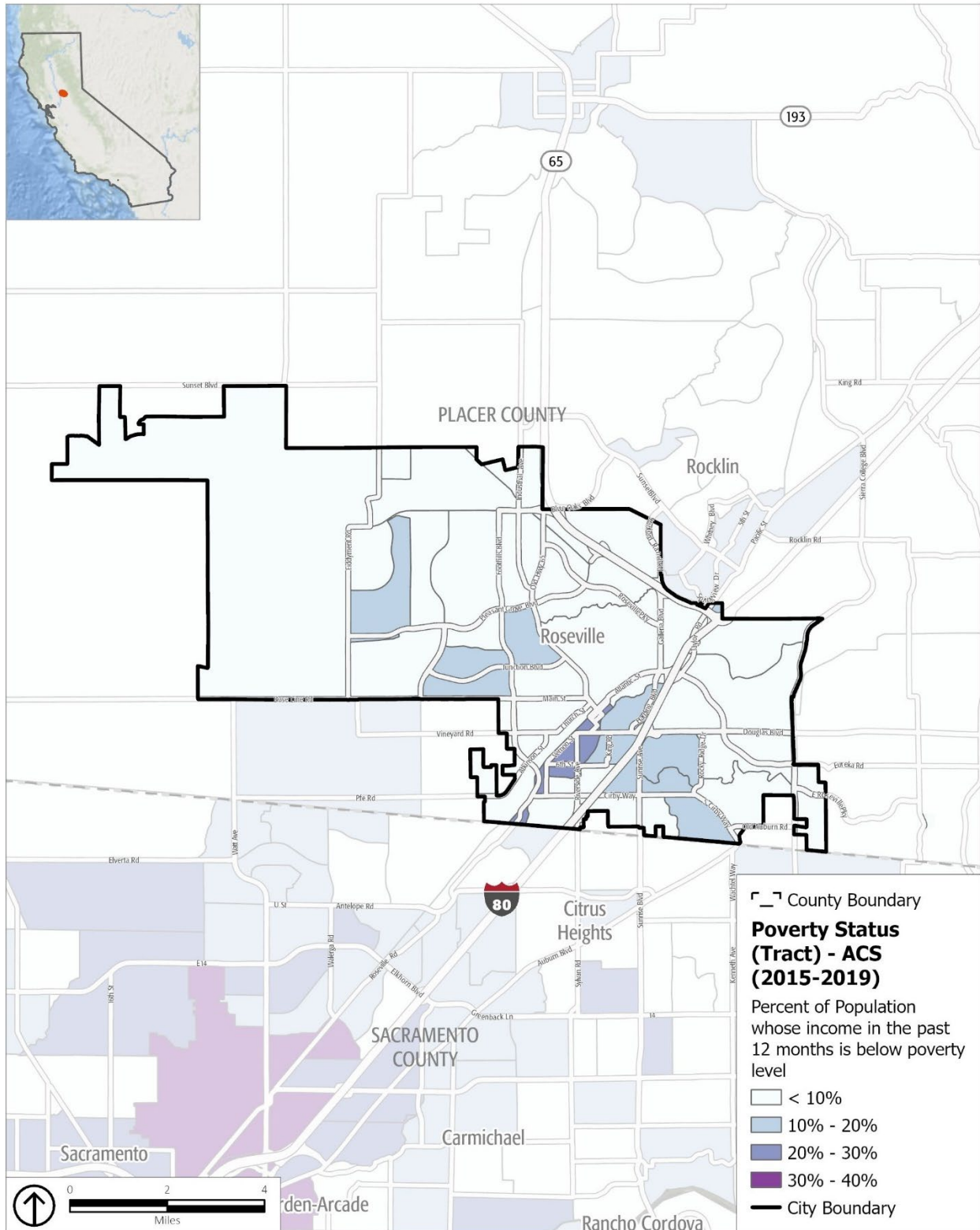


**Figure X-11 | Percent of Low to Moderate Income Households by Block Group, City of Roseville, 2015–2019**



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015-2019.

Figure X-12 | Poverty Status, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.



## RACIALLY AND ETHNICALLY CONCENTRATED AREAS BY INCOME

The rates of poverty have remained fairly stable in Roseville from the period of 2010 to 2016, with only a 1 percent increase in family households living in poverty during that time (and no increase in individuals living in poverty). The poverty rate in Roseville is 6 percent of all families, which is substantially lower than the regional average of 16 percent. However, poverty disproportionately impacts families of color in Roseville. In 2010, poverty affected Black families most starkly with 18 percent of these families living in poverty. By 2016, the poverty rate for Black families had improved to 10 percent, but remains higher than the 6 percent average for all families in Roseville. While conditions have improved for Black families, conditions have declined for Hispanic families. In 2010, the poverty rate for Hispanic families was 9 percent, and by 2016 it had risen to 17 percent.

### Racially or Ethnically Concentrated Areas of Poverty

HUD has developed a framework to examine economic opportunity at the neighborhood level, with a focus on communities of color. That focus is related to the history of racial and ethnic segregation, which often limited economic opportunity. “Racially or ethnically concentrated areas of poverty,” also known as R/ECAPs, are neighborhoods in which there are both racial concentrations and high poverty rates. According to HUD’s AFFH tool, as reported in the AI, the Sacramento Valley region had 22 R/ECAPs, most of which are located within the City of Sacramento. R/ECAPs also appear in Rancho Cordova, in unincorporated Sacramento County surrounding or adjacent to the city, and in Davis. The other jurisdictions, including the City of Roseville do not have any R/ECAPs.

Although Placer County jurisdictions have no R/ECAPs, there are some racially or ethnically concentrated areas experiencing housing cost burden. In south central Roseville, there is both a large concentration of Hispanic households and a high level of housing cost burden (over 58 percent of households in that census tract are burdened). In this area, the City has an active Owner-Occupied Rehab program to preserve older single-family homes. The Housing Element also includes a new program to target outreach for first-time home-buyer assistance opportunities into this area of the City.

### Racially or Ethnically Concentrated Areas of Affluence

Although HCD and HUD have not established standard definitions for Racially or Ethnically Concentrated Areas of Affluence (RCAAs), they are generally understood to be neighborhoods in which there are both high concentrations of non-Hispanic White households and high household income rates. Comparing the City of Roseville relative to the surrounding Sacramento region, Roseville has a greater presence of higher income levels and lower diversity than other incorporated cities. As was discussed previously and shown in Figure X-5, non-Hispanic Whites are the predominant racial/ethnic group throughout Roseville. Additionally, the median household income in most census tracts throughout the city is equal to or greater than the 2020 State Median Income, and several census tracts have a median household income above \$100,000 (see Figure X-10). Predominately white neighborhoods with higher incomes are generally located near the northern central city, indicating a local RCAA.

## ACCESS TO OPPORTUNITY

Across the nation, affordable housing has been disproportionately developed in minority neighborhoods with high poverty rates, thereby reinforcing the concentration of poverty and racial segregation in low opportunity and low resource areas. HCD in coordination with the California Tax Credit Allocation Committee (TCAC) has developed “opportunity indices” to assess and measure geographic access to opportunities. For this assessment, the opportunity index prepared by HCD and TCAC is used to analyze access to opportunity in Roseville. Access to opportunity is measured by access to healthy neighborhoods, education, employment, and transportation.

### AI Findings

The AI examined the United States Department of Housing and Urban Development (HUD) opportunity indicators, local and regional needs assessment, and findings from community engagement surveys and reports. The study thoroughly examined many opportunity factors and evaluated access based on intersecting factors such as race and ethnicity, tenure (e.g. renter or homeowner), income, disability, and other factors. The primary findings pertinent to Roseville indicate that the City is an area of high opportunity. Residents have access to high quality schools and

economically strong neighborhoods with major employment centers and labor market engagement, and report healthy neighborhood indicators as being higher than the regional average. The UC Davis Regional Opportunity Index also indicates that Roseville is an area of high opportunity.

Regionally, African American residents and Hispanic residents are least likely to have access to economically strong (low poverty) neighborhoods. Among residents in poverty, the gap in access by race and ethnicity narrows, but still persists. African American, Hispanic, and Native American residents of Sacramento and Hispanic and Native American residents of West Sacramento are least likely among all regional residents to have access to economically strong neighborhoods. Elk Grove, Rocklin, Roseville, and Davis residents are most likely to have access to economically strong neighborhoods, and there are not significant differences in access by race or ethnicity. Among residents in poverty in these cities, the likelihood of living in an economically strong neighborhood drops, but overall, disparities by race or ethnicity do not grow.

In general, residents of Rocklin, Roseville, Davis, and Elk Grove are most likely to have access to proficient schools. With the exception of Roseville, there are no meaningful differences in access to proficient schools by race or ethnicity in these communities. In Roseville, Asian residents are most likely to have access to proficient schools, and Hispanic and Native American residents are least likely; this gap widens among residents in poverty.

Regionally and within each jurisdiction, residents somewhat agree with the statement, *“All neighborhoods in my area have the same quality of parks and recreation facilities.”* Residents of Davis, Roseville, Rocklin, and Elk Grove more strongly agree that park and recreation facility quality is the same throughout their community. Resident survey respondents living in Davis, Roseville, Rocklin, Elk Grove, and Woodland tend to rate each healthy neighborhood indicator higher than the regional average.

### **HCD/TCAC Opportunity Areas**

HCD and TCAC prepare opportunity maps to determine areas with the highest and lowest resources. The TCAC/HCD Opportunity Maps are intended to display the areas, according to research, that offer low-income children and adults the best chance at economic advancement, high educational attainment, and good physical and mental health. The primary function of TCAC is to oversee the Low-Income Housing Tax Credit (LIHTC) Program, which provides funding to developers of affordable rental housing. The opportunity maps play a critical role in shaping the future distribution of affordable housing in areas with the highest opportunity.

According to the HCD/TCAC 2020 Opportunity Areas Composite Score (Figure X-13), the majority of the city’s census tracts are considered high or highest resource. These high and highest resource areas are generally concentrated on the western and eastern ends of the city. Specifically, much of the city’s western neighborhoods have many vacant greenfield parcels and, thus, are ideal for future development. In contrast, there are only two low resource areas in south central Roseville between Interstate-80 and the railyards.

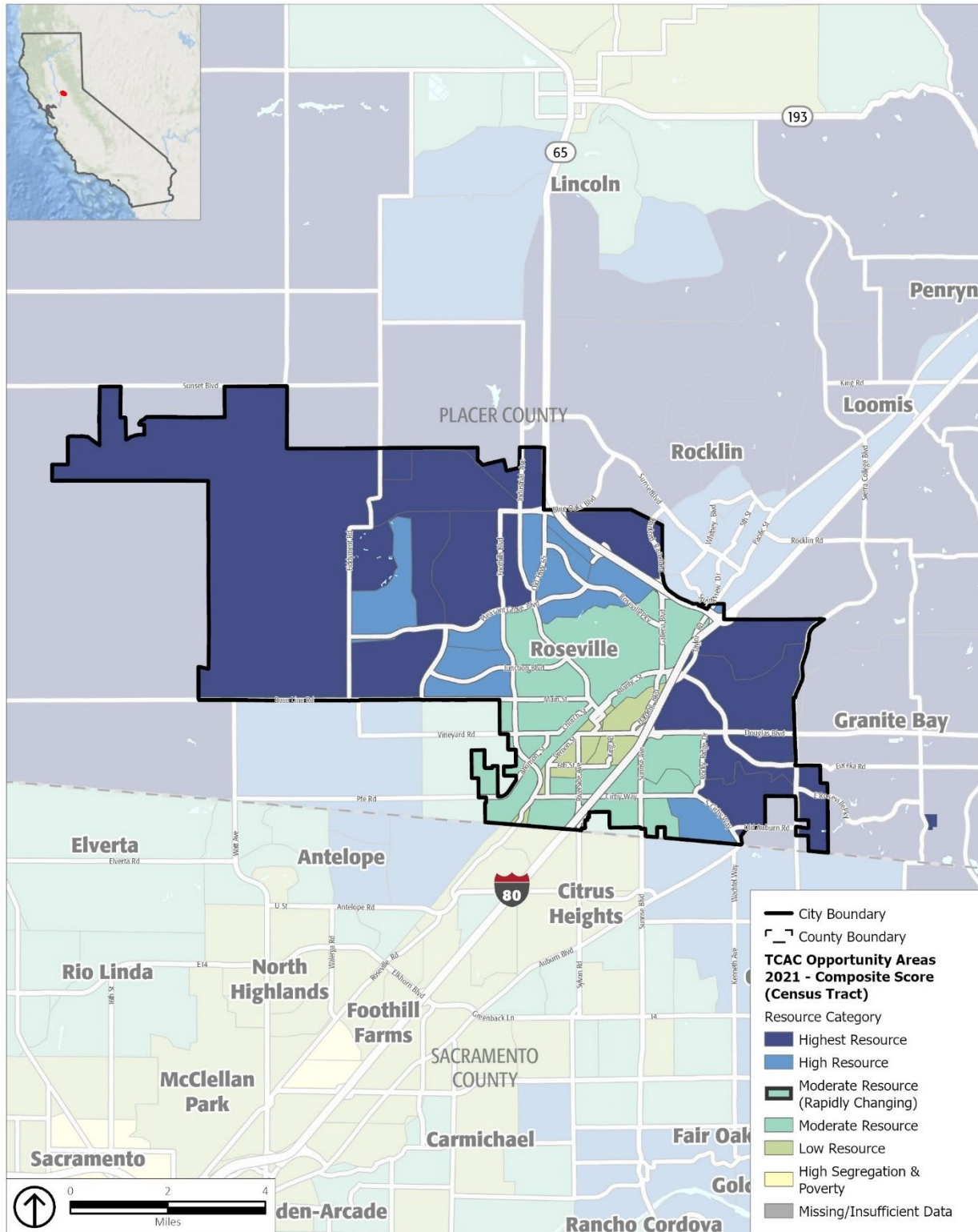
The City of Roseville’s overall high opportunity scores were a significant contributing factor to the City’s RHNA. The lower income housing allocation for each jurisdiction was adjusted based on methodologies addressing job-housing balance (the relationship between the number of low wage jobs and the availability of affordable housing), regional income parity (the amount of low-income households compared to the regional average), and affirmatively furthering fair housing (high opportunity areas). For Roseville, all three factors resulted in substantial increases in the City’s allocation. These three factors resulted in the City receiving 1,265 additional lower income units as part of its allocation, increasing the proportion of the City’s lower income RHNA from 40.7% to 51.2% of the total allocation.

### **Educational Opportunity**

Most of Roseville has high education scores, particularly areas on the western and eastern ends of the City. Figure X-14 shows that only one small area of the city near the railyards has an education score less than or equal to 0.25, indicating the least positive educational outcomes. The neighborhoods surrounding Westfield Galleria and the Roseville Square Shopping Center also have lower education scores compared to the rest of the city. In comparison to the region, Roseville generally has lower education scores than neighboring Granite Bay and Rocklin, but higher education scores than neighboring Citrus Heights and unincorporated Sacramento County.



Figure X-13 | TCAC Opportunity Areas – Composite Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021.

## Proximity to Jobs

The 2014–2017 U.S. Department of Housing and Urban Development's (HUD) job proximity index quantifies the accessibility of a given neighborhood to all jobs within a core-based statistical area (CBSA), which tend to be larger in size and don't follow city boundaries. CBSAs are anchored by an urban center of at least 10,000 along with adjacent counties that are socioeconomically tied to the urban center by commuting. In this case, the CBSA encompasses the cities of Roseville, Sacramento and Elk Grove. Index ratings for Roseville (see Figure X-15) show the closest proximity to jobs in the eastern and central areas of the city where there are more employment centers, and these index scores generally decline for census tracts farther away from these employment clusters. In fact, there are a few census tracts on the western end of the city with a job index of less than or equal to 20, which means that those residents have the furthest proximity to jobs. Note that the far western side of the City is mapped as having a moderate job index, but this is because this portion of the City is within a very large census tract. The southern boundary of the tract is the Sacramento County line, the northern boundary follows the creek just south of Moore Road, and the western boundary is the Sutter County line. As a consequence, this census tract—and by extension the westernmost area of the City—has a job index of moderate, even though this area of the City should have a low jobs proximity score. In comparison to the region, Roseville generally has greater job opportunity index scores than the neighboring cities of Rocklin, Loomis, Lincoln, Granite Bay, and Citrus Heights.

## Access to Transportation

HUD has developed the Low Cost Transportation Index, which estimates the percentage of income that residents use to pay for transportation. The higher an area's index score, the lower the cost of transportation, which can be influenced by factors such as access to public transportation, housing density, and proximity of employment centers and other services. As a whole, Roseville has an average score of 62, meaning it has lower transportation costs than 62 percent of the nation. In comparison, the average score for California is 66, the average for Sacramento County is 66, and the average score for Placer County is 53, meaning Roseville has higher costs than the statewide average and Sacramento County, but lower costs than the rest of Placer County. As shown in Figure X-16, the parts of Roseville that are nearest to I-80, the multimodal transit station (which includes Greyhound, local bus, commuter bus, and Amtrak service), and State Highway 65 have higher index scores (59–78) than the rest of the city and therefore lower transportation costs. Costs could also be lower because these areas are in closer proximity to services and employment centers like the Westfield Galleria at Roseville. In contrast, there are lower scores in the western portion of the city (40–58) and southeastern corner (21–39). These areas are further away from employment centers, and the western area of the City is in a newly developing area where transit options and frequency are currently lower.

## Environmental Conditions

Lower-income housing and racially segregated communities are disproportionately impacted by a combination of locational factors such as proximity to landfills, freeways, industrial areas, and other toxins and pollutants. A 2016 report entitled "Poverty Concentration and the Low Income Housing Tax Credit (LIHTC): Effects of Siting and Tenant Composition" studied whether nationally the LIHTC affects the concentration of poverty. The study examined who lives in tax credit developments in different neighborhoods, and how neighborhoods and metropolitan areas change after LIHTC developments are built. The study concluded that the distribution of affordable housing has been disproportionately developed in neighborhoods with predominantly Non-White communities, poor environmental conditions, and high poverty rates which thereby reinforce poverty concentration and racial segregation in low opportunity and low resource areas. The links between health and housing strongly indicate that improved housing and neighborhood environments could lead to reductions in health disparities.

TCAC and HCD measured environmental opportunity using the exposure, pollution burden, and environmental effect indicators used in California's Office of Environmental Health Hazard Assessment CalEnviroScreen 3.0 tool. CalEnviroScreen 3.0 is a statewide risk assessment tool that measures the cumulative impacts of multiple sources of pollution. As shown in Figure X-17, the City of Roseville has moderately positive environmental scores. The areas in and surrounding the central core of the City, had the lowest environmental scores (less than 0.25) indicating the least positive environmental conditions. This is likely due to the presence of the Union Pacific Railroad tracks and the railyard in this area, which are associated with lowered air quality. Other portions of the City had lower environmental scores of 0.25 to 0.50 and are shown in yellow on the map. This includes the large area to the west of Fiddymont



Road, which is home to the Pleasant Grove Waste Water Treatment facility. The highest scoring neighborhoods in the western areas of the City are west of Foothills Boulevard and north of Junction Boulevard. In the eastern City, the areas with the greatest environmental scores are east of Sunrise Avenue.

The statewide average score is 0.49, Placer County's average score is 0.70, Sacramento County's average score is 0.43, and Roseville's average score is 0.63. Placer County's high average score is strongly driven by the rural foothill and mountain areas that make up a significant portion of Placer County, and have very high environmental quality scores. Roseville's score is higher than the state average and Sacramento County's average, and is close to the Placer County average, despite the fact that Roseville is a more urban environment. Therefore, the City does not have a higher average burden than the region.

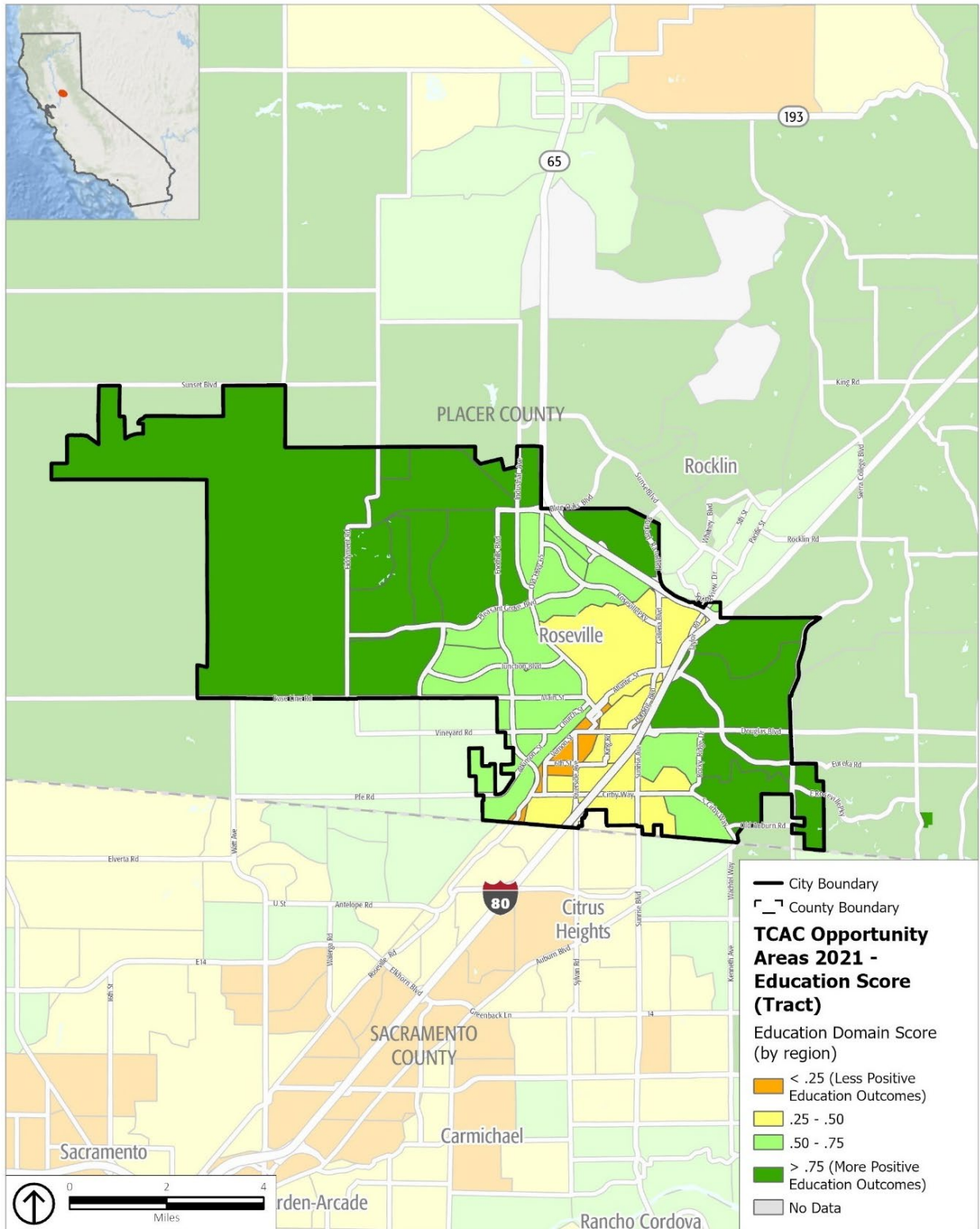
## DISPROPORTIONATE HOUSING NEEDS

An analysis of disproportionate housing needs identifies how access to the housing market differs for members of protected classes and whether such differences are related to or the effects of discriminatory actions. For the disproportionate housing need analysis, a "housing problem" is defined as units having incomplete kitchen or plumbing facilities, more than 1 person per room, and households with cost burdens greater than 30 percent (where costs include utilities, insurance, HOA fees, and property taxes). "Severe" housing problems include all of the above except that the cost burden is greater than 50 percent.

The AI found that 39 percent of households in Roseville experience housing problems and 18 percent experience severe housing problems. Analyzing the problems by race and ethnicity showed that Black households are most likely to experience housing problems (49 percent) and severe housing problems (39 percent) in the region. However, in Roseville, there is less variation of housing problems between race and ethnicity when compared to the region overall. In general, housing burdens are not spatially concentrated in Roseville. However, south central Roseville has both a large concentration of Hispanic households and high proportion of households that are cost-burdened (over 58 percent of households).

Resident surveys and focus groups conducted for the AI found significant differences in the housing challenges experienced by members of protected classes within the region. Among the greatest concerns for most residents, specifically members of protected classes, were rent increases, inability to buy a home, and concern for property taxes. Additionally, households that include a member with a disability experience distinctive challenges related to modifications to the home and/or accommodations from a landlord or housing provider.

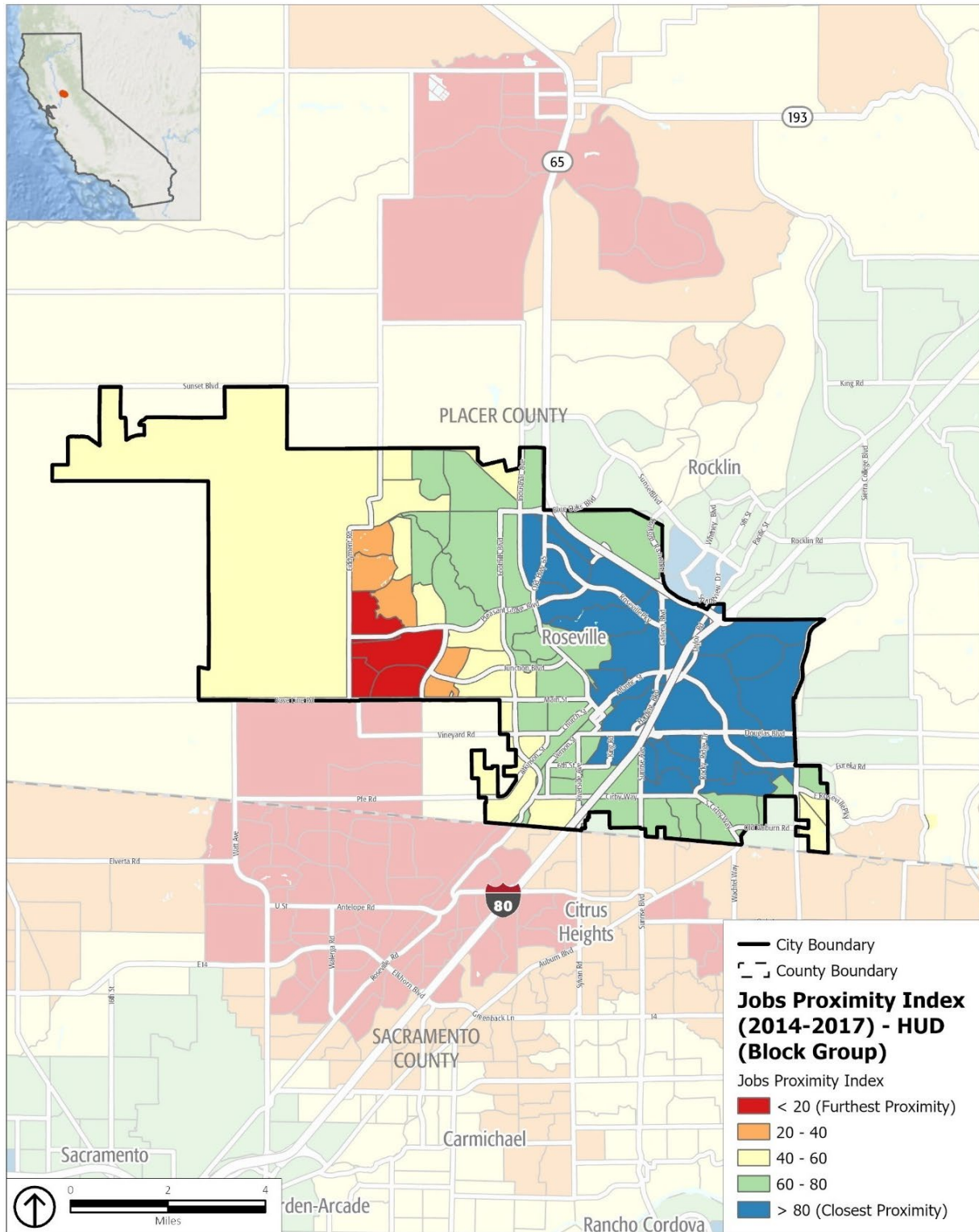
Figure X-14 | TCAC Opportunity Areas – Education Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021.

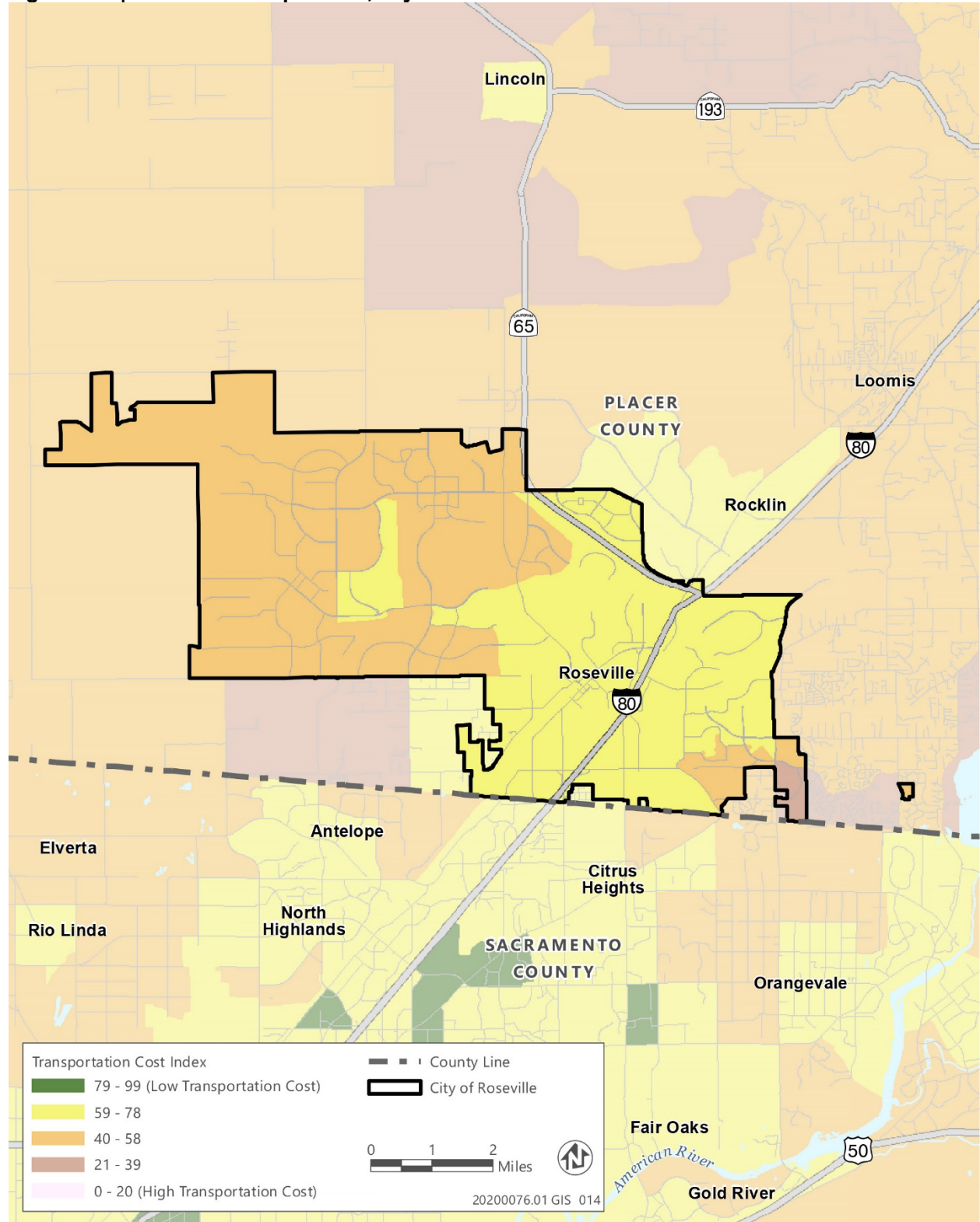


Figure X-15 | Jobs Proximity Index, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, 2021. HUD, 2014-2017. Longitudinal Employer-Household Dynamics, 2014.

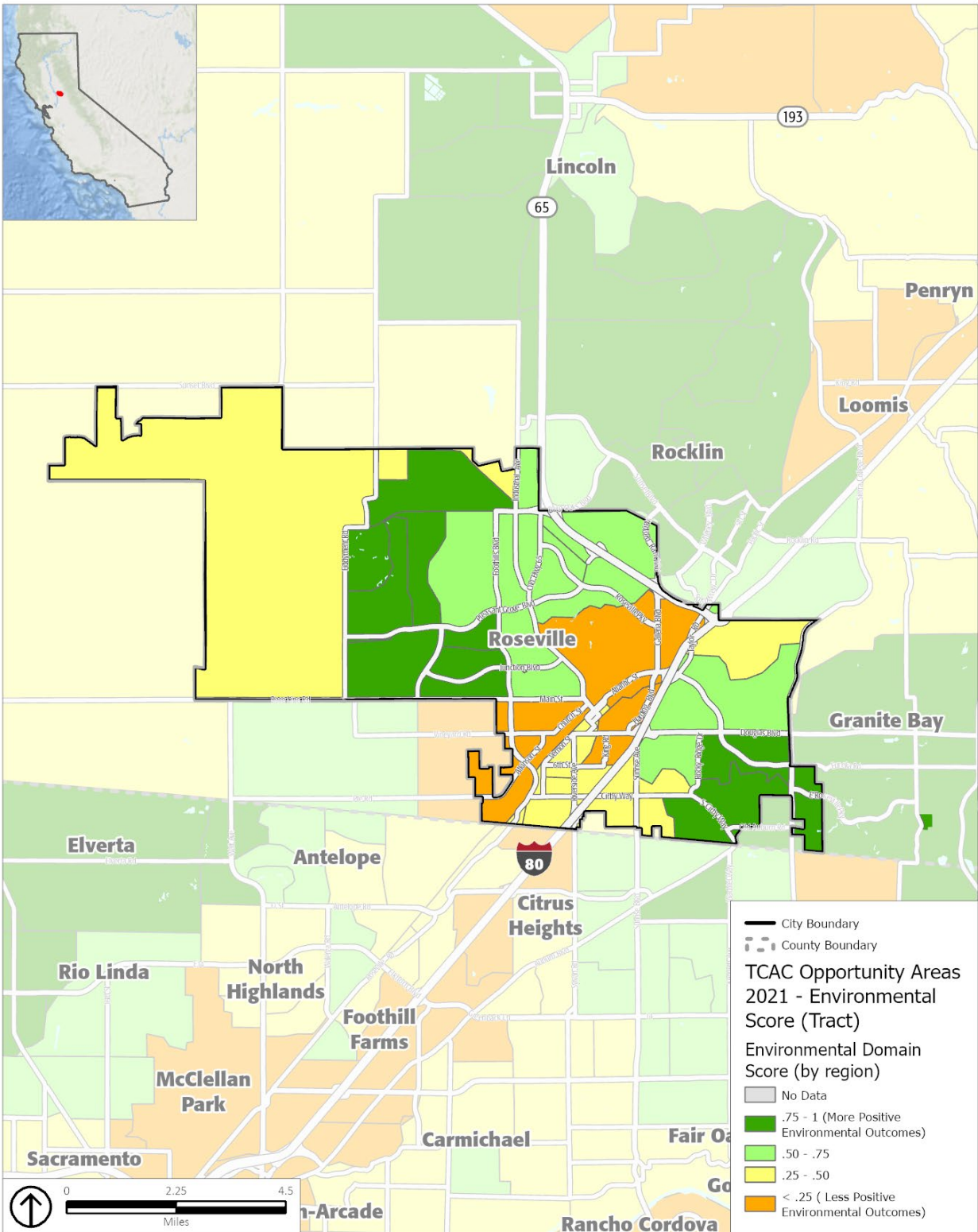
Figure X-16 | Access to Transportation, City of Roseville



Source: HUD Low Cost Transportation Index, 2020



Figure X-17 | TCAC Opportunity Areas – Environmental Score, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, TCAC and HCD Opportunity Areas 2021

**Overpayment**

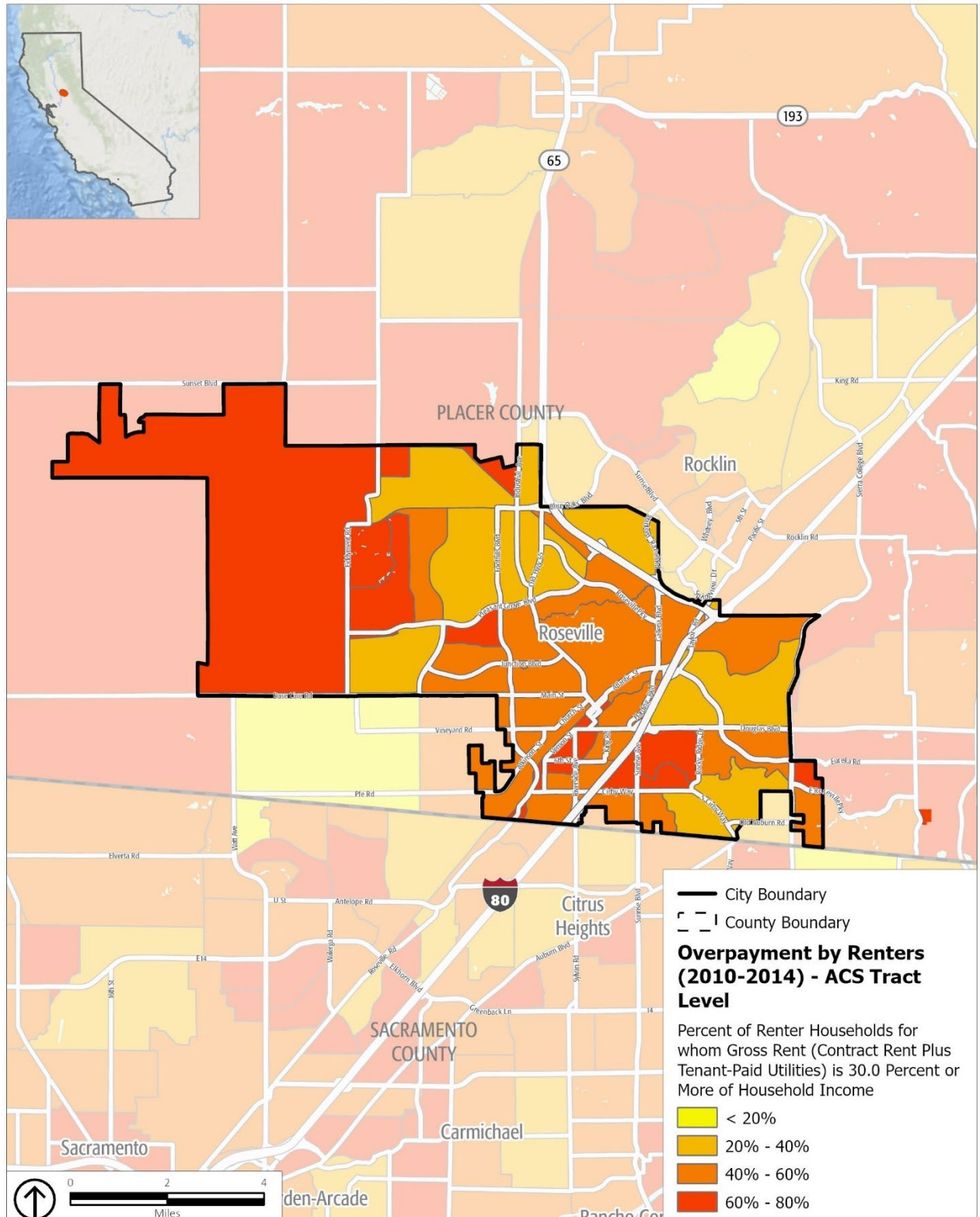
As previously described, overpayment or cost burden is defined as households paying more than 30 percent of their gross income on housing related expenses, including rent or mortgage payments and utilities. As shown in Table X-7, 24 percent of all lower income households in Roseville were cost-burdened in 2017.

Renters in the city were significantly more burdened with overpayment compared to homeowners, with 41.6 percent of lower-income renters burdened by housing costs compared to 14.4 percent of lower income homeowners. Figures X-18 and X-19 show the trends of overpayment for renters in the city between 2010–2014 and 2015–2019, respectively. In most of the central city, 40–60 percent of renters per census tract are housing cost-burdened. Since 2014, trends of overpayment in the city for renters have varied with some census tracts seeing an increase in cost-burden while others seeing a decrease in cost-burden. There was a greater presence of housing cost burden in the far western area of the city between 2010 and 2014 and these rates of cost burden decreased from 2015–2019. This could be because a number of homes and apartments in this area were built during the City's market peak, creating higher rents than in surrounding neighborhoods with older buildings. With the crash of the housing market and recession in 2008, residents in this area for the next few years (2009–2012) were likely dealing with shrinking wages and/or job loss but the same high costs for housing. Between 2010 and 2019, many renters experiencing overpayment or severe overpayment in the far west area of the city could have been displaced and moved to other neighborhoods in the city due to economic and market pressures.

Figures X-20 and X-21 show overpayment trends for homeowners in the city between 2010–2014 and 2015–2019, respectively. Fewer homeowners are currently overpaying for housing throughout the city, compared to the 2010–2014 period. About 20–40 percent of homeowners have consistently been overpaying for housing since 2010.

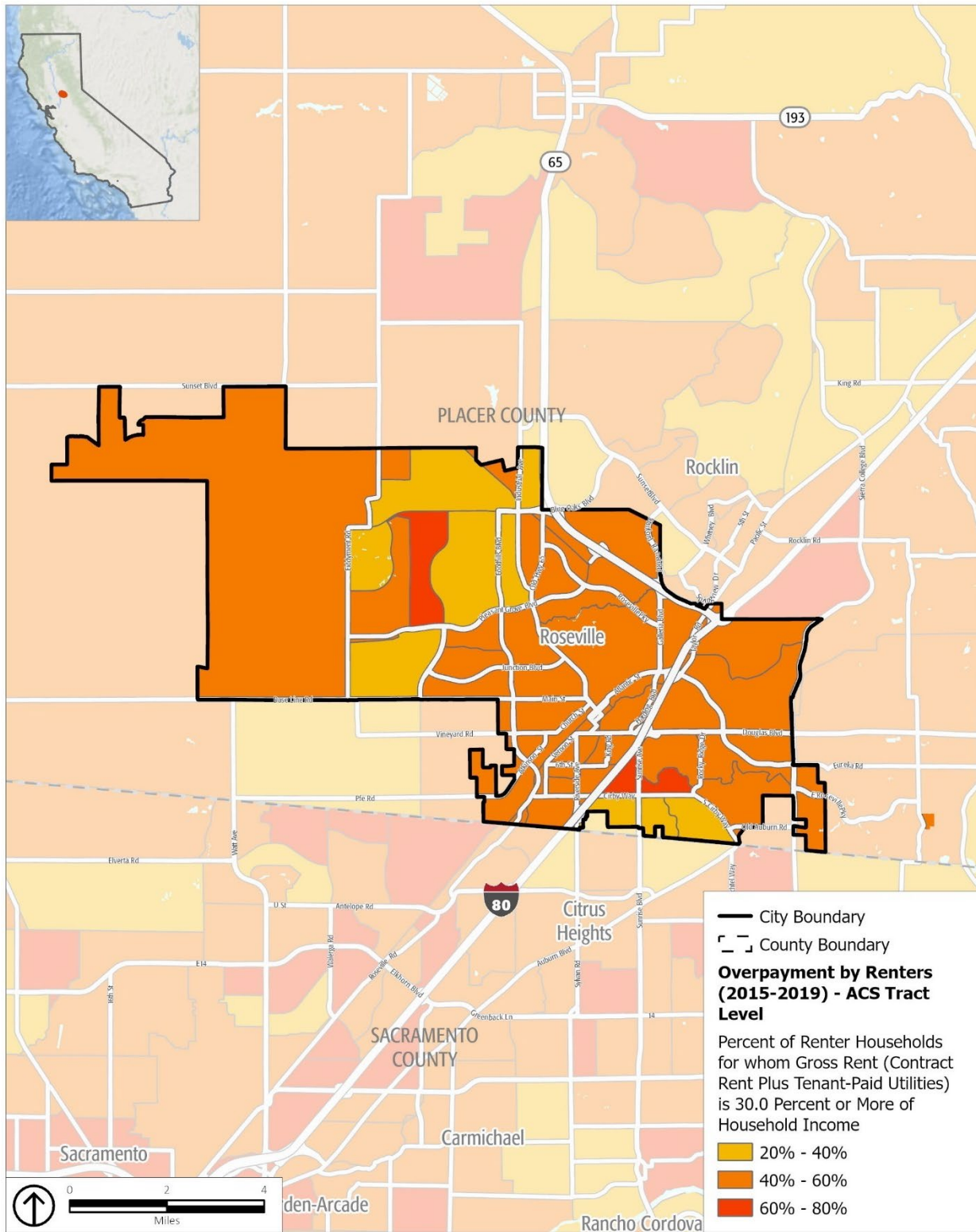


Figure X-18 | Overpayment by Renters, City of Roseville, 2010–2014



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2010–2014.

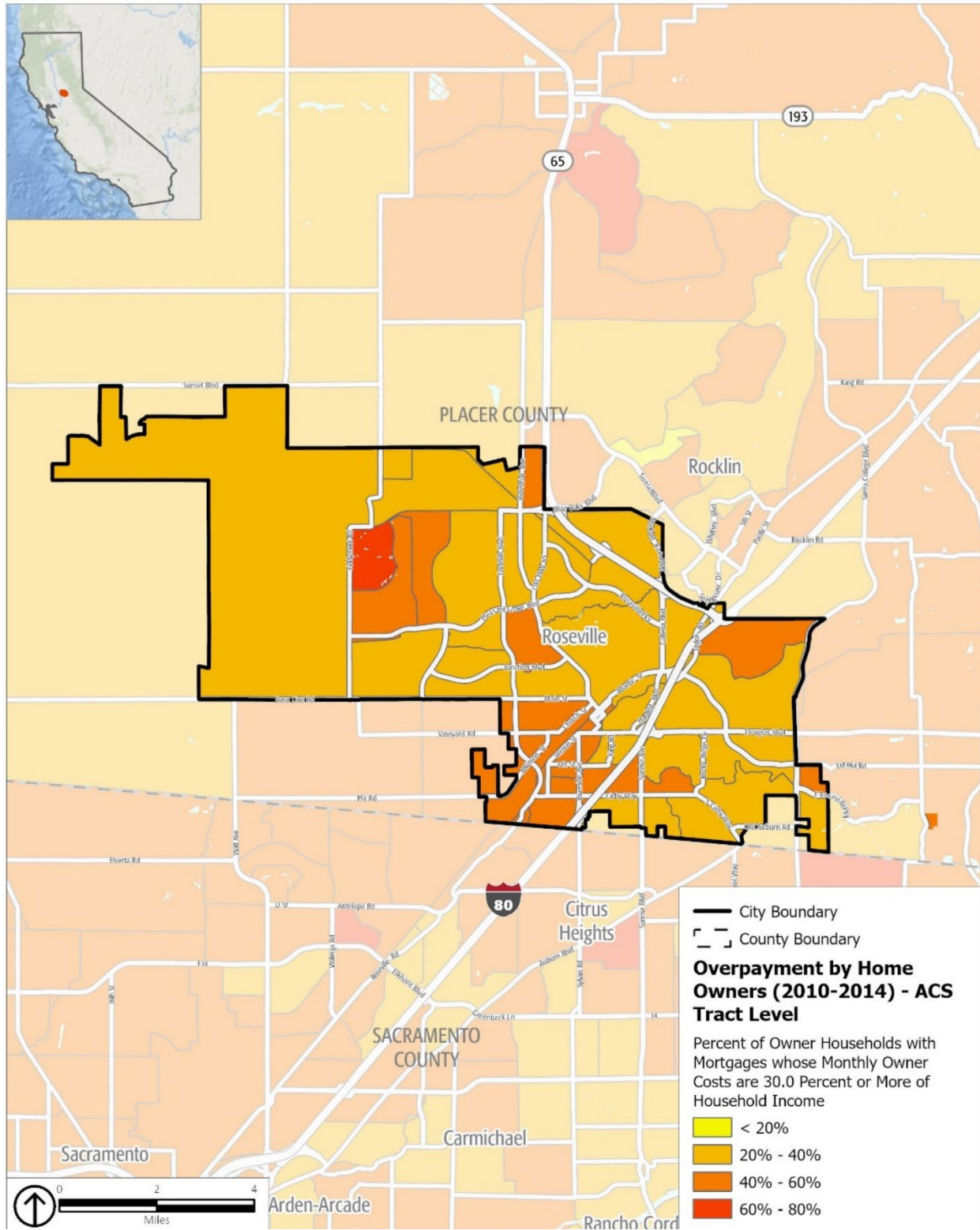
Figure X-19 | Overpayment by Renters, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.

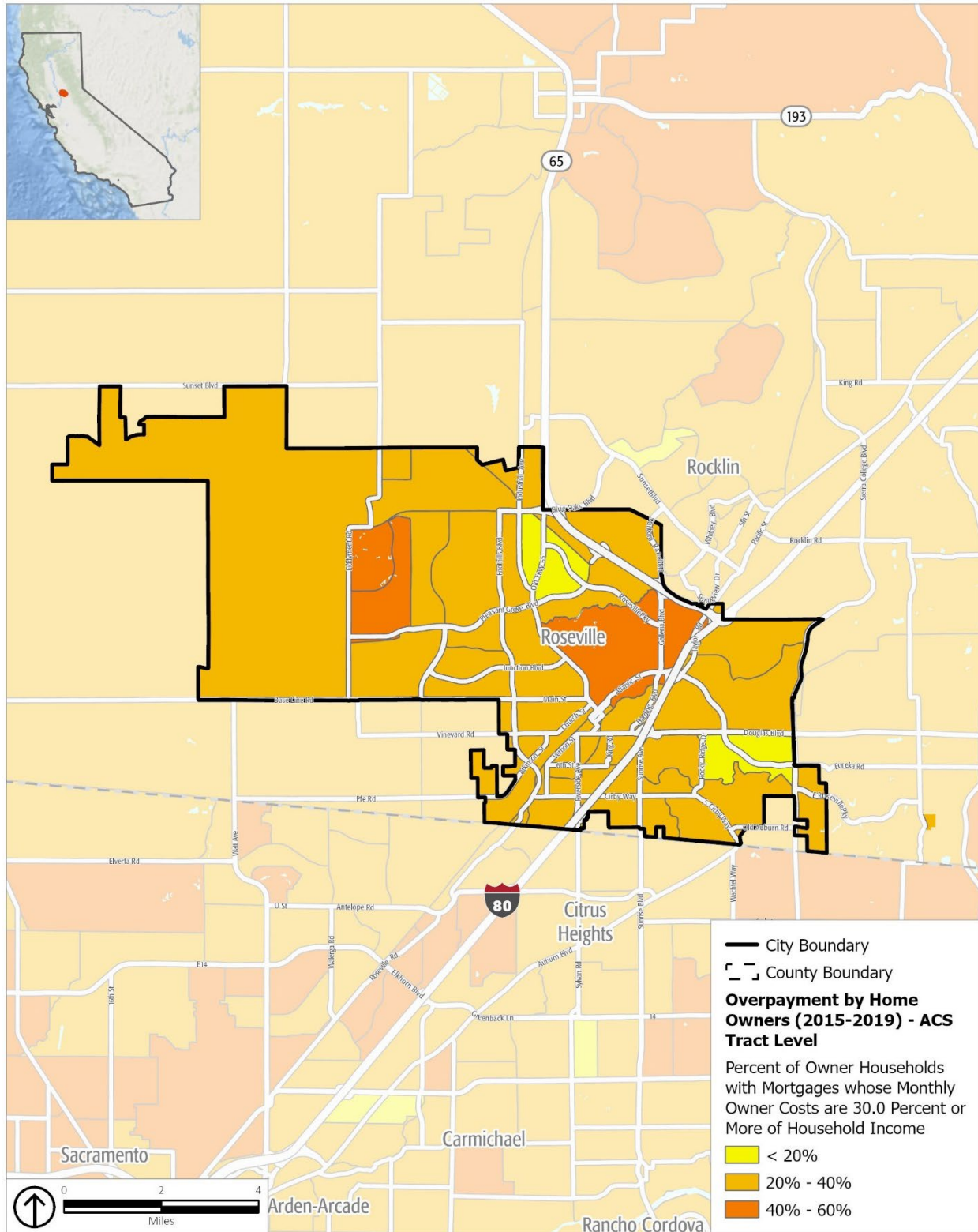


Figure X-20 | Overpayment by Homeowners, City of Roseville, 2010–2014



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2010–2014.

Figure X-21 | Overpayment by Homeowners, City of Roseville, 2015–2019



Source: HCD AFFH Data Resources and Mapping Tool, U.S. Census American Community Survey 2015–2019.



### Overcrowding

The average household size in Roseville is 2.65 persons, closely resembling that of Placer County (2.68 persons). Overcrowding of residential units, in which there is more than one and half persons per room, can be a potential indicator that households are experiencing economic hardship and are struggling to afford housing. According to CHAS data from 2013–2017, 3 percent of renter households and less than one percent of owner households are overcrowded. Figure X-22 shows the trends of overcrowded households in the city by census tract. All tracts in the city are less than or equal to the statewide average of 8.2 percent except the tract west of south central Roseville, near Interstate-80 and the railyards, where up to 15 percent of households are experiencing overcrowding.

### Housing Condition

The Housing Condition Survey (see Figure X-1) examined houses within neighborhoods which were developed before 1980, as these homes are more than 40 years old and would require maintenance in order to avoid visible deterioration. The majority of units (72%) were found to be in sound condition, 21% needed minor repairs, 6.5% required moderate repairs, and 0.5% needed substantial rehabilitation. Although the survey identified that 7% of homes need moderate repairs or better, which is relatively low, this need is located in areas with other burden factors. The City's older neighborhoods with homes built prior to 1980 are located in the south central area of the City, which is the area of the City with the highest concentration of poverty, a large concentration of Hispanic households, a high level of housing cost burden (over 58 percent of households in that census tract are burdened), and there are two low resource areas. For these reasons, the City has focused several programs in this area of the City, including the City's Housing Rehabilitation Program, First-Time Homebuyer Program, and Community Block Grant funds.

### Displacement Risk

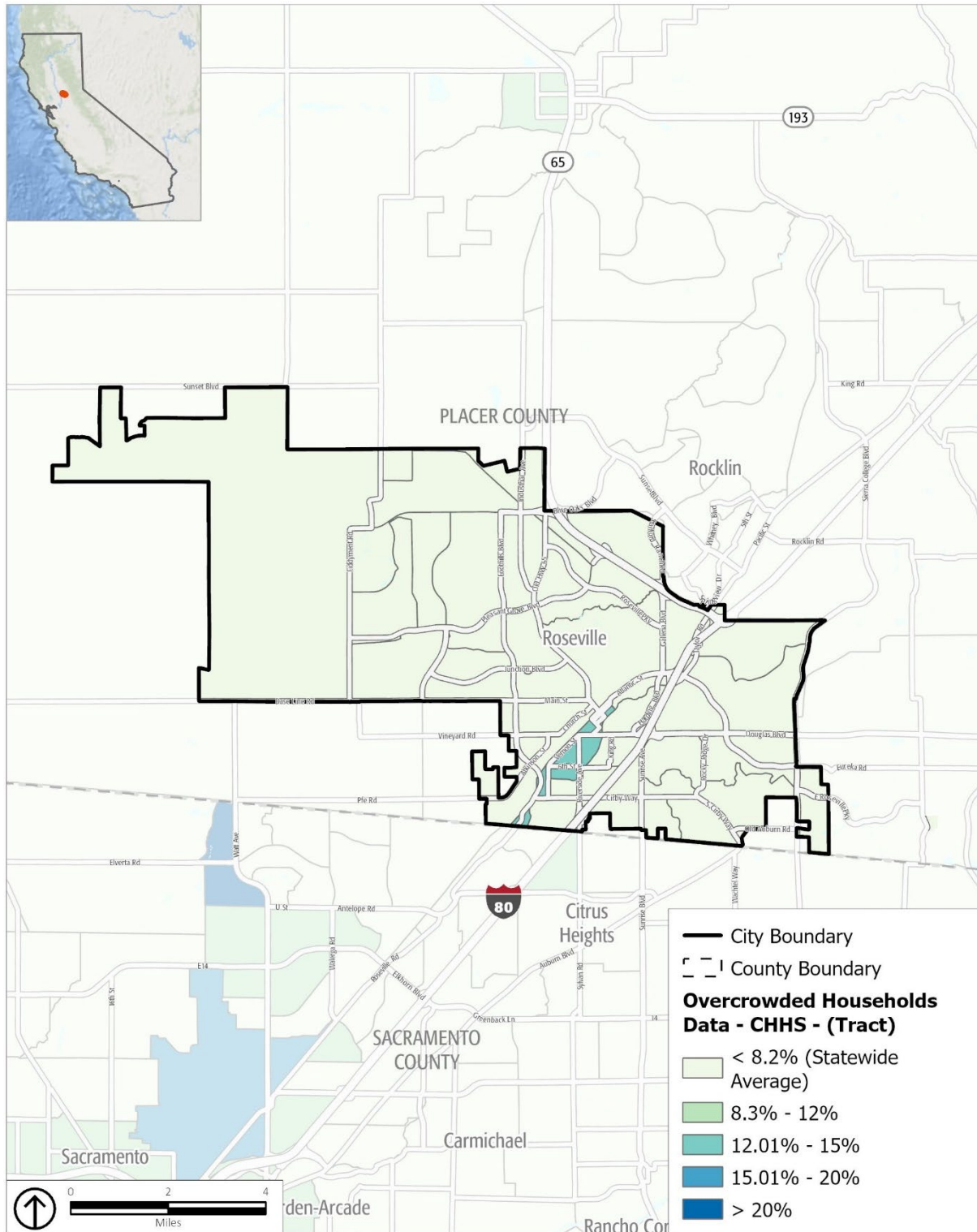
Regionally, one in four (25 percent) survey respondents had been displaced from a housing situation in the Sacramento Valley in the past five years. The most common reasons for displacement were: rent increased more than I could pay, personal reasons, landlord selling home, and living in unsafe conditions. African American, Hispanic, and Native American respondents, large families, households with children, and respondents whose household includes a member with a disability all experienced higher displacement rates than regional survey respondents overall. While displacement rates are higher, the reasons for displacement are generally the same as those of regional respondents.

Areas with higher populations of renters and lower income households are particularly susceptible to displacement in the face of market-based pressures at the neighborhood-level. According to the UC Berkeley Urban Displacement Project, a census tract is a sensitive community if it meets the following criteria as both vulnerable and experiencing market-based displacement pressure:

1. Proportion of very low-income residents was above 20 percent in 2017; and
2. The census tract meets two of the following criteria:
  - a. Share of renters is above 40 percent in 2017;
  - b. Share of people of color is above 50 percent in 2017;
  - c. Share of very low-income households (50 percent AMI or below) that are also severely rent burdened households is above the county median in 2017; or
  - d. Nearby areas have been experiencing displacement pressures.

According to these metrics, nine census tracts in Roseville are susceptible to displacement because of the high proportion of households that are renters and low to moderate income (see Figure X-23). The census tracts susceptible to displacement in the future are the neighborhoods in the southern part of the city, along Douglas Blvd and Interstate-80, and in central neighborhoods around the Sierra View Country Club and Diamond Oaks Golf Course.

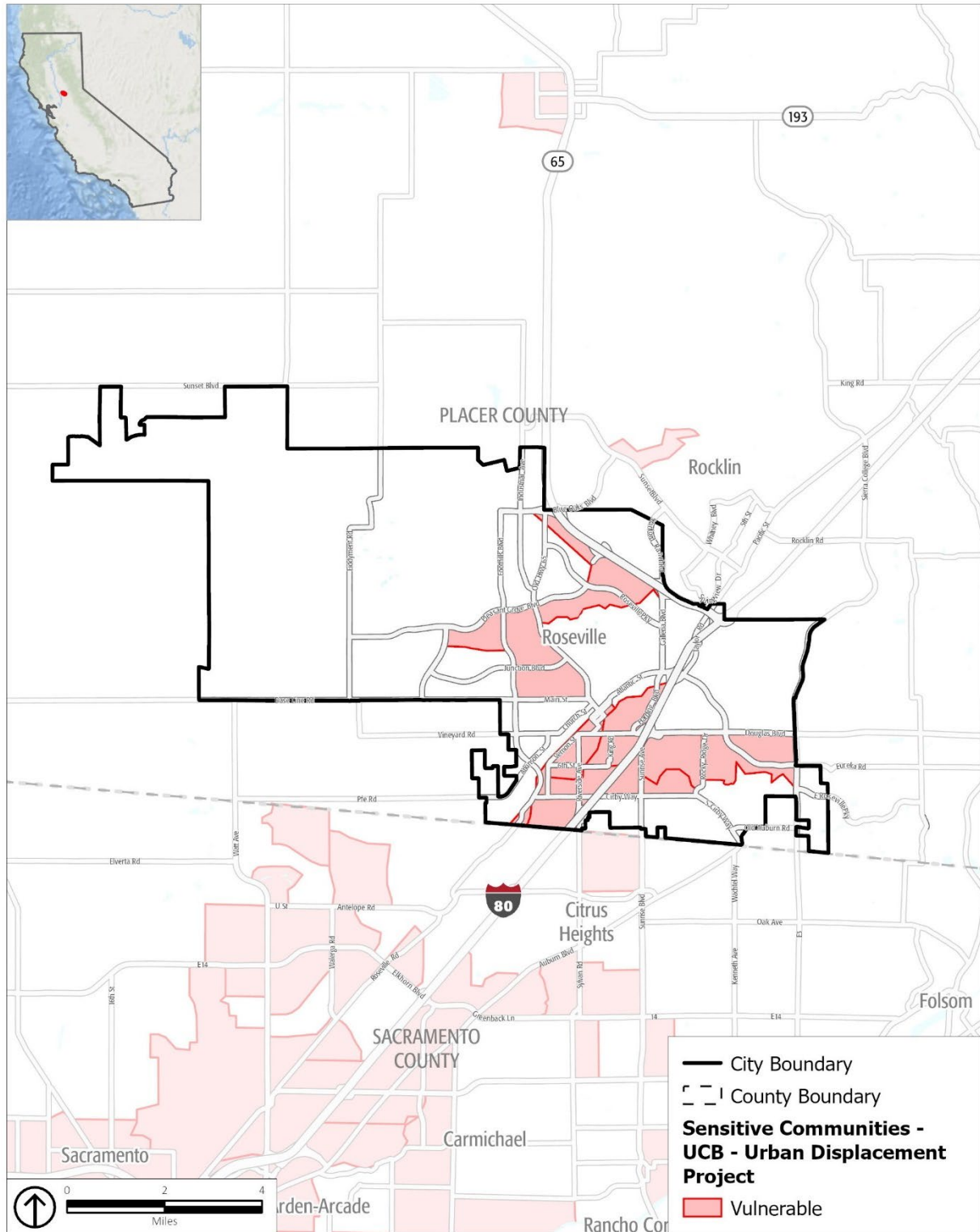
Figure X-22 | Overcrowded Households, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, HUD 2011–2015.



Figure X-23 | Communities Sensitive to Displacement, City of Roseville



Source: HCD AFFH Data Resources and Mapping Tool, Urban Displacement Project, 2021.

### Rates of Homeownership

Another measure of historical segregation is rates of homeownership among different racial and ethnic groups. For the majority of households in the U.S., owning a home is the single-most important factor in wealth-building.

Homeownership is also thought to have broader public benefits, and therefore for nearly 100 years the federal government has subsidized ownership through various means. Yet these incentives for ownership have been in place far longer than the existence of fair lending and fair housing protections, meaning that the financial and other benefits of homeownership have not been equally realized for all protected classes. This explains some of the reason for homeownership disparities today, in addition to the now-illegal practices of redlining, steering, blockbusting, unfair lending, and discriminatory pricing.

Homeownership is a powerful vehicle for counteracting rising housing prices and the effects of gentrification and displacement, especially for lower-income households. Although the citywide homeownership rate was 65.8 percent in 2019, not all racial and ethnic groups in Roseville had the same likelihood of owning a home. As shown in Table X-32 below, residents who identified as non-Hispanic White or Asian had much higher rates of homeownership than the citywide average. In contrast, residents who identified as any other racial or ethnic group had much lower rates of homeownership and, thus, they are at higher risk of displacement from rising rental prices. In Roseville, Black and Hispanic households have considerably lower rates of homeownership (48%) than either Non-Hispanic White (66%) or Asian (72%) households.

While Roseville has disparate rates of homeownership, the disparities between Black and Non-Hispanic White households are less than every other studied jurisdiction (in some cases substantially so) and the disparities between Hispanic and Non-Hispanic White households are less than half of studied jurisdictions. To help further narrow this disparity in homeownership, the Housing Element includes a new program to target outreach for the first-time home-buyer assistance into neighborhoods with a high concentration of Hispanic households, as Hispanic households make up the largest minority group in Roseville (15.2 percent).

**TABLE X-32 | HOUSING TENURE BY RACE/ETHNICITY**

	Owner Occupied		Renter Occupied		Total Occupied Units
	Number	Percent of Total	Number	Percent of Total	Number
White non-Hispanic	25,363	68.1%	11,886	31.9%	37,249
Black	489	43.0%	648	57.0%	1,137
Asian	3,193	74.1%	1,115	25.9%	4,308
Native Hawaiian and Other Pacific Islander	108	56.0%	85	44.0%	193
American Indian and Alaskan Native	121	37.0%	206	63.0%	327
Some other Race	517	47.6%	570	52.4%	1,087
Multiracial (Two or more races)	973	61.0%	623	39.0%	1,596
Hispanic or Latino	2,842	49.2%	2,934	50.8%	5,776
<b>TOTAL OCCUPIED</b>	<b>32,848</b>	<b>65.8%</b>	<b>17,095</b>	<b>34.2%</b>	<b>49,943</b>

Source: U.S. Census, American Community Survey 5 Year Estimates 2015-2019, Table S2502.

## OTHER RELEVANT FACTORS

### Mortgage Loan Access

In addition to housing burdens, unequal mortgage loan access also contributes to disproportionate housing needs. Despite efforts to reform long-standing practices of discrimination in the American housing credit system, widespread patterns of inequality still exist today. The recession and housing crisis made apparent the unusually high

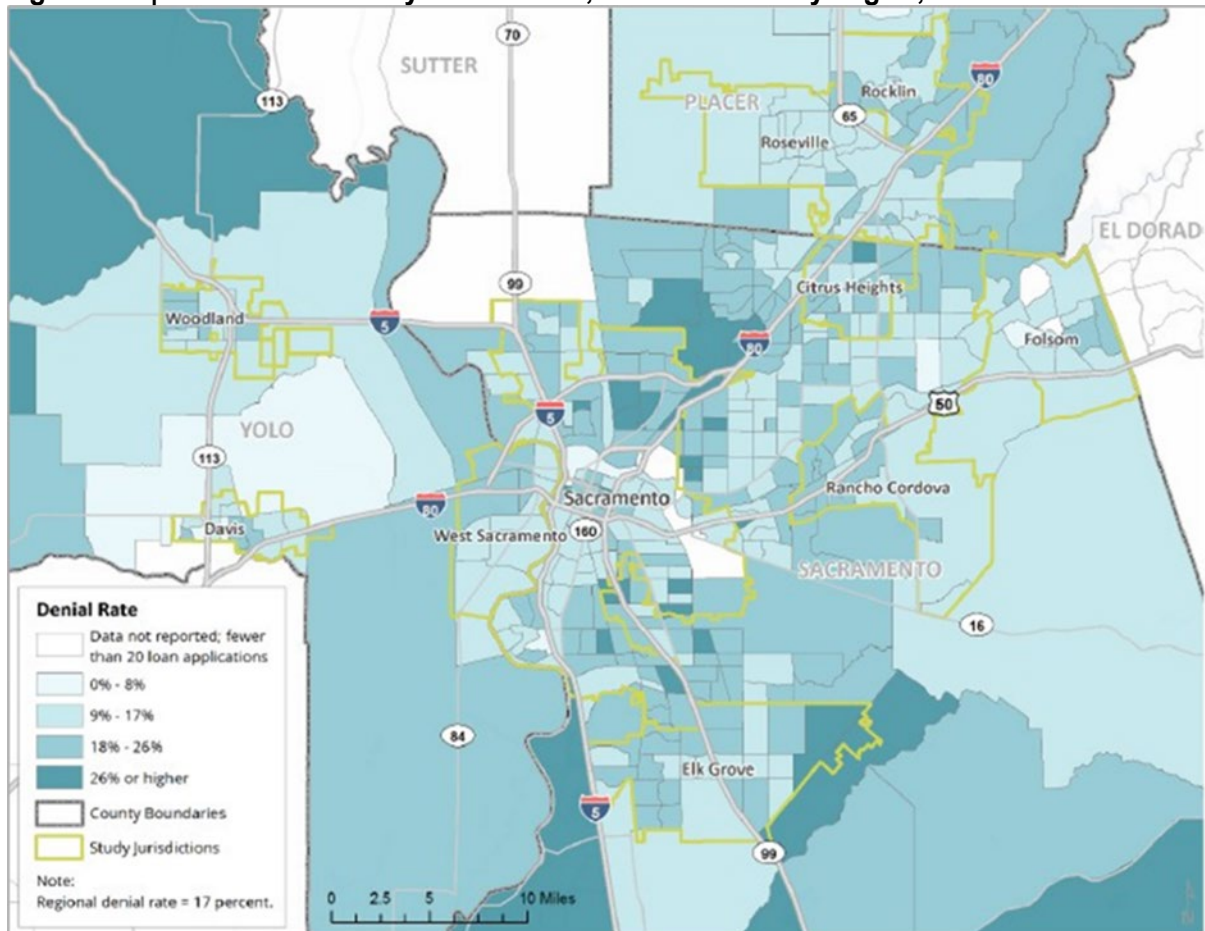


concentration of non-White residents with subprime mortgages and property foreclosures across the country. A subprime mortgage is a type of housing loan given to individuals with an impaired credit history, who otherwise would not qualify for a conventional mortgage loan. Subprime mortgages carry higher interest rates due to a higher risk of default. The concentration of subprime mortgages in areas where communities of color are also concentrated suggests that modern lending practices may be repeating historically punitive practices, such as redlining.

The study shows that mortgage denial rates—the proportion of loan applications which were denied—are higher for non-White households. The disparities are lower in Roseville than in most other studied jurisdictions, but they remain significant. For example, the denial rate among non-Hispanic White households was 13 percent while the denial rate among Asian households was 17 percent. Some of this disparity may be explained because there may be a higher proportion of lower-income households within a particular ethnic group. However, even when the analysis is adjusted for income, disparities narrow but remain. Even among high-income households—those making greater than 120 percent of the average median income—denial rates in the Sacramento region for Non-Hispanic Whites is 13 percent and for Black or African American households is 20 percent. The most common reasons cited for these denials were incomplete applications, debt-to-income ratio, and credit history.

Figure X-24 shows mortgage loan denial rates by census tract. In comparing this map with other maps provided in this analysis, it is clear that the areas of the City with higher mortgage loan denial rates correspond to those areas with more non-white households.

As with mortgage denial, rates of subprime loans also differ among racial/ethnic groups. Overall subprime loan rates have dropped significantly from the 2006 high of 25 percent, and nationally account for about 4 percent of conventional loans. In Roseville, subprime loans account for 2.3 percent of Non-Hispanic White borrowers, 2.8 percent of Asian borrowers, 4.0 percent of Hispanic borrowers, and 7.2 percent of other racial minority borrowers. A recent study at UC Berkeley found that, nationally, Latinx and African American borrowers paid between 5.6 and 8.6 basis points more, which is equivalent to 11 to 17 percent of lender profit on the average loan. Lenders earn significantly more from loans made to Latinx and African American homebuyers.

**Figure X-24 | Loan Denial Rates by Census Tract, Sacramento Valley Region, 2017**

Source: FFIEC HMDA Raw Data, 2017; Root Policy Research, 2020.

## Land Inventory

A primary goal of the assessment is to ensure available sites for lower-income housing are located equitably across a region and within communities with fair access to opportunities and resources. Ensuring that sites for housing, particularly lower income units, are in high resource areas rather than concentrated in areas of high segregation and poverty requires jurisdictions to plan for housing with regards to the accessibility of various opportunities including jobs, transportation, good education, and health services. Using the statewide opportunity area map and the patterns of segregation, access to opportunity, and displacement risk identified in this assessment, this section analyzes whether or not the sites included in the 2021–2029 Housing Element sites inventory improve or exacerbate fair housing conditions and patterns of segregation. Figure X-25 shows all sites with a High Density Residential land use designation, Figure X-26 shows the location of all sites in the inventory compared to the TCAC/HCD Opportunity Areas, and Figure X-27 shows these same sites in comparison to the distribution of low and moderate-income populations by census tract. Both Figure X-26 and X-27 highlight the location of existing and future affordable housing as well as vacant and underutilized inventory sites.

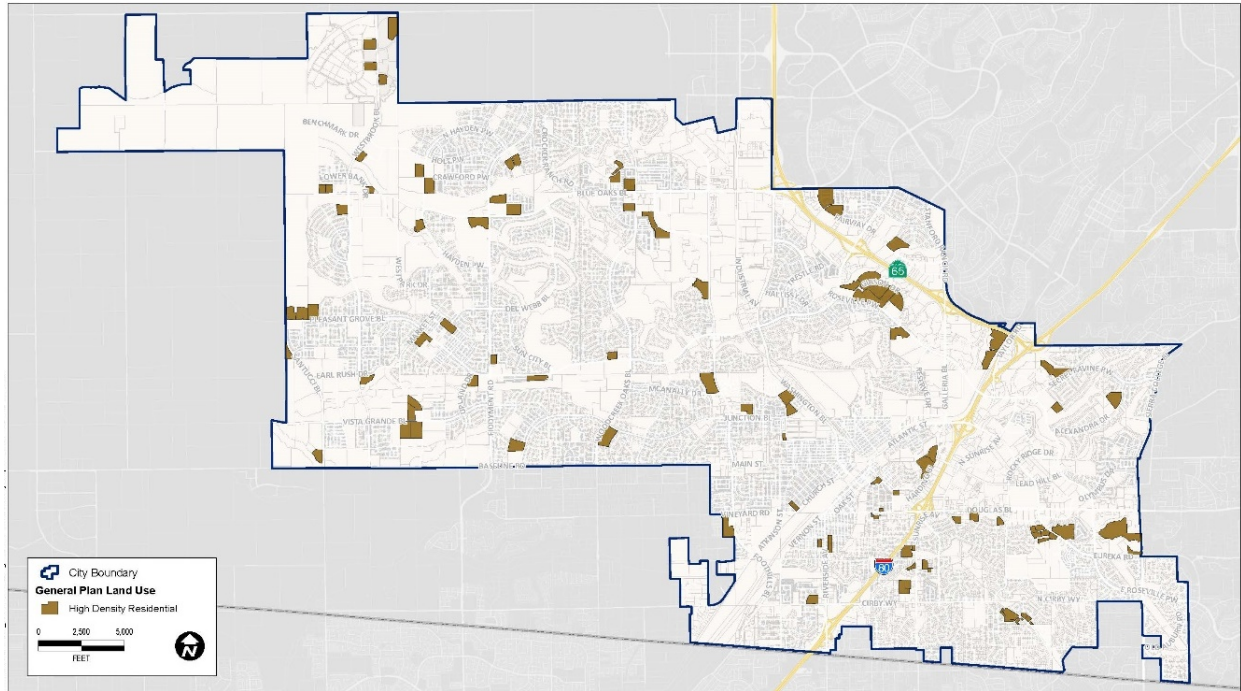
### LOCATION OF EXISTING AFFORDABLE HOUSING AND HIGH DENSITY HOUSING

As shown in Figure X-25 the City's existing and planned high density residential housing capacity is spread throughout the community. Figures X-25 and X-26 show the City's existing and planned deed-restricted affordable rental housing inventory is also spread throughout the community, including in the city's high and highest resources areas, and is not concentrated in any particular area. In fact, there are 1,386 existing and 2,771 planned affordable deed restricted units



distributed throughout Roseville. This balanced distribution of affordable and high density housing is the result of the City's Specific Plan process (Housing Element Program 7), discussed in detail throughout this Housing Element, which requires that each new planning area contain 10% affordable housing spread throughout the planning area and which also ensures land use plans contain a balance of low density, medium density, and high-density housing distributed throughout each planning area.

**Figure X-25 | City's Distribution of High Density Residential Land**



Source: City of Roseville, 2017.

## POTENTIAL EFFECT ON PATTERNS OF SEGREGATION

The City's existing affordable housing inventory and future affordable housing sites were evaluated to ensure sites planned for future development would not further segregation patterns and trends. As noted, the City's segregation pattern is low and therefore this evaluation is focused on whether the lower-income inventory is spread throughout the community (not concentrated in particular areas). As shown in Figure X-25 through Figure X-27, deed-restricted affordable housing and high density housing is distributed throughout the city. Most of the sites identified in the Housing Element inventory are concentrated in the new growth areas within the western part of the city (other areas of the City are mostly built out), and within these new growth areas Figure X-26 and Figure X-27 demonstrates that housing capacity at varying levels of affordability is distributed evenly, and is not segregated.

## POTENTIAL EFFECT ON ACCESS TO OPPORTUNITY

The TCAC/HCD Opportunity Area map for 2021 shows that the central area of the City is the area of lowest opportunity, and that areas of high and highest opportunity area found away from the core, on the eastern and western sides of the City. However, when this composite score is broken into its component parts—educational scores, proximity to jobs, access to transportation, and environmental scores—it becomes apparent that some of these factors are at odds. The central area of the City has lower educational scores and more environmental burden, but is also the area of the City with the highest proximity to jobs and the greatest access to transportation. The western edge of the City has higher educational scores and lower environmental burden, but because it is newly developing has lower access to transportation and lower jobs proximity.

Proximity to jobs and access to transportation are critical issues for lower income families, and focusing all lower income development into areas of overall high opportunity will direct development away from these areas. Development in infill areas is also a key environmental and sustainability strategy, because it reduces sprawl and creates more walkable communities.

On the other hand, over time as the western edge of the City develops further and more population is added, additional transit options will be developed consistent with the City's transit master plan and additional job centers will be developed in the City's tech and business park land uses in those areas. It is vital to ensure housing affordable to lower income families is an integrated part of those future conditions.

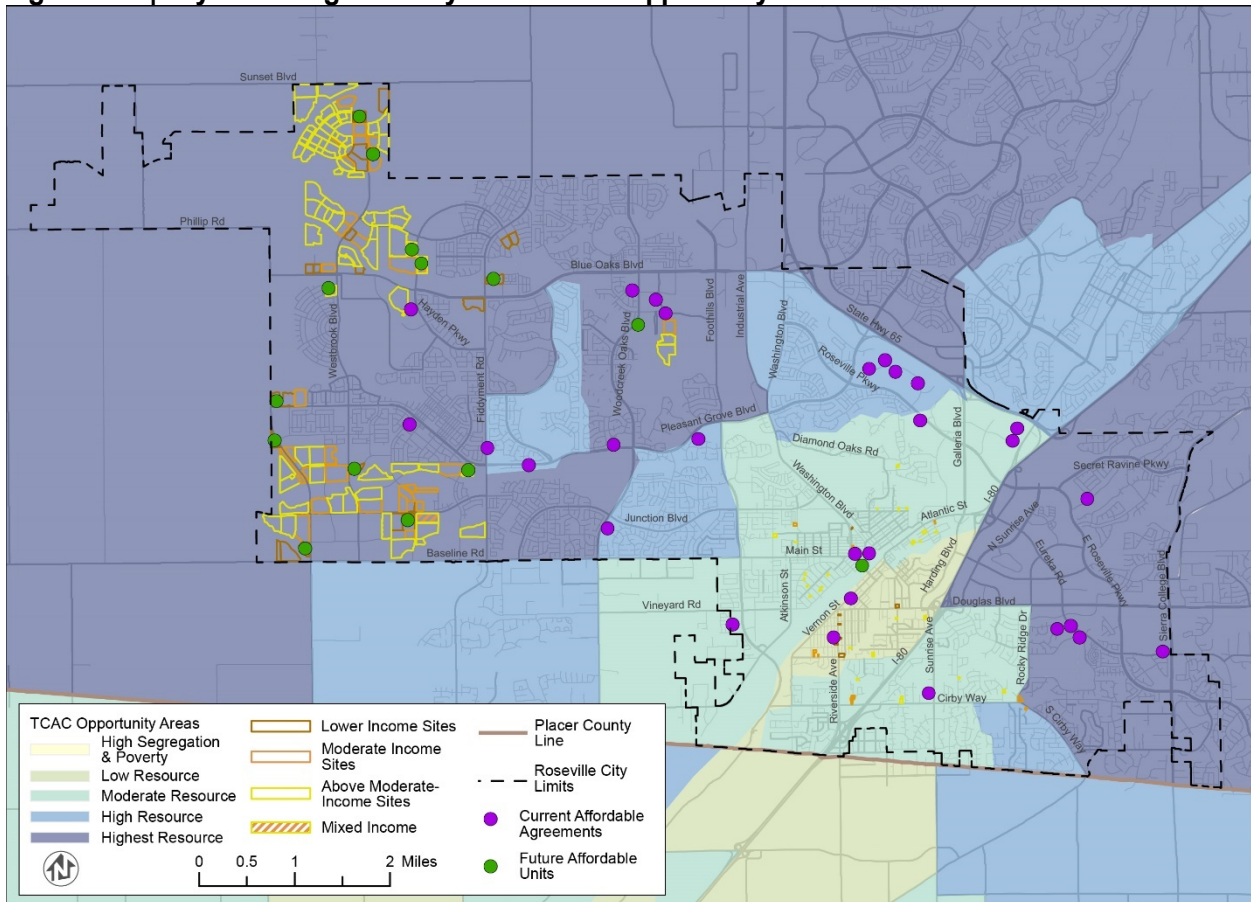
An analysis of the TCAC/HCD Opportunity Area map for 2021 found that more than 90 percent of the City's existing affordable housing and future inventory, both in total and within each income category, is within areas designated as "high resource" or "highest resource" (see Figure X-26), which means that the vast majority of new housing built in the city will offer future households access to areas of opportunity. A small proportion of the sites in the existing inventory are located in census tracts in the central city, which are mostly categorized as moderate or low resource. However, recognizing the importance of infill the City's rezone program (Program 14) also includes the Commercial Corridors and Infill strategies. These strategies will focus infill and revitalization strategies within the areas of the City with the greatest proximity to jobs and transportation options. While the City's Housing Element focuses the vast majority of its existing and proposed inventory within areas of high opportunity, it also reflects the need to include housing opportunities in areas of existing jobs proximity and transportation opportunity.

## POTENTIAL EFFECT ON DISPROPORTIONATE HOUSING NEEDS

As discussed in previous sections, the City's residents experience some amount of disproportionate housing needs. This includes overcrowding in south central Roseville and displacement risks in central and south central Roseville, as well as along Douglas Boulevard. Housing Element Program 14 (Rezone Program) includes the Commercial Corridors strategy which would incentivize reinvestment and add an additional 400 units of high density residential capacity in the Douglas Boulevard area between Royer Park and Rocky Ridge Drive, which will add housing capacity in the vicinity of areas struggling with overcrowding and displacement risk. However, most of the City's sites inventory is focused in areas of high opportunity which are not identified as susceptible to displacement (see Figure X-23) or overcrowding. Since the addition of 400 units may be too few to offset the risk in these areas, it is likely that rents will continue to rise and residents could potentially be displaced due to cost burden. To address this issue, the City has included Program 20 in the Housing Element to provide information on first-time home-buyer assistance and target outreach into the City's neighborhoods with housing burden and Hispanic household concentration. Moreover, the City could consider facilitating more affordable housing or increasing opportunities for homeownership in these at-risk neighborhoods.

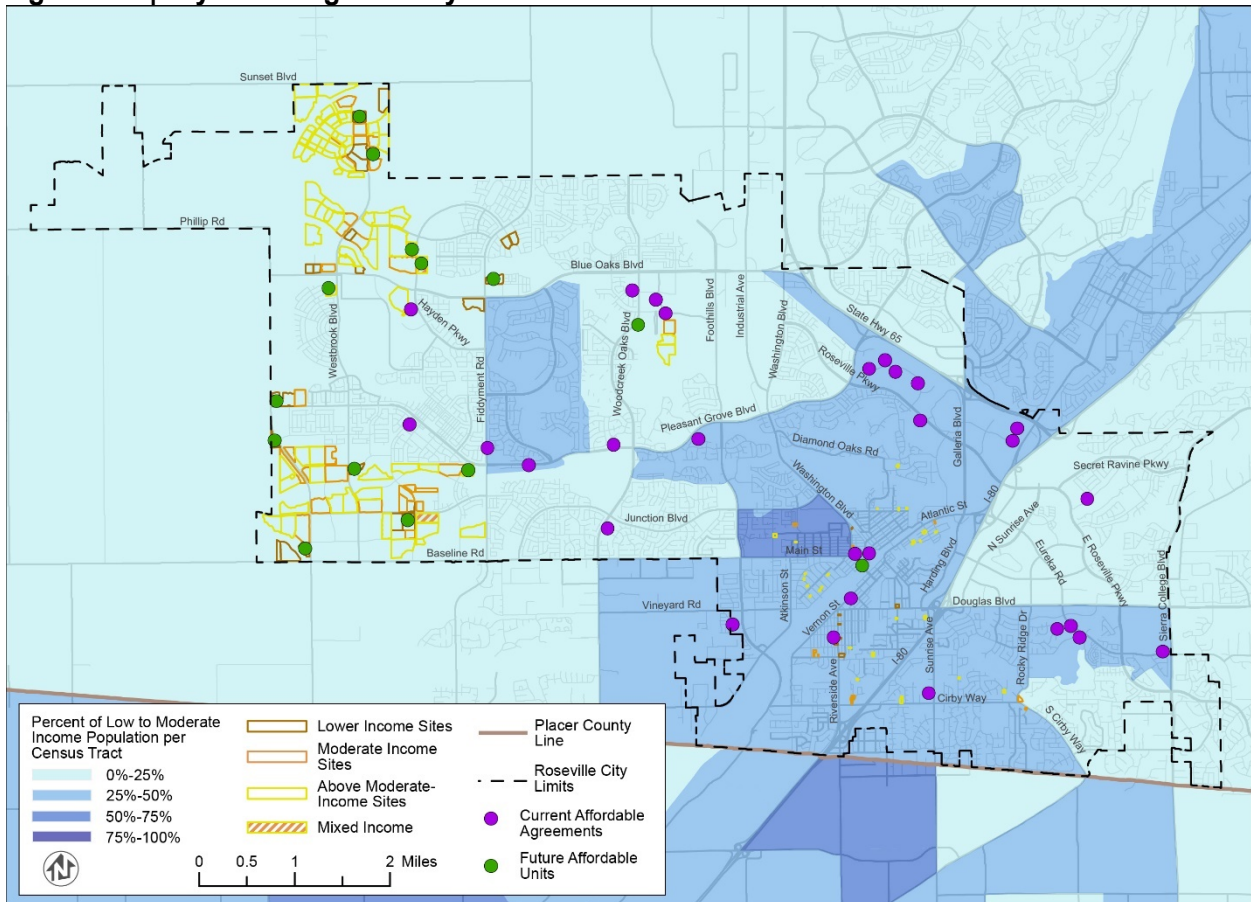


Figure X-26 | City's Housing Inventory and Areas of Opportunity



Source: California Department of Housing and Community Development AFFH Data and Mapping Tool. City of Roseville, 2021. Ascent, 2021.

**Figure X-27 | City's Housing Inventory and Areas of Low to Moderate Income**



Source: U.S. Census Bureau, 2015-2019 American Community Survey 5-year estimates. California Department of Housing and Community Development AFFH Data and Mapping Tool. City of Roseville, 2021. Ascent, 2021.

## Fair Housing Issues, Contributing Factors, and Housing Programs

Roseville is a highly desirable community in the northern Sacramento region. Fair housing issues in the city are primarily related to segregation based on income. Specifically, there are disproportionate housing problems in south central Roseville and racially/ethnically concentrated areas of affluence in northern Roseville. The contributing factors to these fair housing issues are the historical investment patterns in the city, which have led to under-investment of specific neighborhoods, which are now areas with the lowest incomes and highest rates of diversity, and an accumulation of private investments in specific areas/neighborhoods, which are now wealthier with more predominately non-Hispanic White residents.

Pursuant to Government Code Section 65583 (c)(10)(A)(v), the Housing Element includes several policies and programs to proactively address fair housing issues and replace segregated living patterns with integrated and balanced communities. The City is committed to creating more opportunities for affordable housing dispersed more equitably throughout the City; transforming racially and ethnically concentrated areas of poverty into areas of opportunity; and, as neighborhood investments increase, protecting existing residents from displacement. The chart below identifies the primary fair housing issues identified in the analysis, along with the programs which are responsive to the issue.



Fair Housing Issue	Responsive Programs
<p>The south central area of the City is a disadvantaged community area, because the area has multiple overlapping fair housing issues. The area has a concentration of poverty, overcrowding, low opportunity, less positive education outcomes, and other disadvantage, combined with a higher concentration of disability, female-headed households, and people of color.</p>	<p>Broadly speaking, the City has undertaken two approaches to this issue: focusing supportive and assistive programs into disadvantaged community areas and increasing housing opportunities within high opportunity areas of the City.</p> <p>The City has included implementation language within various programs which focuses those programs into disadvantaged communities within the City, including the Owner Occupied Rehabilitation Program (a component of Program 1), which provides grants for home improvements to low-income households in disadvantaged community areas; the First Time Home Buyer Program (a component of Program 1), which provides down-payment assistance to low-income households and has an outreach focus in disadvantaged communities; the City's In-Lieu Fees (Program 9) and gap funding (Program 12), which prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; Community Block Grant funds (a component of Program 19), the outreach for which is directed to disadvantaged communities and provides deferred loans and grants to low income households to use for home improvements; and per the Fair Housing program (Program 27) the City will meet monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.</p> <p>The City has included implementation language within various programs to increase housing choice in areas of high opportunity, including the Specific Plan Areas process (Program 6), which requires all new planning area to designate 10% of the total units as affordable and distribute those sites evenly through the new planning area; the City's In-Lieu Fees (Program 9) and gap funding (Program 12), which prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; the City's Housing Choice Voucher program (Program 19), which includes outreach to multifamily property owners to ensure vouchers can be used in high opportunity areas of the City; and the City's Fair Housing program (Program 27) requires developers receiving public subsidies to use affirmative fair housing marketing practices and supports affordable housing in areas of high opportunity.</p>
<p>Homelessness disproportionately impacts certain racial or ethnic groups, and shelter services are not being accessed equitably.</p>	<p>Annual monitoring of Homeless Prevention and Rapid Rehousing Funding (Program 12 and Program 20) disbursement has been added to evaluate whether the funding is being equitably distributed, and commit to making funding adjustments if not. Per the Fair Housing program (Program 27) the City will regularly complete analysis of the characteristics of the beneficiaries of housing and service programs relative to the income-adjusted population and meet monthly with non-profits and local stakeholders to share regional resources and ensure equitable distribution of resources.</p>
<p>The City has multiple areas identified as sensitive to displacement.</p>	<p>The City's In-Lieu Fees (Program 9), Non-Residential Construction Fee (Program 10), and gap funding (Program 12) prioritize disbursement of funds to projects within high opportunity areas or areas at risk of displacement; the Owner Occupied Rehabilitation Program (a component of Program 1), which provides grants for home improvements to low-income households in disadvantaged community areas, is directed to geographic areas of the community at greatest risk of displacement.</p>
<p>Rates of homeownership are significantly higher within the white population than within other racial and ethnic communities.</p>	<p>The City has directed outreach for its First Time Home Buyer program (Program 1) into the area of the City with a higher proportion of communities of color.</p>
<p>Special needs groups such as seniors and people with disabilities are more likely to struggle with cost burden</p>	<p>The City's Home Investment Partnership Program (a component of Program 19) includes pursuing funds for affordable multifamily housing projects targeted to special needs groups such as seniors and those with disabilities, the Community Block Grant Funds (a component of Program 19) provides deferred loans and grants to seniors, persons with disabilities, and other special needs populations to use for home improvements; the City will revise the Zoning Ordinance to allow large community care homes with a staff-level Administrative Permit rather than a Use Permit (Program 28); the City has a shared housing policy allowing people with disabilities to use their voucher in housing shared with non-related people; and the City has multiple programs to reduce utility costs for low-income seniors and people with disabilities or medical devices (Program 35).</p>

**Facilitate Development in High Resource Areas and Increase Housing Mobility**

Roseville is known for its high quality of life, good schools, rich amenities, and access to employment. Roseville is also one of the fastest growing cities in the region. Changes in State law regarding the RHNA process resulted in a higher allocation of lower-income units to areas of high opportunity, including Roseville. While the City’s 10 percent Affordable Housing policy has created opportunities for more lower income housing spread throughout the city, there is currently (2021) insufficient capacity to meet the lower income RHNA, and the City has therefore committed to providing adequate sites through a rezone program (Program 14). This program will target sites for lower income units in high resource areas, thereby affirmatively furthering fair housing.

Additionally, the City is taking actions to support housing voucher mobility for persons with disabilities through Program 27, Shared Housing, which allows voucher holders to use their voucher in housing that is shared with non-related persons as a reasonable accommodation. Shared Housing consists of a single housing unit occupied by an assisted household and another resident or residents, as long as they are not blood related. An assisted family may share a unit with other persons assisted under the HCV program or with other unassisted persons. Roseville Housing Authority will approve Shared Housing, as well as a live-in aide if necessary, as a reasonable accommodation so the program is readily accessible to and usable by persons with disabilities. The HCV Shared Housing option can provide an increased level of independence for a disabled HCV participant.

**Protect Residents from Displacement**

As described earlier, south central Roseville is defined by TCAC and HCD as low resource. Over half of the households in the area earn low to moderate incomes and since there are few existing deed-restricted affordable units in this part of the city, residents in this area are more susceptible to displacement as demand for housing increases. The Housing Element includes Program 20 to address any significant disparities and increase opportunities for Roseville residents including:

- providing rental assistance;
- providing outreach on targeted first-time homebuyer programs in neighborhoods that have suffered from historic disinvestment to increase awareness and access to such programs; and,
- adopting policies to prevent displacement including strategies to protect senior and low-income homeowners such as targeting home repair programs and no-net loss policies for existing affordable housing and condo conversion ordinances.

The City will also be continuing its income-qualified Owner-Occupied Housing Rehabilitation deferred loan and grant program. All of these actions will help to protect lower-income residents from displacement.

**Promote Fair Housing Resources through Outreach**

As part of the Housing Element’s programs, the City is also taking additional actions to ensure fair housing. For example, the City continues to actively participate in the ongoing region-wide collaborative effort to improve fair housing choice and affirmatively further fair housing and continues the campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Project Sentinel (Program 25). The City will also use available funding, such as CDBG, HOME, direct rental subsidies, and below-market construction financing to support lower- and moderate-income housing developments and address the housing and supportive needs of special needs populations (Program 17). These actions and others will help to affirmatively further fair housing in Roseville.

In addition, the following Housing Element goals, policies, and programs support Fair Housing:

- Goal H.1** *Provide decent, safe, inclusive and affordable housing in sufficient quantities for all economic segments of the community.*
- Policy H1.8** *Encourage construction of affordable housing units to be intermixed with market-rate units.*
- Goal H7** *Ensure the availability of quality housing opportunities for the elderly, the disabled, large families, female heads of households, and the homeless.*
- Goal H8** *Participate in local and regional efforts to provide a network of facilities and resources to aid the special needs populations.*



<b>Goal H9</b>	<i>Design and implement programs to affirmatively further fair housing and promote housing opportunities throughout the City for protected classes to address significant disparities in housing needs and access identified within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments to Fair Housing Choice.</i>
<b>Policy H7.1</b>	<i>Special housing needs shall be met through direct rental subsidies and below-market construction financing.</i>
<b>Policy H7.2</b>	<i>Continue the City's housing rehabilitation loan and grant programs to assist low-income elderly and disabled households.</i>
<b>Policy H7.3</b>	<i>Encourage construction of 3+ bedroom units in multi-family rental complexes to help meet the housing needs of low-income, large families.</i>
<b>Policy H7.4</b>	<i>Actively facilitate construction of rental units that include childcare facilities affordable to lower-income, female heads of households.</i>
<b>Policy H7.5</b>	<i>Work in conjunction with other Placer County jurisdictions, agencies, and organizations to provide shelter and supportive services for homeless individuals and families.</i>
<b>Policy H7.6</b>	<i>Encourage programs and developments that support inclusive, racially and ethnically diverse, and mixed-income residential communities throughout the City.</i>
<b>Policy H7.7</b>	<i>Support resources and assistance that help individuals who were justice-involved to locate, obtain, and maintain affordable housing.</i>
<b>Policy H7.8</b>	<i>Support programs and services which provide housing discrimination protection.</i>
<b>Policy H7.9</b>	<i>Support programs and measures that increase the affordability and availability of housing for people with disabilities.</i>
<b>Program 17</b>	<i>Federal and State Programs</i>
<b>Program 18</b>	<i>Homeless Prevention and Rapid Rehousing</i>
<b>Program 20</b>	<i>Address Significant Disparities and Increase Opportunities</i>
<b>Program 21</b>	<i>Homeless Outreach</i>
<b>Program 22</b>	<i>Family Mobile Team</i>
<b>Program 23</b>	<i>Family Reunification Program</i>
<b>Program 25</b>	<i>Fair Housing and Housing Discrimination Legal Services</i>
<b>Program 26</b>	<i>Support for Housing for Persons with Disabilities</i>
<b>Program 27</b>	<i>Allow Shared Housing Under Housing Choice Voucher for Persons with Developmental Disabilities</i>

## HOUSING CONSTRAINTS

### Governmental Constraints

Governmental constraints are policies, standards, requirements, or actions imposed by the various levels of government upon land and housing ownership and development. Although federal and state agencies play a role in the imposition of governmental constraints, these agencies are beyond the influence of local government and are therefore not addressed in this document. This section describes the City's general approach to land use regulations, General Plan residential land use designations and their densities, zoning districts, residential development standards, subdivision ordinance, and community design guidelines. There are no other standards or regulations which have a direct effect on the design and construction of housing.

## LAND USE CONTROLS

Roseville is one of the leading jurisdictions in the SACOG region for the production of affordable housing. The City has been proactive for years in reducing on/off-site development standards to increase housing densities and decrease the cost of producing new housing in the specific plan areas as well as in infill areas. All of the City's standards, including zoning, development standards, Specific Plans, other master plans (such as the Pedestrian Master Plan), and the General Plan are available online on the City's website. Included in the City's online tools is a GIS-based map which allows the public to look up property information such as the Assessor's Parcel Number, land use designation, zoning designation, and other information. In addition to physical infrastructure investment, the City has focused heavily on its downtown core, approving the Downtown Roseville Specific Plan, which includes financial and regulatory incentives, process amendments, and a specific set of code-related exceptions that are focused on creating additional opportunities for housing development within the downtown.

Typical regulatory exceptions are (1) the reduction of parking requirements for multi-family residential development, (2) an increase in residential densities in the downtown, (3) promotion of live-work and mixed-use housing types, and (4) elimination of parkland dedication for residential projects. Code-related amendments that dictate the future physical improvements include (1) assigning a historical designation to the downtown, allowing for use of the Historical Building Code when applicable and (2) encouraging alley-loaded housing products with reduced street widths.

In the development of the new or "greenfield" areas of the community through the years, the City has made several adjustments to the physical improvements to promote higher-intensity housing. In the early to mid-1990s, the standard right-of-way width for residential streets was significantly larger. Residential street width standards have been reduced from a 54-foot-wide standard to a 42-foot right-of-way. Another adjusted physical standard is the reduction of the easement widths from a 12-foot-wide to a 10-foot-wide easement in order to promote higher-density projects. Additionally, exceptions have been made to fire lane widths for high-density housing where parking has been restricted.

Zero lot lines, townhomes, and courtyard, alley-loaded development are not unusual in the city, and neither are residential lot sizes of 3,000 square feet. The City's Zoning Ordinance includes DS district overlay zone (Development Standard) which permits an applicant to propose tailored development standards for the type of housing they propose to build. This overlay zone is extremely common within Specific Plans approved since 2010 and is the zoning designation which provides the flexibility for "missing middle" housing types.

The City's zoning and development standards have not had a cumulative negative or costly impact on the development of or affordability of housing, especially multi-family developments. Nor does the City have any local ordinances that increase the cost or supply of residential development.

The Residential Mixed Use (RMU) and Commercial Mixed Use (CMU) zoning districts promote a variety of residential and commercial use types. Single-family, two-family, and multi-family housing and mixed-use uses are principally permitted in the RMU and CMU zoning districts. In addition, the older portions of the downtown area in the Central Business District (CBD) provide flexibility in the types of uses typically found in the traditional downtown where a range of business and service, residential, and mixed-use uses can be located to support the entire community. Single-family, two-family, and multi-family housing are conditionally permitted in the CBD zoning district. Several of the City's Specific Plans include commercial mixed-use parcels, as shown in the vacant land inventory.

Development standards for mixed-use uses in the City's General Plan indicate a floor area ratio (FAR) for commercial uses of 20%–40%, which may be exceeded if all other applicable development standards are met.



## LAND USE DENSITIES AND DWELLING UNITS PER ACRE

The City uses three primary residential land use categories within the 2035 General Plan: Low Density Residential, Medium Density Residential, and High Density Residential. The densities of each are listed in the table below. The density of the Low Density Residential land use designation provides for typical, detached single-family homes, while the Medium Density Residential land use designation provides for higher density single-family homes. Housing types in the Medium Density Residential land use include cluster homes, rowhomes/townhomes, courtyard homes, alley-loaded product, duplexes/halfplexes, and other attached housing styles. The High Density Residential land use designation provides primarily for multifamily housing such as apartments, but at the lower end of the density range includes attached single-family product more typically developed in the Medium Density Residential land use areas.

**Table X-33 | Land Use Densities**

Land Use Densities	Dwelling Units per Acre
Low Density Residential	0.5 to 6.9
Medium Density Residential	7.0 to 12.9
High Density Residential	13.0 and above

## ZONING DISTRICTS

Zoning, unlike the General Plan, is regulatory. The Zoning Code divides the General Plan land use categories (i.e. Residential, Commercial, Industrial, etc.) into more defined zoning districts with a list of allowable uses (Table X-34).

**Table X-34 | Zoning Districts**

Residential Zones	
R1	<b>Single-Family Residential District.</b> The R1, Single-Family Residential district is intended for detached, single-family homes and similar and related uses inclusive of halfplexes.
RS	<b>Small Lot Residential District.</b> The RS, Small Lot Residential district is intended to allow either attached or detached single-family dwellings and similar and related compatible uses.
R2	<b>Two-Family Residential District.</b> The R2, Two-Family Residential district is intended to allow two dwellings per lot, either detached single-family dwellings or duplexes, and similar and related compatible uses.
R3	<b>Multi-family Housing District.</b> The R3, Multi-family Housing district is intended for a range of high density and multiple-family housing. The types of land use intended for the R3 zoning district include apartments, condominiums, townhomes, small lot cluster housing, and similar and compatible uses.
RMU	<b>Residential Mixed Use District.</b> The Residential Mixed Use district is intended to promote a variety of residential uses/dwelling types and the flexible siting of uses that are typically considered to be compatible with residential development.
Commercial Zones	
BP	<b>Business Professional District.</b> The Business Professional district is intended to provide locations for a wide variety of office uses and other uses that are related to and supportive of office uses.
NC	<b>Neighborhood Commercial District.</b> The Neighborhood Commercial district is intended to be applied to properties in close proximity to residential areas providing for convenient retail and personal service facilities.
CC	<b>Community Commercial District.</b> The Community Commercial district is intended to serve the principal retail shopping needs of the entire community by providing areas for shopping centers and other retail and service uses.
GC	<b>General Commercial District.</b> The General Commercial district is intended to serve the entire community by providing areas for commercial facilities that are more of a service or heavy commercial character than are permitted in the Community Commercial District, and may involve outdoor display, storage, or activity areas.

Table X-34 | Zoning Districts

HC	<b>Highway Commercial District.</b> The Highway Commercial district is intended to be applied where commercial facilities serving the traveling public are necessary or desirable.
RC	<b>Regional Commercial District.</b> The Regional Commercial district is intended to provide for commercial facilities serving Roseville and the greater South Placer Area.
CBD	<b>Central Business District.</b> The Central Business district is intended to be applied to the older portions of the downtown area to provide flexibility in the types of uses typically found in the traditional downtown where a range of business and service, residential, and mixed-use uses can be located to support the entire community.
CMU	<b>Commercial Mixed Use District.</b> The Commercial Mixed Use district is intended to promote a variety of commercial uses types and the flexible siting of other uses that are typically considered to be compatible with commercial development. It is the intent of the CMU zoning district to establish a mix of uses, which will be accompanied by overlay zones, to ensure that different commercial uses will be successfully integrated into desirable, cohesive commercial districts. The CMU zoning district shall always be applied in conjunction with either the DS (Development Standards) or SA (Special Area) overlay zones.
HD	<b>Old Town Historic District.</b> The Old Town Historic district is intended to be applied to the original commercial core of Roseville to acknowledge its historic and architectural significance. The HD zoning district is intended to ensure that new land uses and development within the district further the rehabilitation, revitalization, and preservation of the architectural, aesthetic, historic, and economic health of the district. Each parcel within a Historic District shall be subject to the specific historic district design guidelines contained within the City's Community Design Guidelines as adopted by the City Council from time to time. Whenever a design review permit is required for development of a parcel within the Historic District zone, the Historic District guidelines shall apply.

#### Industrial Zones

MP	<b>Industrial/Business Park (MP) District.</b> The industrial/business park district is intended to designate areas appropriate for the development of a mixture of light industrial, office and commercial land uses. The use types permitted within the MP district do not include outdoor manufacturing but may include limited outdoor storage. These use types do not result in the emission of any appreciable amount of visible gasses, particulates, steam, heat, odor, vibration, glare, dust, or excessive noise and can be conditioned to be compatible when operating in close proximity to commercial and residential uses.
M1	<b>Light Industrial District.</b> The Light Industrial district is intended to designate areas appropriate for light industrial uses such as manufacturing, processing, assembly, high technology, research and development, and storage uses. The use types permitted within the M-1 district do not include outdoor manufacturing but may include limited outdoor storage and the emission of limited amount of visible gases, particulates, steam, heat, odor, vibration, glare, dust, and noise. These uses may be compatible operating in relatively close proximity to commercial and residential uses.
M2	<b>General Industrial District.</b> The General Industrial district is intended to designate areas suitable for a broad range of industrial uses, including manufacturing, assembly, wholesale distribution, and warehousing.
MMU	<b>Industrial Mixed Use District.</b> This district is intended to promote a variety of industrial use types and the flexible siting of uses that are typically considered to be compatible with industrial development. It is the intent of the MMU zoning district to establish a mix of uses, which will be accompanied by overlay zones, to ensure that different industrial uses will be successfully integrated into desirable, cohesive industrial districts. The MMU zoning district shall always be applied in conjunction with either the DS (Development Standards) or SA (Special Area) overlay zones as described in Chapter 19.18.

#### Overlay and Special Purpose Zones

DS	<b>Development Standard District.</b> This district is an overlay district which allows modification of the specified development standards in general zone districts. The district may establish or modify any or all of the following development standards: minimum lot size, lot width, setbacks, usable open space, and parking; principal building types; and maximum lot depth, coverage, and building height.
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## RESIDENTIAL DEVELOPMENT STANDARDS

The City of Roseville regulates the type, location, and scale of residential development through its Zoning Code. Zoning regulations are designed to protect and promote the health, safety, and general welfare of residents, as well as preserve the character and integrity of neighborhoods. Under the Zoning Code, residential development must comply with specific enforceable standards such as minimum lot requirements, maximum height, minimum setbacks, maximum lot coverage, and allowable density, as outlined in Table X-35. In addition to these development standards, the City also maintains parking standards for residential development. One parking space per dwelling is required for senior apartments. One and a half parking spaces are required for multi-family studio units and 1-bedroom units. Two parking spaces per dwelling are required for single-family, two-family (duplex), small community care facilities, family day care homes, mobile home parks, and multi-family units with two or more bedrooms. All multifamily projects and mobile home parks must also provide 1 guest parking space for every 10 units and family day care homes must provide one parking space for loading and one for each employee not living in the home (these may be on-street and/or tandem). These development standards are similar to those in other communities and are not considered a constraint to the development of affordable housing. As previously indicated, the DS overlay zoning district may also occur in combination with any of these residential zoning districts (e.g. RS/DS), in which case a subdivision/development-specific development standards table would be created by an applicant to fit the housing product type being proposed. In the CMU zone a residential project is developed with project-specific design criteria through the Design Review Permit process.

**Table X-35 | Development Standards by Zoning District**

	R1	RS with attached sidewalk <sup>(10)</sup>	RS with separated sidewalk <sup>(8, 10)</sup>	R2	R3 <sup>(2)</sup>	RMU
Area, interior lot	6,000 sq ft	4,500 sq ft	4,275 sq ft	6,000 sq ft	6,000 sq ft	None <sup>(7)</sup>
Area, corner lot	7,500 sq ft	5,500 sq ft	4,710 sq ft	7,500 sq ft	7,500 sq ft	
Width, interior	60 ft	45 ft	45 ft	60 ft	60 ft	
Width, corner	75 ft	55 ft	50 ft	75 ft	75 ft	
<b>Residential Density</b>						
Maximum number of primary dwelling units per lot	1 dwelling	1 dwelling	1 dwelling	2 dwellings <sup>(1)</sup>	As provided by General Plan, but a minimum of 3 dwellings	As provided by General Plan
Maximum number of accessory/junior dwelling units per lot <sup>(11)</sup>	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings	Up to 2 dwellings
See Chapter 19.22 for accessory structure development standards for the following standards						

<b>Setbacks (minimum)</b>						
Front <sup>(9)</sup>	20 ft for interior lots; 15 ft for corner lots; 20 ft minimum driveway depth	15 ft to living space or side wall of garage; 12.5 ft to porch; 18 ft minimum driveway depth <sup>(6)</sup>	10 ft to first floor living space or side wall of garage; 7.5 ft to porch, but in no case may encroach into a PUE; 15 ft to second floor living space; 18 ft minimum driveway depth <sup>(6)</sup>	20 ft for interior lots; 15 ft for corner lots; 20 ft minimum driveway depth	20 ft minimum on all street frontages	None <sup>(7)</sup>
Sides <sup>(9)</sup>	5 ft interior; 15 ft street side on corner	5 ft interior; 12.5 ft street side on first floor; 15 ft street side on second floor	5 ft interior; 10 ft street side on first floor; 13 ft street side on second floor	5 ft interior; 15 ft street side on corner	5 ft interior; 20 ft minimum on all street frontages	None <sup>(7)</sup>
Rear	20% of lot depth; need not exceed 20 ft; 10 ft minimum <sup>(3)</sup>	10 ft minimum with minimum useable open space of 700 sq ft or 500 sq ft where a usable front porch is provided <sup>(4)</sup>	10 ft minimum with minimum useable open space of 500 sq ft <sup>(4)</sup>	20% of lot depth; need not exceed 20 ft; 10 ft minimum	20 ft; 20 ft minimum on all street frontages	None <sup>(7)</sup>
<b>Lot Coverage (primary buildings)</b>	35% for 2 story; 45% for 1 story	None <sup>(4)</sup>	None <sup>(4)</sup>	40%	50%	None <sup>(7)</sup>
<b>Height Limits</b>	35 ft	35 ft	35 ft	35 ft	45 ft <sup>(5)</sup>	None <sup>(7)</sup>
<b>Additions to the primary structure greater than 700 square feet in area<sup>(12)</sup></b>	May only be permitted upon approval of an Administrative Permit					

Notes:

- (1) Attached or detached. Detached dwelling units must maintain a minimum 10-foot building separation.
- (2) The general development standards for the R3 district may be modified through approval of a Design Review Permit.
- (3) On corner lots, the minimum rear setback may be determined by using an average of three measurements taken at the ends of the structure and a point midway between the ends of the structure. The measurements shall be made perpendicular to the rear lot line.



- (4) The rear and side yards may be utilized to meet the minimum usable open space provided the minimum dimension, measured perpendicular to the applicable rear or side yard is 10 feet. Maximum coverage is a function of lot size, required setbacks and usable open space. A minimum usable open space of 500 square feet may be applied where a front porch is provided with minimum dimensions of six feet by 10 feet exclusive of entry way.
- (5) Except for units immediately adjacent to the R1 and RS zone districts, where the height limit shall be 35 feet.
- (6) Minimum driveway depth of 18 feet requires a roll-up garage door.
- (7) As provided in development standard overlay or special area overlay district.
- (8) Sidewalk separated from back of curb by five-foot planter strip.
- (9) Front setback (and side setback where adjacent to street) measured from back of walk. Fence side yard setback is five feet from back of walk where facing a street. In the absence of sidewalk, setbacks measured from the edge of right-of-way.
- (10) Variations to the standards and other housing product types may be permitted subject to processing of a Design Review Permit for Residential Subdivision (DRRS) concurrent with the approval of a tentative subdivision map and review of product type.
- (11) A combination of up to two accessory dwelling/junior accessory dwelling units are permitted within areas zoned to allow single-family, two-family or multi-family residential use provided the lot contains an existing or proposed single-family dwelling, two-family or multi-family unit as defined in Sections 19.08.080(F)(1) and (F)(2) (Residential Use Types) and the accessory dwelling/junior accessory dwelling unit complies with the standards identified in Chapter 19.60 (Accessory Dwelling Units). See Chapter 19.60 for the maximum number and combination of units allowed per lot. For purposes of density, accessory dwelling units shall be deemed to be an accessory use or an accessory building or structure and shall not be considered to exceed the allowable density for the lot upon which it is located.
- (12) Additions (attached or detached) to primary structures that exceed 700 gross square feet in area may be permitted upon approval of an Administrative Permit, which may include a public hearing as provided in Sections 19.74.010 and 19.78.020. Excludes accessory dwelling units complying with the standards identified in Chapter 19.60 (Accessory Dwelling Units).

## Provisions for a Variety of Housing

Housing element law specifies that jurisdictions must identify adequate sites to be made available through appropriate zoning and development standards to encourage the development of various types of housing for all economic segments of the population. This includes single-family housing, multi-family housing, manufactured housing, mobile homes, emergency shelters, and transitional housing, among others. Manufactured housing constructed on a permanent foundation is a permissible form of single-family home construction, and is therefore allowed by-right. Table X-36 provides a summary of the permitted housing types by zone.

## Supportive and Transitional Housing

Transitional housing means housing with supportive services that is exclusively designated and targeted for homeless persons. Transitional housing includes self-sufficiency development services, with the ultimate goal of moving homeless persons to permanent housing as quickly as possible. Assistance in the Supportive Housing Program is provided to help homeless persons meet three overall goals: (1) achieve residential stability; (2) increase their skill levels and/or incomes; and (3) obtain greater self-determination (i.e., more influence over decisions that affect their lives). The City will regulate supportive housing as a residential use, provided supportive services are ancillary to the primary use.

The City's current zoning has not acted as a constraint to the provision of transitional or supportive housing. As required by SB 2, the City recognizes transitional and supportive housing as a residential use subject only to those restrictions that apply to other residential uses of the same type in the same zone and without any discretionary action. The Housing Element includes Program 32, Special Needs Housing Laws, which addresses legislation such as AB 2162 and requires the City's Zoning Ordinance and other planning documents be regularly updated to respond to new legislation.

**Table X-36 | Permitted Housing Types by Zone**

Residential Use			R1	RS	R2	R3	RMU
Single-Family Dwellings			P	P	P	P	P
Rooming and Boarding House			-	-	-	P	P
Two Family			-	-	P	P	P
Multi-Family Dwellings			-	-	-	P	P
Accessory Dwelling Units			P	P	P	P	P
Mobile Home Park			CUP	CUP	CUP	CUP	P
Community Care Facility, Small			P	P	P	P	P
Community Care Facility, Large			CUP	CUP	CUP	P	P
Family Day Care Homes, Small			P	P	P	P	P
Family Day Care Homes, Large			A	A	A	A	P
Transitional and Supportive Housing			P	P	P	P	P

Civic Use			MP	M1*	M2*	MMU*	GC*	HC*	CMU*
Emergency Shelters			P				CUP	CUP	CUP

Commercial Use		R3	RMU	NC*	CC*	GC*	HC*	RC*	CBD*	CMU*	HD*	BP*
Multi-Family Dwellings		P	P	CUP	CUP	-	-	-	CUP	P	CUP	-
Transitional and Supportive Housing		P	P	CUP	CUP	-	-	-	CUP	P	CUP	-
Accessory Dwelling units		P	P	P	P	P	P	-	-	P	-	-
Caretaker/Employee Housing		-	-	CUP	CUP	CUP	CUP	CUP	-	P	-	-
Single-Room Occupancy		-	-	-	-	-	-	-	CUP	CUP	CUP	-
Community Care Facility		P	P	P	P	P	-	-	P	P	-	P
Long Term Care Facility		CUP	P	CUP	P	P	-	-	P	P	-	CUP
Family Day Care Home, Small		P	P	P	P	P	-	P	P	P	CUP	P
Family Day Care Home, Large		A	P	CUP	CUP	CUP	-	CUP	CUP	P	CUP	CUP

Downtown SP	DT-1			DT-2	DT-3	DT-4	DT-5	DT-6	DT-7	DT-9	DT-10	DT-11
High Efficiency Residential Units*	-			-	-	P/CUP	-	P/CUP	P/CUP	P/CUP	-	-

\*includes a room or group of internally connected rooms that have independent sleeping, cooking, eating and sanitation facilities, which constitutes an independent housekeeping unit, occupied by or intended for one household on a long-term basis.

Principally permitted use, designated as “P”

Conditionally permitted use, designated as “CUP”

Administratively permitted use, designated as “A”

Primary use types not listed or designated by a dash (-) are not permitted in that zone district.



## Zoning for Emergency Shelters

The City has identified the MP Industrial/Business Park zoning district as appropriate for emergency homeless shelters by right and without discretionary action. According to data obtained from the City's Planning Division, six parcels are zoned MP Industrial/Business Park (see table below) and may be suitable for an emergency homeless shelter, as the sites are vacant or underutilized. Any of the six parcels identified by the Planning Division include sufficient capacity to accommodate the unmet need for homeless individuals (see Table X-37). (See Figure X-28 for site locations). Emergency shelters are required to comply with the development standards of the zoning district; there are no development standards specific to emergency shelters.

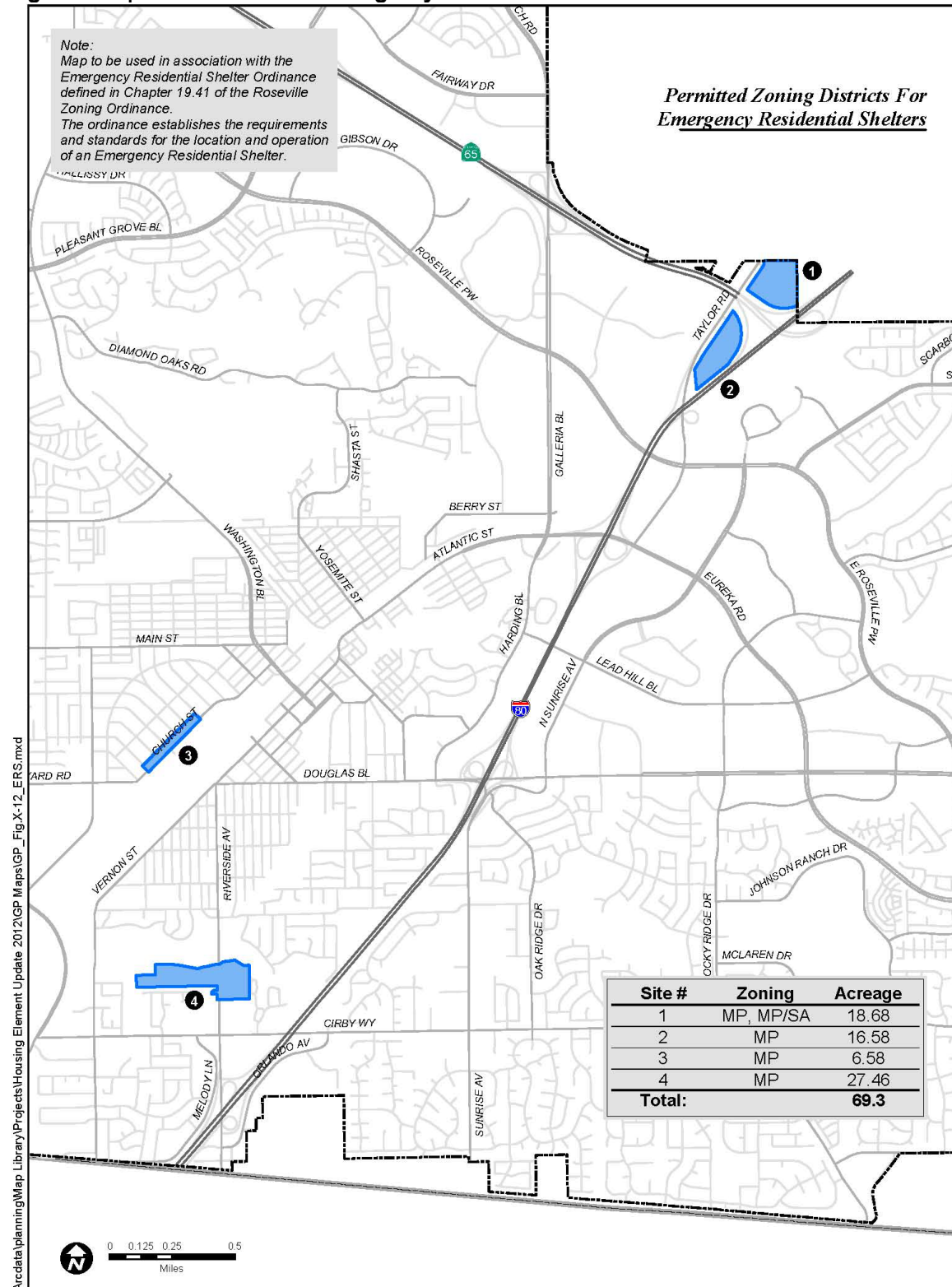
**Table X-37 | Inventory of MP Zone Sites**

Site #	Existing Use	Acreeage	Potential Availability
1	Self-storage, auto repair, and storage	18.68	Reuse
2	Single-family residence, County services building, light manufacturing, automotive	16.58	Reuse, some vacant
3	Vacant lots, single-family residential, commercial, light industrial	6.58	Reuse, some vacant
4	Auto sales and service, office, light industrial, vacant lots	27.46	Reuse, some vacant

The Industrial/Business Park uses in the City pursuant to the Zoning Ordinance consist of the following types of uses: light manufacturing, research and development, warehousing, business parks and offices, supporting retail, financial and restaurants, personal services, and similar types of uses. Parcels zoned MP are centrally located and convenient to major transportation, schools, the downtown area, and other services.

The parcels listed above are all at least partially developed with existing uses but there is land available for development. In addition, many of the buildings on the sites are large metal, uninsulated buildings or other improvements which can be removed without substantial expense or loss of property value. Sites 1 and 2 are located within ¾-mile of Sutter Hospital and two local Roseville Transit routes. Site 3 is located within ¾-mile of the Roseville Intermodal Station, which is served by Amtrak, Greyhound, the City's local bus routes, and both the City and Placer County commuter services. Site 4 is located within ¼-mile of the Kaiser Riverside Medical Office Building and two local Roseville Transit Routes are within the site area.

Figure X-28 | Sites Available for Emergency Shelters





## Permit Processing Procedures and Timeline Estimates

Development review procedures exist to ensure that proposals for new residential development comply with local regulations and are compatible with adjacent land uses. Table X-38 provides typical local development timelines, which is followed by a flow chart of the City's processes. Shown below are processing times for single-family and multi-family projects.

### SINGLE-FAMILY PROJECTS

For single-family dwelling production building permits, the time-frame for review of a production building permit is 2–3 weeks. Master plan reviews take approximately 2–3 months

For single-family dwelling custom homes, the time frame for these reviews is 6–12, weeks depending on the complexity of the custom home and applicant's promptness in responding. No master planning is involved.

Development of large-lot specific plan parcels into subdivisions requires a Tentative Subdivision Map, and may also be accompanied by others. In the City of Roseville it is typical for applicants to request approval of tentative subdivision maps covering large land areas, which then may take multiple years to develop. An evaluation of the City's entitlement and building permit records over the last five years indicates that the time between the approval of a subdivision and application for the first single-family building permit ranged from two to five years. The City issues an average of 800 to 900 single-family building permits per year, so this delay between approval of entitlements and application for building permits does not coincide with or result in a delay in construction or supply.

Single-family residential projects with a Medium Density Residential land use designation will also include a Design Review Permit in addition to the Tentative Subdivision Map, but it is typical for an applicant to apply separately for these entitlements. It is common that the land holder will record the Tentative Subdivision Map and then sell portions of the recorded subdivisions to a residential developer. The purchasing developer will then apply for the Design Review Permit based on their proposed home plans. Therefore, the length of time between approval of a Design Review Permit and application for building permits is shorter than it is between approval of the Tentative Subdivision Map and the building permit application. An applicant typically applies for a building permit within three months of approval of the Design Review Permit.

### MULTI-FAMILY PROJECTS

For a market-rate multi-family development, the plan review time-frame between City and applicant is approximately 8–16 weeks. The Development Services Department gives priority to multi-family development projects with affordable units, which can expedite processing by up to 25%.

In the City of Roseville multi-family development projects typically only require approval of a Design Review Permit entitlement in order to apply for a building permit. An evaluation of the City's entitlement and building permit records over the last five years indicates that the time between the approval of a multi-family project and application for the first building permit is generally less than three months.

### AFFORDABLE HOUSING PROJECTS

The City adopted a streamlined ministerial approval process for qualifying affordable housing projects. Projects which provide a minimum 20% affordable housing for low or very low income households and projects meeting the criteria for SB 35 qualify for the streamlined process. Applicants who wish to use this process fill out an application and self-certification checklist indicating they comply with the City's Objective Design Standards and, after pre-application review by Planning staff to verify, are permitted to proceed directly to the Building Permit process. This allows affordable housing projects to bypass the Design Review Permit process, which can save an average of three months of processing time and eliminates the \$8,000 deposit required for the entitlement. The Objective Design Standards are found on the City's Planning Division website in the Applications, Forms, and Handouts section.

Table X-38 | Permit Processing Timelines

Application	Time Frame
Single-Family Project	10–12 weeks for construction plan check
Multi-Family Project	12 weeks for design review + 10–12 weeks for construction plan check
Administrative Permit	Approved by the Planning Director. Processing time 4–6 weeks.
Conditional Use Permit	Public hearing before Planning Commission. Processing time between 8 and 12 weeks.
Design Review Permit	Public hearing before Design Committee or Planning Commission. Processing time about 12 weeks. (note: A design review permit is required for MF development but is not a separate entitlement.)
Flood Encroachment Permit	Public hearing before Planning Commission. Processing time between 8 and 12 weeks.
Major Project Permits	Public hearing before Planning Commission for processing Stage 1 (Preliminary Development Plan), Stage 2 (Architectural and Landscaping Plan), staff approval of Stage 3 (Final Plans). Processing time 16–20 weeks.
Tentative Subdivision Maps	Public hearing before Planning Commission. Processing time is between 8 and 10 weeks.
Design Review Permits for Residential Subdivisions	Should be obtained concurrent with or following processing an application for a tentative residential subdivision map or as a separate permit when modifying existing design standards. Public hearing before Planning Commission. Processing time 8–10 weeks (usually tracks concurrent with SUBD).
Grading Plan/Permits	Planning Director approval for minor grading plans, or public hearing before Planning Commission for major grading plans. Processing time is between 4 and 8 weeks.
Tree Permits	Planning Director approval of Administrative Tree Permits or public hearing before Planning Commission or Design Committee if the tree is associated with a design review permit. Processing time between 8 and 12 weeks.
Variance	Public hearing before Planning Commission or Design Committee. Processing time between 8 and 12 weeks.
Rezone	Public hearing by both Planning Commission and City Council. Processing time is between 16 and 20 weeks.
General Plan Amendment	Public hearing by both the Planning Commission and City Council. Processing time between 16 and 20 weeks.
Specific Plan Amendment	Public hearing by both the Planning Commission and City Council. Processing time between 16 and 20 weeks.
Boundary Line Adjustment	Planning Director approval or public hearing before Planning Commission. Processing time between 6 and 8 weeks.



## ENTITLEMENT APPROVAL PROCESS FOR SINGLE-FAMILY AND MULTI-FAMILY PROJECTS

Entitlement Approval Process  
Planning Division

### ENTITLEMENT REVIEW STEPS

**1. Submittal:** Project applicant submits application to Planning Division as a pre-application. Application is review to determine if it contains all information identified on the applicable submittal checklist. When all checklist items are present and fees have been paid, a project number is assigned and it becomes a submitted application.

**2. Distribution:** Within 5 working days from acceptance as a submittal, the application and project plans are distributed for review by City development departments, including Building, Engineering, Electric, Fire, Parks (if involving street medians or city-maintained property), and Environmental Utilities. Plans are also routed to outside agencies (e.g., PG&E, telephone, cable tv, resource agencies, etc.) for review and comment.

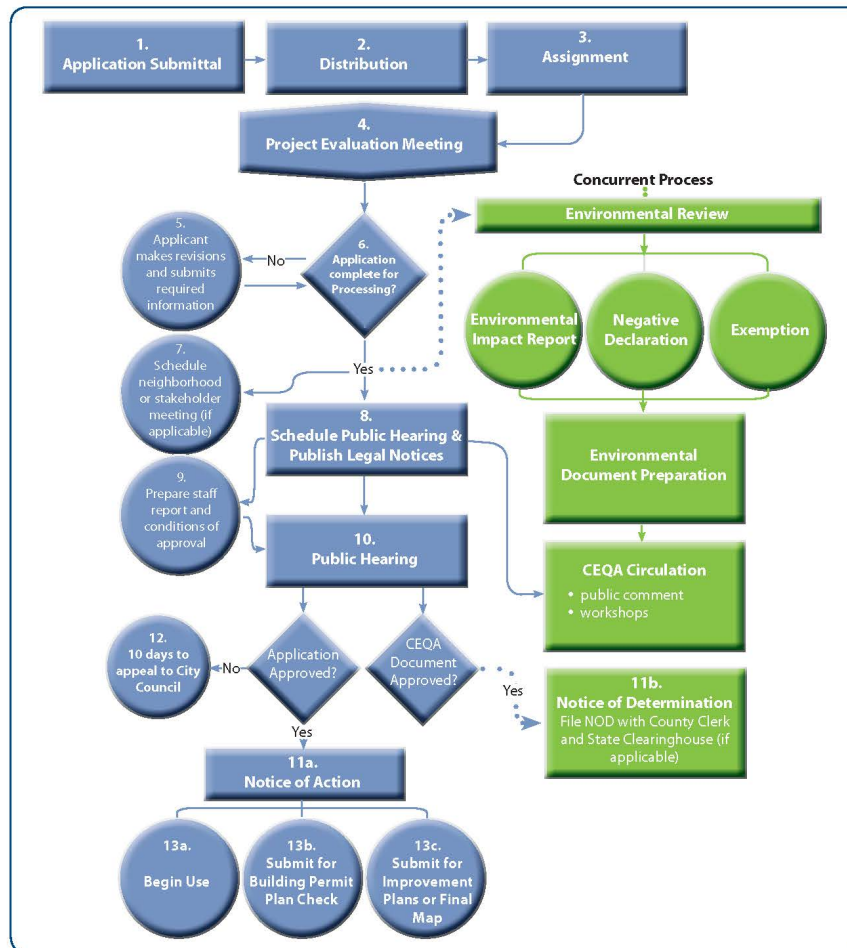
**3. Assignment:** Within 8 working days from submittal, the application is reviewed by a Senior Planner and assigned to a staff planner. The staff planner is the primary point of contact and is responsible for coordinating the City's response.

**4. Project Evaluation Meeting:** Within 30 to 45 calendar days from submittal, a Project Evaluation Meeting (PEM) is scheduled. The PEM is attended by representatives from each City department and the applicant's representative(s). The various departments discuss the project, give comments to the applicant, and suggest revisions to make the project conform to City standards. At the PEM, the City will notify the applicant if the application submittal is complete, and if not, will issue a letter identifying any information necessary to complete the application. More than one PEM may be held, depending on the size and scope of a project.

**5. Resubmittal:** If the application is incomplete or revisions are required, the applicant makes appropriate corrections and resubmits the plans along with a letter describing any changes to the staff planner.

**6. Application Formally Accepted:** Following the final PEM and the submittal of all required information, the application is formally accepted as complete. Acceptance of the application initiates the timeframes required by the Permit Streamlining Act. At this stage the Planning Division performs an initial study to assess potential environmental impacts. This review will determine the appropriate environmental document.

**7. Neighborhood Meeting:** Some projects may require one or more presentations to various neighborhood associations, depending on the level of complexity and/or controversy.



**8. Hearing Schedule, Legal Notices, and Environmental Document Posting:** Once deemed complete, the application will be scheduled for hearing by the Planning Commission, Design Committee, or City Council (approving authority varies by entitlement). The Environmental Document may be posted for a 20-, 30- or 45-day comment period, depending on the type of review required. A 10-day notice of public hearing is mailed to property owners within a 300-foot radius of the subject property.

**9. Staff Report Preparation:** Once the hearing is scheduled, the staff planner will prepare the staff report and finalize the conditions of approval. Staff reports are typically published the Friday preceding the meeting date. The staff report provides a project description, discusses the comments and issues identified by the City, and lists the staff recommendations or options for the Commission/Committee/Council action.

**10. Commission/Committee/Council Decisions:** The entitlements reviewed by the Commission, Design Committee, or City Council are discretionary actions. As such, the project may be approved or denied, or conditions of approval imposed. The Planning Commission also serves in advisory capacity to the City Council on General Plan and Zoning issues, and hears appeals of actions taken by the Planning Director on Administrative Permits. As the designated approving authority, actions on development entitlements by the Planning Commission or Design Committee are final unless appealed to the City Council.

**11. Notice to Applicant & Notice of Determination:** Following action by the Planning Commission or Design Committee, Planning staff will mail to the applicant an official notice of action that identifies the actions taken on the application, applicable expiration dates, and final conditions of approval. As applicable, within 5 days of the approval, Planning staff will send the Notice of (environmental) Determination, along with associated filing fees paid by the applicant, to the County Clerk.

**12. Appeals:** Applicants or other aggrieved persons may appeal the Planning Commission or Design Committee's decision to the City Council within 10 calendar days of the action. Appeals must be filed with the City Clerk along with the associated appeal fee.

**13. Begin Use / Submit for Building Permit:** After the appeal period, an applicant may submit plans to the building and/or Engineering Department for plan check. If the approval is for a Conditional Use Permit, the applicant may begin the use.

## DESIGN REVIEW PERMIT

A request for a design review permit requires one public hearing before the Design Committee with an estimated processing time of 12 weeks. The applicant or the applicant's representative must be present at the public hearing to answer questions.

New multi-family construction, as well as medium-density residential (single-family), is subject to design review permits. Single-family development lots (with the exception of medium-density residential) that comply with Zoning Ordinance standards do not require a design review permit. The Design Review Permit is designed to allow applicant's design flexibility while maintaining the aesthetic nature of an area and providing quality-of-life features for the future residents of a project (such as play areas) without requiring special or costly construction materials that would have an impact on housing affordability. Typical design review findings for all multi-family uses include provisions for adequate drainage, access for parking, pedestrian circulation and walks, loading areas, compatible building designs, colors, building height, and trash enclosures. The standards for review are found in the City's Community Design Guidelines, which include a mix of quantified standards (e.g. all pedestrian pathways must be lit to a minimum 0.5 foot-candles), objective standards (e.g. projects must be consistent with the City's Bikeway Master Plan), and flexible standards (e.g. parks and open space should be integrated into the overall design of the project).

The Design Review Permit requires a public hearing before the Design Committee, which is composed of three members. Two of the members are appointed by City Council and typically have engineering and architecture experience, and the third member is a current member of the Planning Commission. The hearings are held in the City's public conference room in the Civic Center. The findings for approval are found in Roseville Municipal Code Chapter 19.78.060, and are as follows:

1. The project as approved preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands and water courses; provides adequate drainage for the project; and allows beneficial use to be made of the site for development.
2. The project site design as approved provides open space; access; vehicle parking; vehicle, pedestrian, and bicycle circulation; pedestrian walks and links to alternative modes of transportation; loading areas; landscaping; irrigation; and lighting which results in a safe, efficient, and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.
3. The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site, as approved is harmonious with other development and buildings in the vicinity and is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.
4. The design of the public services, as approved, including, but not limited to, trash enclosures and service equipment, are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors, and landscaping that are harmonious with the site and the building designs.

The findings are entirely related to site design and architecture; none relate to the type of housing or the number of housing units because these are established by the City's land use plan. In finding 2, a harmonious development is defined according to the plain dictionary meaning of the word, which is "forming a pleasing or consistent whole," and is used to ensure that the project design is cohesive. In finding 3 the same definition applies, and is used to ensure that the new building architecture does not clash with the existing neighborhood; absolutely conformity is not required to be pleasing or consistent, and there are many examples of multi-family housing projects in the City which provide more modern architectural forms or materials within older, established neighborhoods. The determination of whether the development is harmonious or compatible is based on general consistency with the City's Community Design Guidelines. Architectural requirements of the Community Design Guidelines include the use of a consistent design concept to define character; variation in wall planes, rooflines, and building form; variation in color and materials, and the use of architectural treatments on all sides of a building. The guidelines are clearly stated, and none inhibit creativity or novel design. In fact, Community Design Guidelines MF-27 states: "Projects that consider and compliment the context of adjacent and surrounding projects, but are original in design and avoid duplication ("copy cat" effect) are highly encouraged."

The City's design review permit process has not been found to negatively impact a project or hold up the processing of an application, either by requiring an applicant to appear before the Design Committee multiple times for project approval or by unduly requiring plan revisions which delay an applicant's hearing date.



## LARGE COMMUNITY CARE FACILITIES

Large community care facilities are described as a dwelling where nonmedical care is provided to no less than 7 and no more than 12 persons on a 24-hour basis and which is operated and occupied by the owners (facilities with more than 12 people are considered commercial community care facilities and are permitted in commercial zoning districts). Large community care facilities are licensed by the California Department of Social Services, permit no more than two persons per bedroom, and shall be designed so as to be compatible with the residential character of the neighborhood.

The particular conditions or use restrictions for group homes with seven or more persons, as described above, should not have a negative effect on the development or conversion of residences to meet the needs of persons with disabilities or affect the provision of services on site.

Other City policies that strive to alleviate governmental constraints include (1) reduction in parking standards for projects which can demonstrate a reduced need for parking; (2) occupancy standards in the City's Zoning Code apply to unrelated adults in the same manner they apply to families; (3) community input for the approval of group housing is the same as for other types of residential development; (4) unit size is not regulated or restricted by the City (any minimum unit size restrictions would be included in the Conditions, Covenants, and Restrictions of a subdivision mandated by the developer or the homeowners association within a custom home subdivision); and (5) commercial floor area ratios, in mixed-use projects, are not adversely affected by inclusion of a residential use.

A Conditional Use Permit is required for large community care facilities in the City's R1, RS, and R2 zones (single-family, small-lot, and duplex/halfplex), but not in the R3 (attached housing) or RMU (residential mixed use) zones. Large community care facilities do not operate in the same manner as residences with large families, and have different needs. However, the City has included a program to change the approval process from a Use Permit to an Administrative Permit, along with the establishment of objective standards to ensure reliability and transparency in review. An Administrative Permit is a staff-level approval.

The first plan review takes 3 weeks, with 1–2 weeks for any necessary follow-up review.

## Affordable Housing Goal

The City has a 10% Affordable Housing Goal which divides the 10% goal into 4% very low, 4% low, and 2% moderate income. This is calculated based on the total residential units allocated to each specific plan area. The type of units, income ranges, and parcel-by-parcel obligations are specified within each specific plan area and their related development agreements. Developers of each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the specific plan development agreement. Prior to building permits being issued for affordable rental housing developments, developers are required to enter into regulatory agreements with the City, at which time Housing Division staff actively assists developers in acquiring appropriate and available subsidies for the construction of affordable housing.

The 10% Affordable Housing Goal, as set forth in each specific plan area, is not intended to be set as a maximum number of affordable units; rather, it is a minimum expectation for the production of affordable housing for households that cannot afford market-rate housing. If affordable housing developers were able to secure the financing to fund the land acquisition and construction of affordable housing on parcels not previously identified as required to produce affordable housing, the City would encourage the development without limitation. However, the affordable housing requirement imposed on any parcel assists future developers in negotiating with landowners a valuation that justifies the imposition of the affordable housing requirement, which is typically less than market value.

## FLEXIBILITY FOR MOVEMENT OF AFFORDABLE HOUSING WITHIN SPECIFIC PLAN AREAS

Prior to the development of the West Roseville Specific Plan (WRSP), each plan area designated parcels that would have affordable housing obligations, identified as either rental or purchase housing. In order to move the affordable housing units from one parcel to another, or merge them on to one parcel, the movement of the affordable units would require a formal amendment process to both the specific plan and related development agreements, which was costly and time intensive.

Beginning with the implementation of the WRSP in 2003, specific plans and related development agreements have provided flexibility to move the affordable housing units between the designated parcels by recording a Memorandum of Understanding, versus full amendments to the other formal agreements. The flexibility allows for developers of affordable housing to leverage the affordable housing "requirement" within the negotiations for securing the land, as well as collecting affordable housing

obligations from one parcel to another, when developments conducive to 100% affordable housing financing, such as tax credits and bonds, will be used to develop the affordable housing units.

For a more detailed explanation of the affordable housing requirements of each specific plan and related development agreements, please refer to Planning Division documents located on the City's website, using the following link: [http://www.roseville.ca.us/planning/planning\\_document\\_library/specific\\_plans/default.asp](http://www.roseville.ca.us/planning/planning_document_library/specific_plans/default.asp)

## **Growth Management**

The Growth Management Component of the Land Use Element views growth management as a means to proactively prepare for and manage growth. The key to Roseville's growth management component is the comprehensive planning process, rather than the establishment of growth limitations. The Growth Management Component focuses on the development of performance standards rather than timelines or growth rates for future development. Performance standards exist for all residential and non-residential projects within the City of Roseville.

Performance standards include items such as traffic circulation, landscape and lighting, parking, height restrictions, architectural design, and driveway locations. This approach has resulted in goals and policies that emphasize performance (e.g., maintaining levels of service, providing adequate park acreage, water, wastewater, electric, financing needed school facilities), rather than specific dates, growth rates, or buildout of existing plans. The performance standards provide the criteria for planning and managing growth by requiring the mitigation of growth impacts. The City has no ordinances restricting growth.

Much of the City's efforts are focused on comprehensive rather than incremental land use and facilities planning. The City currently has 16 specific plan areas that reflect the City's commitment and success in the management of growth. Each plan comprehensively plans and integrates the various elements of the area and provides detailed implementation strategies.

Implementation is secured through use of development agreements and the establishment of financing districts to ensure funding and maintenance of facilities and improvements, as well as construction of affordable units.

The limits identified in the Growth Management Component are based on estimated maximum level of development that the City can provide for and still maintain adequate service levels. Allowing development beyond the identified limits could result in a lack of resources and reduced service levels, which have the potential to directly impact the health, safety, and welfare of Roseville residents.

The concept of linking growth management and the ability to provide adequate services is articulated throughout the goals and policies of the Growth Management Component, Policy LU8.3.

The Growth Management Component of the General Plan will not affect the City's ability to accommodate its share of the Regional Housing Needs Allocation. The Growth Management Component should not impact the supply of housing, nor should it restrict the City's ability to accommodate its share of the regional housing need for the eight-year planning period of this Housing Element.

## **Subdivision Standards**

The City's subdivision standards include provisions for increased lot densities and decreased curb/gutter/street widths to accommodate greater land use. The City's standard residential street section is 34 feet from back of curb to back of curb, with the standard increased to 38 feet if the street serves more than 100 homes.

Consistent with SACOG's Blueprint Project and the City's Blueprint Implementation Strategies, the City annually reviews its standards to encourage compact development, mixed use, and higher-density residential units.

The City's standards for off-site improvements are no more restrictive than those of surrounding jurisdictions and serve to encourage and facilitate compact development to increase the affordability of housing in Roseville.

## **Permits and Fees**

City permits and fees create a significant impact on the cost of new residential housing development. The City has been proactive in making sure the fees collected will pay for the necessary infrastructure and services to maintain a high quality of life for residents. The City offers three programs to help ease the financial burden of development fees to assist with the development of affordable single-family and multi-family housing: (1) the Single-Family Fee Deferral Program allows the



developer to defer most City-controlled development fees until issuance of the certificate of occupancy or until close of escrow; (2) the Commercial Fee Deferral Program allows developers of multi-family affordable projects to defer most City-controlled development fees until issuance of the certificate of occupancy; and (3) the City's partnership with the California Statewide Communities Development Authority (CSCDA) allows developers to apply for the Statewide Communities Infrastructure Program (SCIP), which allows the financing of fees (over a 30-year period) that would otherwise be due at building permit issuance.

Table X-39 lists the estimated fee comparisons for Roseville and surrounding jurisdictions for single-family and multi-family development based on a study completed in 2020. The City's current planning entitlement fee schedule can be found on the City's website at [roseville.ca.us/planning](http://roseville.ca.us/planning) under Applications, Forms, and Handouts and is also included as Table X-40, below. The City has both "fixed" and "full cost" fees, where fixed fees are a flat fee and full cost fee projects are billed on a time-and-materials basis, so the fee is a deposit for that work. Projects will more than one full-cost entitlement have a reduction in the deposit requirement for each subsequent entitlement, and if a full-cost project includes flat-fee entitlement, the flat fee will not be collected. Both the flat fees and the deposit amounts were based on a time and motion study to determine the average cost to process each type of entitlement. Full-cost projects receive a refund of any unused deposit after the project is approved. In addition, the City's planning entitlements are scaled based on project size. The fee for General Plan Amendments, Specific Plan Amendments, Rezones, and Subdivision Maps varies based on the amount of acreage and lots proposed, with smaller deposits required for smaller projects. Most surrounding jurisdictions have flat fees for all entitlements and do not have scaled fees.

Using a Subdivision Map as an example, this entitlement costs \$15,167 in the City of Rocklin, \$14,847 in the City of Citrus Heights (\$15,341 for a vesting map), and \$29,105.44 in the City of Sacramento. Placer County uses the full-cost fee method and requires an initial deposit of \$1,596. In the City of Roseville, the deposit is \$11,000 for maps of 5 to 99 lots, \$16,000 for maps of 100 to 499 lots, and \$24,000 for maps of 500+ lots. The City's use of full-cost fees ensures each development will pay the actual cost to process the entitlement. This is beneficial to smaller-scale developers and applicants who submit simpler projects, because they will pay lower fees for their 25-lot subdivision map than a larger-scale developer will pay for a 500-lot map.

There are several development fees that apply to all new residential construction in Roseville. Each development fee is calculated individually and is based on factors such as type of project, construction valuation, square footage, and use, or a flat rate may be applied. There are no special or reduced development fee rates for affordable housing projects; however, the City does offer the fee deferral and financing programs mentioned earlier. Traffic fees and the Placer County Capital Facilities fee have reduced rates for age-restricted housing.

Building permit fees that are calculated on a flat-rate basis exert a heavier burden on smaller housing units, such as apartments and condominiums, than on larger single-family units. Since the cost is the same, regardless of size, the fee per square foot is much higher for a small dwelling as compared to a larger dwelling. Although several of the fees take this into consideration, the cost per square foot is still typically higher for apartments, condominiums, and small single-family dwellings than for larger single-family homes. Unlike market-rate homes and apartments, affordable units that must meet guidelines for purchase or rental price cannot pass along the higher cost per square foot to the buyer or renter. The City's policy is not to waive fees, as noted above; however, the City does offer the fee deferral and fee financing programs to assist affordable housing developers with payment of fees. Permit processing procedures and timelines are outlined below.

It is difficult to determine the direct impact of fees on affordable housing production, as the cost of land, available of grants or tax credits, and other factors play an equal role. Generally, affordable housing developers need a per-unit cost reduction from one or more sources in order to make a project financially feasible. The amount of this reduction varies depending on the current land costs, construction costs, fees, and the availability of subsidies. The City's fees are all designed with a strong nexus to need, and are already reduced in most cases for multi-family housing compared to other housing. The City's 10% Affordable Housing Goal seeks to reduce the cost constraints associated with affordable housing production. The City's specific plan process includes the objective of satisfying the affordable housing goal by providing specific parcels in each specific plan area (SPA) with affordable housing obligations and providing a detailed financing plan which provides fee transparency and equitable distribution of fees. An affordable housing project will not be delayed or hampered by owing substantial unexpected or upfront fees due poor planning (such as with "last one in" infrastructure requirements); the City's planning process is clear, stable, and transparent. The cost of parcels with affordable housing obligations are below market rate and may, by reducing or removing Mello-Roos bonds, further ensure affordability for renters or homebuyers.

**Table X-39 | Residential Fee Comparison By Jurisdiction**

2020 Fee/Tax	Roseville		Rocklin		Folsom <sup>5</sup>		Placer County		Rancho Cordova	
	SF	MF	SF	MF	SF	MF	SF	MF	SF	MF
Transportation	5,016	3,110	6,589	4,123	10,057	6,731	7,598	0	10,479	6,821
Capital improvement fees	3,250	2,167			3,311	3,355	4,603	3,305	4,053	3,170
Water connection	9,644	3,857	17,405	7,736	4,262	2,750	3,717	3,717	17,601	13,200 <sup>6</sup>
Sewer connection	371	371	12,051	12,051	1,052	823	10,519	10,519		
Fire	1,165	1,165					1,940	825	917	1,663
Police/Public Safety									450	450
Recreation/Parks-Citywide parks/rec	2,345	3,155	2,696	2,217	6,900	4,584	4,785	3,480	1,500	1,500
Recreation/Parks-Neighborhood parks / other park	1,255	810			706					
Other (1)			292	116	1,052	823	224	224	175	356
Other (2)			7,103	4,774	1,017	1,017			13,303	912
Other (3)					377	406				
Other (4)					5,400					
School District <sup>7</sup>			4,080	4,080	45	45	7,880	3,349		
<b>Total</b>	<b>23,046</b>	<b>14,635</b>	<b>50,216</b>	<b>35,097</b>	<b>34,179</b>	<b>20,534</b>	<b>41,266</b>	<b>25,419</b>	<b>48,478</b>	<b>28,072</b>

SACOG September 2020. Fees based on City fees. Additional fees may be charged by school districts. For fees with a range, highest fee in range used.

(1) Rocklin, Regional Drainage. Folsom, Regional Sanitation, City Portion. Placer County, Dry Creek Flood Control Fee, varies by area. Rancho Cordova, Sacramento Regional Transportation

(2) Rocklin, City & Placer County Construction Tax Combined. Folsom, Drainage. Rancho Cordova, Measure A transportation

(3) Folsom, solid waste and waste management plan fee.

(4) Folsom, housing fee

(5) Fee based on North of US50 schedule. Multiple fees included in several categories.

(6) Rancho Cordova- water and fire, Sacramento fees. Sewer based on ratio of pipe for SF and acre for MF.

(7) Varies by area if no amount provided. Folsom, permit.

**Table X-40 | Planning Entitlement Fees, 2021**

Entitlement (Application Type)	Fixed Fees	Full-Cost Deposit
<b>Appeals</b>		
1. Planning Director's Decision	\$1,553	
2. PC/DC Decision to City Council	\$1,454	
<b>Annexations</b>		
1. Annex/PZ/Detach/SOI		\$20,000
<b>DEVELOPMENT AGREEMENTS (DA)</b>		
1. Adoption of DA		\$20,000
2. Amendment of DA		\$20,000
3. Associated with Affordable Housing	\$2,829	
4. Associated with Single Topic Item	\$6,402	
5. Development Agreement Review / Compliance Fee	\$1,814	
<b>ENVIRONMENTAL REVIEW</b>		
1. Exemption WITHOUT Initial Study	\$394	
2. Exemption WITH Initial Study	\$962	



Table X-40 | Planning Entitlement Fees, 2021

Entitlement (Application Type)	Fixed Fees	Full-Cost Deposit
3. Negative Declaration	\$1,477	
4. Mitigated Negative Declaration		
5. EIR Deposit		\$20,000
<b>GENERAL PLAN AMENDMENT (GPA)</b>		
1. GPA 10 Acres or Less Map/Text		\$10,000
2. GPA 10+Acres, Map/Text		\$17,000
3. GPA – Text Policy Amend		\$15,000
<b>PUBLIC UTILITY EASEMENT ABANDONMENT</b>		
1. Summary Vacation	\$3,270	
2. General Vacation	\$4,880	
<b>SPECIFIC PLAN AMENDMENT (SPA)</b>		
1. SPA Adoption, Map/Text		\$30,000
2. SPA 10 Acres or Less, Map/Text		\$10,000
3. SPA 10+ Acres, Map/Text		\$20,000
4. SPA Text/Policy Deposit		\$15,000
<b>SUBDIVISIONS/CONDOMINIUMS</b>		
1. Grading Plan/Minor	\$3,407	
2. Grading Plan/Major		\$8,000
3. Lot Line Adjustment	\$3,407	
4. Extension to a Tentative Map	\$3,407	
5. Voluntary Merger	\$3,407	
6. Reversion to Acreage	\$4,975	
7. Minor Modification to a Tentative Map		\$2,000
8. Major Modification to a Tentative Map		\$10,000
9. Tentative Parcel Map with 4 or fewer Lots		\$6,000
10. Tentative Map, 5 through 99 Lots		\$11,000
11. Tentative Map, 100 through 499 Lots		\$16,000
12. Tentative Map, 500+ Lots		\$24,000
<b>ZONING ORDINANCE ENTITLEMENTS</b>		
1. Administrative Permit	\$1,361	
2. Conditional Use Permit (CUP)		\$9,000
3. CUP Modification		\$5,000
4. CUP Extension	\$6,047	
5. CUP Vernon St & Historical District only	\$1,549	
6. Design Review Permit (DRP)		\$8,000
7. Design Review Permit Modification		\$5,000
8. DRP Extension	\$5,468	
9. Minor DRP	\$230	
10. DRP – Additions or New Constructions (DTSP Only)	\$230	
11. DRP – Façade Improvements (DTSP only)	\$230	
12. DRP – Predesign (DTSP only)	\$230	
13. DRP – Residential Subdivision w/other Permit	\$6,047	
14. Flood Encroachment Permit		\$8,000
15. MPP Stage 1 or Stages 1 & 2		\$20,000
16. MPP Modification		\$7,000
17. MPP Stage 2, Extend of Stage 1 &/or 2		\$7,000
18. MPP Administrative Modification	\$1,770	

**Table X-40 | Planning Entitlement Fees, 2021**

<b>Entitlement (Application Type)</b>	<b>Fixed Fees</b>	<b>Full-Cost Deposit</b>
19. Planned Development Permit		\$11,000
20. TP Admin – Approved at Public Counter	\$226	
21. TP – Req. Public Hearing for SFD or 10 trees/less	\$4,082	
22. TP – Req. Public Hearing for DRP/TM or 11+ trees	\$6,284	
23. Administrative Variance	\$1,360	
24. Variance to Develop Standards Req. Public Hearing	\$4,554	
25. Variance to Parking Standards	\$5,728	
26. Zoning Clearance	\$156	
27. Zoning Interpretation – Hearing Req	\$3,610	
28. Zoning Interpretation – Non-Hearing Item	\$141	
<b>ZONING ORDINANCE AMENDMENTS</b>		
1. Ordinance Text Amend (Zoning, Subd, Sign)		\$10,000
2. Zoning Map Change (RZ) 10 Acres or LESS		\$10,000
3. Zoning Map Change (RZ) 10+ Acres		\$17,000

**2012 DEVELOPMENT IMPACT FEE SUSPENSION AND ADJUSTMENTS**

In May 2012, the City Council approved the suspension of the Construction Cost Index inflationary adjustment on six of the City’s development impact fees. The ordinance was effective July 1, 2012, and the following six development impact fees will remain at 2008 levels:

- 1 Pleasant Grove/Curry Creek Watershed Drainage Mitigation Fee
- 2 Public Facilities Fee
- 3 Animal Control Facility Fee
- 4 Special Area Water Fee
- 5 Local Sewer Connection Fee
- 6 Electric Backbone Mitigation Fee

The City’s Traffic Mitigation Fee (TMF) is not adjusted for inflation this year, as the City Council approved a comprehensive update earlier this year. The net result of the TMF update is an average fee reduction of approximately \$1,300 per unit. The new TMF fee structure was effective July 1, 2012.

As required by City ordinance, the following development impact fees are adjusted for inflation on July 1 of each year. The annual inflationary adjustment is based on the costs of materials and construction during the past year as tracked by the Construction Cost Index (CCI). For the year 2012, the inflationary adjustment was 2.5%. Building permits for new construction issued after July 1, 2012, are subject to the adjustment on the following six impact fees:

- 1 Dry Creek Watershed Drainage Fees
- 2 Regional Sewer Connection Fee
- 3 Water Connection Fee (3% per ordinance)
- 4 Highway 65 JPA Fees
- 5 Neighborhood and Community Park Fee
- 6 Citywide Park Fee



## Building Codes

To provide construction standards for the creation of efficient housing units, the City adopted the 2019 California Building Code based on the 2018 International Building Code, 2019 California Residential Code based on the 2018 International Residential Code, 2019 California Plumbing Code based on the 2018 Uniform Plumbing Code, 2019 Mechanical Code based on the 2018 Uniform Mechanical Code, 2019 California Electrical Code based on 2017 National Electric Code, the 2019 California Energy Code, 2019 California Green Building Code, 2019 California Fire Code based on the 2018 International Fire Code with City of Roseville amendments, 2019 California Existing Building Code, and 2019 California Historical Code. The City of Roseville amendments to the Fire Code are minor, consisting mainly of technical changes applicable to non-residential construction (storage racks, fireworks, etc). A handful of revisions may effect residential development, including a requirement that fire access roads be paved with a surface which can sustain fire apparatus loads, addressing requirements, details for fire control rooms, and fire flow requirements for residences. None of these changes represent a barrier or constraint on housing production.

The City enforces building codes for existing units, new construction, and residential rehabilitation. Code enforcement is aimed primarily at new construction and remodeling through the permit process, and in older units in response to complaints. The City attempts to find a balance between ensuring that housing is safe and avoiding the potential loss of affordable housing units through unnecessarily strict enforcement practices. Based on discussions with the City's Building Department, there is no indication that code enforcement practices unduly penalize older dwellings or inhibit rehabilitation. Code enforcement who find older residential units in need of repair notify the Housing Division to determine if repairs may be made through the City's Housing Rehabilitation Program.

In order to assist developers with tax-exempt bond financing, the City has joined the California Statewide Communities Development Authority and the ABAG Finance Authority for Non-profit Corporations.

## NON-GOVERNMENTAL CONSTRAINTS

### Land Costs

Land costs are one of the major components of housing development costs. Post-recession, land prices increased rapidly since the last planning period. The rising land prices post-recession and subsequent period of economic growth affected housing and building nationwide, increasing housing costs. The potential impacts from Covid-19, related economic downturn, and response to expanded work from home options on land prices create a complex forecasting environment. However, there are indications that land costs will remain strong.

Data gathered from Trulia.com, Zillow.com and Realtor.com in August 2020 indicates that land in Roseville ranges from \$155,000 for 0.22 acre to \$10,000,000 for 136.23 acres. See the listings below.

Given that land costs can factor heavily into the final cost of housing, allowing the construction of homes on small lots can lower the cost of housing, especially in the moderate income category. As previously discussed, the City has significant land areas with a DS overlay district, which allows tailored development standards. As a result, the City sees significant production of small-lot homes (lot sizes below 3,000 square feet) at lower price-points per square-foot.

#### Lot Size Listing Price

0.22 acre	\$155,000
3.5 acres	\$269,000
0.65 acres	\$339,000
1.2 acres	\$700,000
28 acres	\$4,500,000
136.23 acres	\$10,000,000

## Construction Costs

The cost of construction depends primarily on the cost of materials and labor, which are influenced by market demand. The cost of construction will also depend on the type of unit being built and on the quality of product being produced. The cost of labor is based on a number of factors, including housing demand, the number of contractors in the area, and the unionization of workers.

A reduction in construction costs can be brought about in several ways. A reduction in amenities and quality of building materials in new homes (still above the minimum acceptability for health, safety, and adequate performance) may result in lower sales prices. State housing law provides that local building departments can authorize the use of materials and construction methods if the proposed design is found to be satisfactory and the materials or methods are at least equivalent to that prescribed by the applicable building codes.

In addition, modular, prefabricated, factory-built housing may provide lower-priced products by reducing labor and material costs. As the number of units built at once increases, savings in construction costs over the entire development are generally realized as a result of an economy of scale, particularly when combined with density bonus provisions.

Using current pricing sources, the average cost for a newly constructed 2,000-squarefoot single-family home (not including land) in the City of Roseville would be approximately \$295,000 (National Building Cost Manual, accessed online data, indexed for location). Data from ProMatcher provides additional data as it provides a range of costs from \$122.21 to \$181.46 per square foot, resulting in construction costs for a 2,000 square foot single-family house ranging from \$244,420 to \$362,920.

The City's Specific Plan process helps control infrastructure-related construction costs. As part of each Specific Plan, detailed infrastructure studies are prepared which define the location of all improvements, including wells, lift stations, and other infrastructure needs. This is not a common approach; frequently, jurisdictions will only plan for major systems at the Specific Plan level, deferring more site-specific determinations to future projects. However, this can result in uncertainty, because the cost and location of all infrastructure is not known at the outset, and can result in wide deviations in the total per-unit infrastructure costs from one subdivision to another. The City's approach ensures that infrastructure construction costs are clear and evenly distributed over the planning area.

## Development Densities

The City's Specific Plans assign a land use density and unit allocation to each large lot parcel of land, rather than a range (e.g. Medium Density Residential 12.2, or 12.2 units per acre). It is this detail which allows the Specific Plan process to clearly lay out the detailed infrastructure and per-unit construction costs for each planning area. It is common—and permitted—for developers to transfer units between parcels within a Specific Plan to ensure that each parcel's units "fit" within the acreage, but it is extremely uncommon for a developer to under-build.

## Availability of Financing

Interest rates are determined by national policies and economic conditions, and there is little that local governments can do to affect these rates. Jurisdictions can, however, offer interest rate write-downs to extend home purchase opportunities to lower-income households. In addition, government-insured loan programs may be available to reduce mortgage down payment requirements.

The Covid-19 influence on the housing market has had multiple impacts on the availability of financing. In late summer 2020, there were historically-low mortgage rates which stoked demand. Interest rates at the present time are not a constraint to affordable housing. However, lending standards have increased due to economic uncertainty. Lenders are announcing more stringent underwriting requirements and exiting some products completely. JPMorgan one of the country's largest lenders- and seen as a trendsetter- has raised the requirements borrowers must meet to be eligible for most new home loans. Customers need a credit score of at least 700 to qualify and must have funds equivalent to a 20% down payment.

Additionally, some lenders are putting into place different reserve requirements for self-employed borrowers. Lenders stress that these changes are temporary, but it is unknown how quickly mortgage companies return to business as usual.

One of the main barriers to rising demand is the lack of inventory, especially for entry-level homes. The California Association of Realtors' Roseville July 2020 monthly market report found that the number of active listings fell 51.2 percent from July 2019.



A more critical impediment to homeownership involves both the affordability of the housing stock and the ability of potential buyers to fulfill down payment requirements. Traditionally, conventional home loans typically require 5% to 20% of the sales price as a down payment, which is the largest constraint to first-time homebuyers. The current higher requirements strongly indicate a need for flexible loan programs and a method to bridge the gap between the down payment and a potential homeowner's available funds. The availability of financing for developers under current economic conditions may also pose a constraint on development outside of the City's control.

## GLOSSARY

**Above Moderate Income:** This is a household earning above 120 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means above moderate income 4-person households are earning more than \$96,100 annually.

**Accessory Dwelling Unit (ADU):** The common use terms for an ADU include in-law quarters, granny flat, second unit, and others. An ADU is a residential unit with complete facilities for living—sleeping, bathing, eating, etc—that is typically smaller than the main home on the site. An ADU can be either attached or detached from the main home, but functions as a separate home. See also Junior Accessory Dwelling Unit.

**Affordable Housing:** According to the U.S. Department of Housing and Urban Development, housing is affordable when it doesn't cost more than 30 percent of a household's income. Levels of affordable housing are identified based on household income compared to the median household income for a similarly-sized household. See also Extremely Low Income, Very Low Income, Low Income, Moderate Income, and Above Moderate Income Household.

**Area Median Income (AMI):** Annual income surveys are completed for each area (such as Placer County) to determine the median income for households of different sizes. A median is the exact middle of a list of numbers. In 2020, for a four-person household in Placer County the AMI is \$80,100.

**Extremely Low Income Household:** This is a household earning 0 – 30 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means extremely low income 4-person households are earning less than \$25,100 annually.

**Fair Housing:** This is housing access free from unlawful discrimination, but also includes housing access issues which are the result of historic patterns of discrimination.

**General Plan:** Every jurisdiction in California is required to maintain a long-term development plan for the community, known as the General Plan. The General Plan addresses land use and sets standards and policies regarding diverse issues, including parks and recreation, circulation and traffic, open space resources, and others.

**Housing Constraint:** A housing constraint is any factor which inhibits the development of housing, and includes land use controls, fees, the cost of land, the cost of construction, and a host of other factors.

**Housing Element:** A required component of a General Plan, the Housing Element addresses a community's housing needs for all income levels and policies and programs to help facilitate and provide the needed housing.

**Housing Inventory:** The housing inventory is a list of all sites in a jurisdiction which can accommodate additional housing development in the future; it is not an inventory of existing built housing units.

**Junior Accessory Dwelling Unit (JADU):** Where an ADU must contain complete facilities and may be detached, a JADU may share certain facilities with the main home (such as the bathroom) and must be contained within the walls of the main home. The JADU is required to have an efficiency kitchen with countertops and food storage, and outlets for countertop appliances.

**Low Income:** This is a household earning 50 – 80 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means low income 4-person households are earning between \$40,051 and \$64,100 annually.

**Lower Income:** The lower income category combines all households earning less than the area median income, and includes extremely low, very low, and low income households.

**Moderate Income:** This is a household earning 80 – 120 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means moderate income 4-person households are earning between \$64,101 and \$96,100 annually.

**Regional Housing Needs Allocation (RHNA):** The RHNA is the number of units at each income level which a jurisdiction must plan for in its Housing Element.

**Regional Housing Needs Plan (RHNP):** The Regional Housing Needs Plan is prepared by the Sacramento Area Council of Governments and identifies the RHNA for each member jurisdiction.

**Supportive Housing:** This is long-term housing linked to on- or off-site services that helps residents who have struggled with homelessness, health-related issues, substance abuse or other issues. The purpose of this housing is to help the residents remain in housing, improve their health, and maximize their potential to live and work in the community.

**Very Low Income:** This is a household earning 30 – 50 percent of the area median income for a similarly sized household. In 2020, for a four-person household in Placer County the area median income is \$80,100, which means extremely low income 4-person households are earning between \$25,101 and 40,050 annually.



## APPENDICES

### Appendix A Review of the Previous Housing Element

This component of the Housing Element examines goals, policies, implementation measures, and specific programs included in the 2013 Housing Element to determine their effectiveness.

#### FACTORS INFLUENCING HOUSING PRODUCTION OVER THE PRIOR PLANNING PERIOD

Housing is influenced by state and county growth rates, interest rates, employment levels, the national investment climate and other economic variables. Affordable housing challenges have resulted as the gap between housing costs and household income levels widen. Traditionally, housing costs throughout California have risen at a rate greater than household income levels.

The nation saw an unprecedented boom in housing prices that began in 1998 and continued until 2007. However, by 2008, the national economy and the housing market across the United States had undergone a dramatic turnaround. Due to the accessibility of credit and risky mortgage lending practices during the housing boom, the country saw insupportable home price inflation, and, subsequently, a rise in mortgage defaults and foreclosures nationwide, which led to an excess of available properties, and a tightening of the credit market.

As a consequence the City of Roseville along with the region, experienced a substantial slowdown in residential development in 2008 and a substantial drop in median home price through 2012.

A market recovery began in the 2012/2013 timeframe, with residential development and median home prices seeing steady year-on-year increases through the present time. Consequently, multiple affordable housing projects were successfully approved and developed during the previous Housing Element cycle. These projects relied on gap funding and support from the City to be developed, using the last of the City's remaining Redevelopment Agency funding.

However due to state legislation eliminating Redevelopment Agencies effective February 2012 no funding remains and the City will be challenged in the upcoming planning period to assist financially in the development of future affordable housing.

City of Roseville staff has determined that the goals, policies, implementation measures, and specific programs included in the 2013 Housing Element are appropriate and effective in providing sound housing and community development planning on a regional basis and for the City of Roseville. The City will continue to use these measures in an effective and efficient manner during the upcoming 2021–2029 Housing Element planning period. The City's aggressive affordable housing programs continue to use as many affordable housing tools as possible to help meet the goals it has established.

Unless otherwise specified, any program not implemented will continue to be an important potential source for affordable housing assistance and will remain in the Housing Element for possible future use. These programs may be implemented if the need for the program exists and sufficient resources are available.

The following is a summary of the City's progress in meeting priorities identified in the 2013 Housing Element:

Program	Accomplishments	Continue/Modify/Delete
<b>Affordable Housing</b>		
<b>1. Federal and State Programs</b> The City shall pursue and continue to participate in the following federal and state programs: [see below]	The City applied for HOME funds for the First Time Home Buyer and Owner-Occupied Housing Rehabilitation Programs in 2014 and was awarded \$1,000,000 to split between the two programs.  The First Time Home Buyer and Housing Rehabilitation programs were fully funded until the 2014 contract expired in November of 2017	Continue.
<b>Section 8 Housing Choice Vouchers (Federal)</b> The Section 8 Housing Choice Voucher Program is administered by the Roseville Housing Authority and	RHA is authorized to provide 735 households with HCV rental assistance. This total includes 75	Continue.

provides rental assistance to very low income households through direct payments to the property owner.

The Program is promoted on the City's website, and through Program brochures.

*(Policies 1, 2, and 5)*

vouchers allocated for non-elderly and disabled households (NED vouchers), which were awarded in October 2010, 65 Veterans Affairs Supportive Housing (VASH) vouchers used to house veteran households who were homeless or at risk of being homeless, and 33 Mainstream vouchers that assist households who have a non-elderly adult person with a disability and are transitioning out of institutional and other segregated settings, or are currently homeless or at risk of becoming homeless. Awards for new vouchers received are as follows:

Year	VASH	Mainstream
2014	10	0
2015	8	0
2016	8	0
2017	0	0
2018	9	14
2019	0	0
2020	30	19
Total	65	33

RHA was awarded its first VASH vouchers October 2014 and first Mainstream vouchers in 2018 and continues to request additional vouchers as HUD makes more available.

To be in compliance with HUD's regulations, the lease-up rate for a calendar year cannot exceed 100% of its allocation of vouchers (per voucher type), and the Housing Authority is required to be at-least 95% leased up for its voucher allocation or utilizing at least 95% of its annual budget authority.

Agencies leasing up at least 98% or more of its allocated vouchers can reach high-performing status. The following is a list of the percentage of allocated vouchers leased in previous years:

2013 - 97%

2014 - 98%

2015 - 99%

2016 - 97%

2017 - 96%

2018 - 93%

2019 - 90%

2020 (as of July 2020) - 92.1%

Although RHA's lease up is under the 95% requirement, RHA continues to meet HUD's program requirement for high-performing



# HOUSING

Program	Accomplishments	Continue/Modify/Delete
	<p>status through 100% expenditure of its annual budget allocation for the program.</p> <p>The Roseville Housing Authority has been designated by HUD as a “High Performing Housing Authority” for the past fifteen years.</p>	
<p><b>Community Development Block Grant (Federal)</b>                      The City is an entitlement jurisdiction for Community Development Block Grant (CDBG) funds and sets aside a portion of its annual allocation of CDBG funds for the following housing activities:</p> <p><b><u>Housing Rehabilitation Program</u></b>                      The City began the Housing Rehabilitation Program in 1980. This program is considered a key component in the City’s affordable housing strategy as a means of preserving Roseville’s housing stock affordable to lower income households. The program, targeted to low income, owner-occupied households, offers grants to elderly and disabled households and deferred loans to all low income households for health and safety repairs and home improvements. Deferred loans become due and payable upon sale, change of title, change of use or 30 years. Any program income received as a result of a loan payoff is used to fund new loans and grants.</p> <p>The Housing Rehabilitation Program is promoted on the City’s website, through the use of Program brochures and largely word of mouth.</p> <p><b><u>Handyperson Program</u></b>                      The City initiated funding for the Handyperson Program in 1999 as a result of public input, which identified a need for such a program in Roseville. The Handyperson program provides grants to seniors in need of minor home repairs, such as installation of grab bars, repair of minor plumbing leaks, etc. The Program is administered by Seniors First. Senior homeowners may be referred to the Housing Rehabilitation Program for assistance if repairs exceed the scope of the Handyperson Program.</p> <p>The Handyperson Program is promoted on the City’s website, through the use of Program brochures and Senior Resource Guide for Placer County.</p> <p><b><u>Paint Program</u></b>                      The City began the Paint Program in 1995 which provides vouchers for exterior paint and materials to assist low income homeowners with property maintenance. The Program is administered by the City’s Housing Division and is promoted on the City’s website and through Program brochures.                      (Policies 1, 5, and 6)</p>	<p>Housing Rehabilitation Program: A total of 49 loans were issued from 2013 to present.</p> <p><u>Handyperson Program</u>: A total of 417 households were assisted from 2013 to 2016 when the program was unfunded</p> <p><u>Paint Program</u>: A total of 47 Paint Vouchers were issued from 2013 to 2017 when the program was rolled into the Owner-Occupied Rehab program.</p>	<p>Continue the Housing Rehabilitation Program.                      Delete the Handyperson Program and Paint Program, as these functions have been incorporated into the Rehabilitation Program.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>Home Investment Partnership Program (HOME) (State)</b>  The City began its participation in the State Administered HOME Program in 1994 for the creation and maintenance of affordable housing. The City utilizes HOME funds for the following Programs:</p> <p><b><u>Housing Rehabilitation Program</u></b>  The CDBG funds are leveraged with HOME funds to provide loans and grant to low-income homeowners. The Housing Rehabilitation Program is described above.</p> <p><b><u>First Time Home Buyer (FTHB) – Down Payment Assistance (DAP) Program</u></b>  The City sets aside a portion of its HOME grant for down payment assistance in the form of deferred, shared appreciation loans (second mortgages). The FTHB-DAP Program is targeted to low-income households. The homebuyer must qualify under the City’s definition of a first time homebuyer; be able to provide at least a 1% down payment; and have attended a Home Buyer’s Seminar. The buyer must also comply with the City’s criteria with regard to the home selection.</p> <p><b><u>Multifamily New Construction</u></b>  The City will pursue HOME funds for construction of multifamily affordable units. HOME funds are leveraged with other funding sources such as Section 202 funds, Low Income Housing Tax Credits, Tax Exempt Housing Bonds, etc. to provide affordable rental housing targeted to extremely low and very low income households.  <i>(Policies 1, 2, 5, and 6)</i></p>	<p>The City applied in 2014 for HOME funds and were able to fund both the First Time Home Buyer and Housing Rehabilitation programs.</p> <p>Through the Housing Rehabilitation Program, a total of 44 loans were issued from 2013 to present.</p> <p>From 2013 to 2017, 22 FTHB program loans were funded.</p>	<p>Combine with Program 1.</p>



Program	Accomplishments	Continue/Modify/Delete
<p><b>2. Density Bonus Program</b> <i>(Ongoing: 2013–2021)</i></p> <p>The City shall continue to implement its Density Bonus Program to help promote and create affordable housing units. The program provides a property owner the ability to construct more income-producing units within the project that can offset the cost of providing affordable units. The Density Bonus Program is promoted on the City’s website, and information is available at the City’s Permit Center. The City’s Housing Division staff also actively promotes the Density Bonus Program in conjunction with implementation of the 10% Affordable Housing Program.</p> <p>The City’s Density Bonus Program is consistent with State Government Code Section 65915–65918. The Density Bonus Program provides for a minimum 20% to a maximum 35% density bonus in the maximum number of dwelling units, in addition to incentives and/or concessions. The concessions and/or incentives may include reduction in zoning standards, development standards, design requirements, mixed-use zoning, financial assistance, or any other incentive that would reduce costs of the developer.</p> <p>A developer may qualify for a density bonus and additional incentives and/or concessions if the developer agrees to construct and maintain a minimum of:</p> <ul style="list-style-type: none"> <li>• Ten percent (10%) of the units affordable to lower-income households;</li> <li>• Five percent (5%) of the units affordable to very low-income households; A senior housing development;</li> <li>• Ten percent (10%) of the units in a condominium project affordable to moderate-income households.</li> </ul> <p>The density bonus is increased on a sliding scale, depending on the type and number of affordable units, up to a maximum 35% density bonus. The number of concessions/incentives granted by the City also increases based on the number and type of affordable units to be constructed.</p> <p>The developer must enter into an Affordable Housing Agreement to secure the affordable units for a minimum of 30 years prior to issuance of building permits or prior to final map approval. <i>(Policies 1, 2, and 4)</i></p>	<p>The City updated the Zoning Code to reflect changes to the Density Bonus Ordinance in 2008.</p> <p>Siena Apartments, a 156-unit, multi-family development, took advantage of a density bonus and received their Certificate of Occupancy in 2009.</p>	<p>Modified. The City’s Density Bonus Program was outdated and needed to be revised to be consistent with current state law. Rather than wait until after adoption of the 2021 Housing Element, the necessary Ordinance amendments were prepared and adopted in Spring 2021.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>3. Second Unit Ordinance</b> (Ongoing: 2008–2013)</p> <p>A second dwelling unit shall be as defined by Government Code Section 65852.2 and shall mean an attached or detached residential dwelling unit which provides complete independent living facilities for one (1) or more persons. It shall include permanent provisions for living, sleeping, eating, cooking and sanitation on the same parcel as the primary dwelling is situated. It also includes an efficiency unit and a manufactured home as defined in the Health and Safety Code.</p> <p>The floor area of the second dwelling unit for an attached unit shall not exceed 30% of the existing dwelling's living area. The floor area of the detached unit shall not exceed 1,200 square feet. Fees associated with the development of the second units are the same as those for new single family units. A second unit is permitted provided it complies with the applicable design and development standards identified in Chapter 19.60 of the Zoning Ordinance.</p> <p>The City currently supports and promotes the development of second units on the City's website and information is available at the City's Permit Center.</p> <p>(Policies 1, 2, and 9)</p>	<p>The City supports and promotes the accessory dwelling unit ordinance through the City's website and information is available at the City's Permit Center.</p> <p>The City has processed 46 second units since 2013.</p>	<p>Modified. The City's Accessory Dwelling Unit Ordinance has been updated multiple times to respond to changes in state law. The program in the Housing Element was revised to correctly reflect the City's existing Ordinance, which was updated in Spring 2021.</p>
<p><b>4. Condominium Conversion Ordinance</b> (Ongoing: 2008–2013)</p> <p>The City shall continue to enforce its Condominium Conversion Ordinance to define those conditions under which the conversion of rental units to condominiums would be permitted. Under the Ordinance, conversions cannot occur unless certain criteria is met, including: the City has established minimum City-wide vacancy rates for multifamily rental housing; a minimum percentage of multifamily rental units citywide; provision for affordable housing requirements and Community Benefit Fee; and tenant protections including a Tenant Relocation Plan, etc.</p> <p>If the conversion meets the required criteria, the developer must enter into an Affordable Housing Development Agreement to secure the affordable units provided as part of the conversion approval.</p> <p>(Policies 1, 2, 4, and 11)</p>	<p>There have not been any condominium conversions since 2008. Condominium conversions were popular statewide for a certain period, but over the last two decades interest has waned in suburban areas.</p>	<p>The City will continue to support this program.</p>
<p><b>5. Streamline Project Processing</b> (Ongoing: 2008–2013)</p> <p>To facilitate project approval and provide internal support to project applicants, the City established the Community Development Manager position within the Community Development Department. The Community Development Manager acts as a liaison between project applicants, development community, Chamber of Commerce and City staff to continually assess the City's existing project processing system and identify short-term and long-term areas for improvement of the plan check process.</p> <p>(Policies 1 and 2)</p>	<p>The Development Services Department implemented an Online Permitting Services (OPS) portal in 2018. OPS improves the delivery of permitting services for the City's internal and external customers by providing the following:</p> <ul style="list-style-type: none"> <li>• Internet access with a user friendly interface that is intuitive to the customer.</li> <li>• Online citizen access including online fee estimation, online permit submission, online permit tracking, online inspection</li> </ul>	<p>Modify to reflect the implementation of the OPS portal.</p>



Program	Accomplishments	Continue/Modify/Delete
	<p>scheduling, and permit management.</p> <ul style="list-style-type: none"> <li>• Single source for City permit tracking.</li> <li>• Enhancement of the reliability and consistency of development services while providing transparency of workflow to the customer.</li> <li>• Integrates with software systems supporting development with emphasis on the City's financial and GIS software.</li> </ul> <p>The City has created the Development Services Department to provide development services in a single location with a single point of contact for the customer. The organizational structure is developed around products delivered to the customer irrespective of current departmental lines of authority</p>	
<p><b>6. Review of Subdivision Improvement Standards and Zoning Ordinances</b> (Ongoing: 2008–2013)</p> <p>The City's intent is to ensure current standards represent the best means to achieve housing and other City objectives. The City, through the Public Works and Planning Divisions, shall continue to review and modify Subdivision Improvement Standards on an annual basis. Evaluation of the Zoning Ordinance occurs approximately every 2–5 years.</p> <p>Properly developed and updated standards can help reduce the costs of development while balancing basic environmental, health, safety and welfare needs. (Policies 1 and 2)</p>	<p>The City updated the Zoning Code in 2020 to address typos, errors and omissions; modify text for clarity and consistency and interpretation; and modify development processes to be consistent with the City's goals.</p>	<p>Modify. This program duplicates the program in the Governmental and Non-Governmental Constraints section so will be removed from this section.</p>
<p><b>7. Specific Plan Areas (SPA)</b> (Ongoing: 2013–2021)</p> <p>The City shall ensure that Specific Plans are consistent with the goals and policies of the General Plan. The primary purpose of the Specific Plan Area process is to guide the comprehensive urbanization of land use in a mix of residential neighborhoods, schools, parks, open spaces, supporting retail and public facilities, office uses, and an affordable housing component. The SPA's are the first step in implementing programs such as the 10% Affordable Housing Goal.</p> <p>Within each SPA, specific parcels are subject to certain affordable housing requirements. Agreements between the City and developers may include a variety of housing types, including mixed use, wherever applicable to help achieve the 10% Affordable Housing Goal.</p> <p>Specific Plans identify programs to meet the 10% Affordable Housing Goal. The type of units, targeted income categories, and parcel by parcel obligations</p>	<p>Since 2013, the City has approved the following Specific Plans: Amoruso Ranch Specific Plan (June 2016).</p>	<p>Continue.</p>

Program	Accomplishments	Continue/Modify/Delete
<p>are specified. Strategies, including City and landowner obligations, are described. A provision for the payment of in-lieu fees for affordable housing may be included, if appropriate. Development Agreements are utilized to secure implementation of the Affordable Housing Program. Projected subsidies and quantified objectives are outlined in Table X-8. Additional discussion regarding the City's SPA's is provided under the 10% Affordable Housing Goal in the Affordable Housing section of the Element.</p> <p><i>(Policies 1, 2, 3, 4, 8, and 10)</i></p>		
<p><b>8. Public/Private Partnerships</b>  (Ongoing Roseville Specific Plan Process: 2013–2021)</p> <p>The provision of affordable housing is a societal goal, one that should be achieved through the efforts of the entire community. Within each of the adopted Specific Plans, the City has included a provision for a public/private partnership, between developers of housing and the City, to achieve the 10% Affordable Housing Goal. Roseville has identified the following specific roles in this partnership to provide affordable housing:</p> <p><b>City of Roseville</b>  The City shall continue with an aggressive affordable housing program designed to maximize potential funds available through existing federal, state, and local programs. Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement. Prior to building permits being issued or recording of the final map, developers are required to enter into an Affordable Housing Development Agreement. The City of Roseville will assist all property owners in obtaining appropriate and available subsidies for construction of the affordable housing obligation. If adequate subsidies are unavailable, the affordable housing goal may be deferred to a later phase of the project to allow time to assemble the necessary financing.</p> <p><b>Development Community</b>  Developers for each of the designated affordable housing parcels are required to provide affordable housing pursuant to the terms of the Specific Plan Development Agreement.</p> <p><i>(Policy 7)</i></p>	<p>Since 2008, the City has approved the following Specific Plans: Downtown (2009), Sierra Vista (May 2010), Westbrook Amendment to the Sierra Vista Specific Plan (March 2012), and Creekview Specific Plan (September 2012), and Amoruso Ranch Specific Plan (June 2016). All of these Specific Plans have included affordable housing units meeting the 10% requirement. Since 2013, the Amoruso Ranch Specific Plan included 283 affordable housing units and the Campus Oaks amendment to the HP Master Plan included 95 affordable housing units</p>	<p>Continue.</p>
<p><b>9. Affordable Housing Agreements</b>  (Ongoing and Annual Monitoring: 2013–2021)</p> <p>The City shall require Affordable Housing Development Agreements for all housing projects subject to affordability requirements. Such agreements shall stipulate: 1) number of affordable units to be constructed; 2) the affordable purchase price or rental price; 3) the income group to whom the units will be affordable; and, 4) the length of time the units will remain affordable.</p> <p>Maximum rents and purchase prices will be</p>	<p>The City reviews all Affordable Housing Agreements for compliance with affordability provisions.</p> <p>Since 2013, the following multi-family complexes were completed and Agreements entered into:</p> <p>Pearl Creek Apartments – 23 units  Campus Oaks Apartments Phase 1 – 42 units  Lohse Apartments – 58 units  Main Street Plaza – 65 units  Campus Oaks Apartments Phase 2 – 45 units</p>	<p>Continue.</p>



Program	Accomplishments	Continue/Modify/Delete										
<p>determined based on unit size and occupancy levels as follows:</p> <table border="1" data-bbox="196 281 675 478"> <thead> <tr> <th>Unit Size</th> <th>Household Size</th> </tr> </thead> <tbody> <tr> <td>1 Bedroom</td> <td>1.5 Persons</td> </tr> <tr> <td>2 Bedroom</td> <td>3 Persons</td> </tr> <tr> <td>3 Bedrooms</td> <td>4.5 Persons</td> </tr> <tr> <td>4 Bedrooms</td> <td>6 Persons</td> </tr> </tbody> </table> <p>If adequate subsidies are not available to assist in achieving the 10% Affordable Housing Goal, the goal may be deferred to a future date agreed upon by the property owner and the City. Deferring the goal will give the City an opportunity to assemble the necessary financing.</p> <p>The City shall, on an annual basis, review all Developments Agreements for compliance with affordability provisions. Any property owner who fails to comply with the requirements of a Development Agreement may be found by the City Council to be in default of the Agreement.</p> <p><i>(Policies 1, 2, 3, 7, 9 and 10)</i></p>	Unit Size	Household Size	1 Bedroom	1.5 Persons	2 Bedroom	3 Persons	3 Bedrooms	4.5 Persons	4 Bedrooms	6 Persons		
Unit Size	Household Size											
1 Bedroom	1.5 Persons											
2 Bedroom	3 Persons											
3 Bedrooms	4.5 Persons											
4 Bedrooms	6 Persons											
<p><b>10. In-Lieu Fees</b> <i>(Available Development Funding Mechanism)</i></p> <p>The City prefers affordable housing be developed as specified under the 10% Affordable Housing Goal within each of the specific plan areas. The collection of in-lieu fees presents a challenge to the City, since the City does not control or own land to ensure the development of the affordable units. Therefore, the City has not established a formal in-lieu fee program and encourages the development of affordable housing. In-lieu fees may be considered on a case by case basis. In all cases where in-lieu fees are considered as an alternative to producing affordable units, the Housing Division staff will review the project based on: 1) a good faith effort by the owner to secure and utilize available subsidies; 2) the type of project and its ability to absorb the affordable units; 3) ability to use the in-lieu fees within the same specific plan or infill areas.</p> <p>Development Agreements shall be the mechanism utilized to secure implementation of the affordable housing program.</p> <p><i>(Policies 1, 2, and 3)</i></p>	<p>The City collects in-lieu fees for rezoned developments that provide purchase housing opportunities. Fees collected between 1/1/2013 and 1/31/21 equaled a total of \$1,036,410.53. The in lieu fee is used for rental housing opportunities, which are better suited than purchase housing for very low-income households. Funds collected during this time are part of the reservation of funds for the 80 affordable units at Junction Crossing project.</p>	<p>Continue.</p>										
<p><b>11. Non-Residential Construction Fee</b> <i>(Proposed)</i></p> <p>The City shall consider the establishment of a non-residential construction fee program, which would levy a fee on non-residential construction to assist in the development and retention of affordable housing. The rationale behind this fee is that new employment is a factor in the need for additional housing. The City expects to review the establishment of a non-residential construction fee by 2012–2013, at which time the City will determine if it will pursue a program and, if so, the specifics of the program.</p> <p><i>(Policy 7)</i></p>	<p>The City did not consider the establishment of a non-residential construction fee during the previous planning period, as the construction industry was just beginning to recover from a significant recession and additional fees were not being considered.</p>	<p>Modify. Work to establish a non-residential construction fee is ongoing at this time. The program is being modified to reflect that current status.</p>										

Program	Accomplishments	Continue/Modify/Delete
<p><b>12. Units at Risk</b></p> <p>As noted, the City does not have any projects at risk of conversion to market rate during the five year planning period of the Housing Element and subsequent five year planning period. However, the City has identified the following program for projects at risk of conversion in future years.</p> <ul style="list-style-type: none"> <li>• On an annual basis, the City will update its list of subsidized rental properties and identify those units at risk of converting to market rate units.</li> <li>• If the City identifies projects with affordable units at risk, the City will contact the owner regarding their interest in selling properties or maintaining the rental units as affordable.</li> <li>• The City will work with property owners to identify and apply for federal, state, and local subsidies to ensure the continued affordability of housing units.</li> <li>• The City will maintain a list of non-profit agencies interested in acquisition/rehabilitation of at risk units and inform them of the status of such units.</li> <li>• The City will work with non-profit agencies to identify and apply for federal, state, and local subsidies available to assist with providing funds for the acquisition and rehabilitation of at risk projects.</li> <li>• The City will make available to tenants of projects at risk of conversion, referral and contact information regarding tenant rights and conversion procedures, as well as information regarding other affordable housing opportunities within the City.</li> </ul>	<p>Both Colonial Village and Preserve at Creekside have units at risk of converting to market rate during this Housing Element cycle.</p>	<p>Modify to establish Preservation Coordinator and add additional program language.</p>
<p><b>13. Housing Successor Agency</b></p> <p>On 2/22/12 the City became the Housing Successor of the Former Redevelopment Agency and will be working with the Department of Finance, in order to approve 2 – 3 affordable rental housing projects which were slated for development, using 2006 Housing Bonds in the amount of \$5.5 million. After the expenditure of those funds, there will not be any further assistance for affordable housing development using Low/Moderate Income Housing Fund or bond funds generated through the former Redevelopment Agency's tax increment.</p>		
<b>Residential Land Inventory</b>		
<p><b>1. Monitor the City's Land Inventory</b> (Ongoing 2013–2021)</p> <p>The City will annually review its land inventory to ensure there is enough vacant residential land in the city to meet its RHNA allocation.</p>	<p>The City has reviewed the land inventory each time a new Specific Plan has been processed and maintained its allocation during the planning period.</p>	<p>Modify to provide continuous monitoring.</p>



Program	Accomplishments	Continue/Modify/Delete
<p><b>2. Downtown Specific Plan</b> (Ongoing 2013–2021) The City will implement the Downtown Specific Plan focusing on infill development, revitalization of older neighborhoods and commercial corridors, as well as encouraging the development of mixed use and high density residential units. The City offers various programs in the Downtown Specific Plan, which encourage and facilitate the development of high density and mixed use housing.</p>	<p>Three affordable residential developments have been approved in the Downtown Specific Plan since 2013. The Frederic Lohse Apartments (58 units, completed 2018), Junction Crossing Apartments (80 units, approved 2018), Main Street Plaza Apartments (65 units, under construction).</p>	<p>Revise to encompass the entire Infill designated area of the City.</p>
<b>Special Housing Needs</b>		
<p><b>1. Federal and State Programs</b> <i>(Annual Application)</i> The City shall pursue following state and federal sources that will assist the City in addressing the housing and supportive needs of special needs populations.</p> <p><b><u>Section 8 Housing Choice Voucher Program (Federal)</u></b> Administered by the Roseville Housing Authority, the Department of Housing and Urban Development (HUD) provides funding for rental subsidy payments for households earning 50% or less of the median income. <i>(Policy 1)</i></p> <p><b><u>Section 202 (Federal)</u></b> HUD provides long term, direct loans to private, non-profit sponsors to finance new construction of elderly and handicapped housing affordable to households earning 50% or less of the median income. The City will support applications by non-profit housing developers for Section 202 funding. <i>(Policy 1,2)</i></p> <p><b><u>HOME Investment Partnership Program (State)</u></b> The Housing Division utilizes State Administered Federal HOME funds for the First Time Homebuyer Program which provides down payment assistance to low-income first time homebuyers. The City's First Time Homebuyer Down Payment Assistance Program allows displaced homemakers to qualify as first time homebuyers. The City also uses HOME funds to leverage Community Development Block Grant funds for the Housing Rehabilitation Program described below. The City will pursue HOME funds for financing of affordable multifamily rental projects targeted to special needs groups such as seniors. <i>(Policies 1, 2, 3, 4)</i></p> <p><b><u>Community Development Block Grant (CDBG) (Federal)</u></b> The City will continue to set aside CDBG funds for the following programs which address the needs of special needs populations, including elderly, disabled and homeless individuals and families.</p> <p><b><u>Housing Rehabilitation Program</u></b> Deferred loans up to \$100,000 are available to low-income homeowners for health and safety repairs and general home improvements. Elderly and</p>	<p>The City applied in 2014 for HOME funds and was able to fund both the First Time Home Buyer and Housing Rehabilitation programs.</p> <p>Through the Housing Rehabilitation Program, a total of 44 loans were issued using HOME funds from 2013 to present. From 20013 to 2017, 22 FTHB program loans were funded.</p> <p>The Roseville Housing Authority issued the following number of vouchers during the designated year:</p> <ul style="list-style-type: none"> <li>• 2013: 117</li> <li>• 2014: 124</li> <li>• 2015: 95</li> <li>• 2016: 117</li> <li>• 2017: 122</li> <li>• 2018: 72</li> <li>• 2019: 129</li> <li>• 2020: 120</li> </ul> <p>Through the Housing Rehabilitation Program funded with both CDBG and HOME funds, a total of 76 loans were issued from 2013 to present.</p> <p><u>Handyperson Program:</u> A total of 417 households were assisted from 2013 2016. The program was unfunded in 2017.</p> <p><u>Paint Program:</u> A total of 47 Paint Vouchers were issued from 2013 to 2017. The program was rolled into the Owner-Occupied Rehab program in 2018.</p> <p>The following is a list of Public Services that have been funded since 2013:</p> <p><u>2013</u></p> <ul style="list-style-type: none"> <li>• Case Management and Temporary Assistance</li> <li>• The Gateway Resource Center</li> <li>• Youth Program Passport-Recreation Assistance</li> <li>• Case Management Services</li> </ul>	<p>Continue.</p>

disabled homeowners can also receive a \$5,000 grant for health and safety repairs.

**Roseville Handyperson Program**

The Roseville Handyperson Program provides grants to elderly and disabled homeowners for minor home repairs and handicapped accessible improvements.

**Public Service Funds**

The City has made CDBG Public Service funds available to non-profit agencies and organizations that provide supportive services to special needs populations. The City will continue to consider applications for funding for special needs activities under the Public Service category during the Annual Action Plan process.

*(Policies 1, 2,3, 4 and 5)*

- Domestic Violence Services Project
- Case Management Program
- Senior Nutrition Program
- BAGS Program

2014

- Senior Link – Information and Assistance
- SPARKS and Operation Swim
- Handyperson Program
- Supportive Housing Case Manager
- Transitional Housing for Families with Children
- Child and Family Therapy Program
- Roseville Victims' Services
- BAGS Program
- Case Management Temporary Rent/Utility and Transportation Assistance

2015

- Handyperson Program
- Child and Family Therapy Program
- Senior Nutrition Program
- BAGS Program
- Case Management Temporary Rent/Utility and Transportation Assistance
- Senior Link – Information and Referral Program

2016

- Transportation Services
- Case Management Services
- Handyperson Program
- Youth Swim Passport/Sparks
- Senior Nutrition Program
- Child and Family Therapy Program
- Roseville Victims' Services
- BAGS Program for Elderly and Disabled Adults
- Transitional Living for Homeless Families
- Emergency Homeless Shelter

2017

- Meals on Wheels
- Mental Health Clinician
- Emergency Overnight Homeless Shelter
- Roseville Victims' Services Project
- BAGS Program
- Family Mental Wellness Program



Program	Accomplishments	Continue/Modify/Delete
	<ul style="list-style-type: none"> <li>• Housing Supportive Services <u>2018</u></li> <li>• Meals on Wheels</li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Program</li> <li>• Family Mental Wellness Program</li> <li>• Housing Supportive Services <u>2019</u></li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Program</li> <li>• Family Mental Wellness Program</li> <li>• Meals on Wheels</li> <li>• Housing Supportive Services <u>2020</u></li> <li>• Mental Health Clinician</li> <li>• Emergency Shelter Services</li> <li>• Roseville Victims' Services Project</li> <li>• BAGS Food Home Delivery Program</li> <li>• Meals on Wheels</li> <li>• Fair Housing Services</li> <li>• Family Mental Wellness Program</li> <li>• Transitional Housing for Homeless Persons with Mental Illness</li> </ul>	
<p><b>2. Local Programs</b></p> <p>The City shall continue to utilize the following local financing programs to address the needs of special needs populations:</p> <p><b><u>Homeless Voucher Program</u></b></p> <p>The City Council has approved Roseville General Funds to assist Roseville homeless and those about to be homeless with grants up to \$1,500 for payment of past due rent, security deposits, first month's rent, past due utility bills, and emergency motel vouchers. The Salvation Army administers the Program and provides dollar for dollar matching funds. The program is promoted by the Salvation Army and by referrals from local non-profit organizations and/or advocates for the homeless. (<i>Policy 5</i>)</p> <p><b><u>Roseville Community Grant Funds</u></b></p> <p>The City has established the following community grants. The Grants Advisory Commission reviews grant applications and makes grant recommendations on an annual basis to the City Council.</p> <ul style="list-style-type: none"> <li>• <u>Citizens' Benefit Fund</u> - The Citizens' Benefit Fund utilizes interest payments on funds received from</li> </ul>	<p>From 2013 to 2021, 1,010 households were assisted as part of the Homeless Voucher Program.</p> <p>From 2013 to 2020, the City provided \$2,778,284 in funds between the Citizens' Benefit Trust and the REACH Fund.</p>	<p>Continue.</p>

Program	Accomplishments	Continue/Modify/Delete
<p>the sale of the City-owned Roseville Community Hospital to provide grants of up to \$30,000 to public agencies, schools and non-profit organizations serving citizens of Roseville are eligible to apply “to improve the quality of life for the citizens of Roseville.”</p> <ul style="list-style-type: none"> <li>• <b>REACH Fund</b> - The REACH FUND utilizes contributions by Roseville City employees, retirees and businesses to provide grants up to \$7,500 to public agencies, schools, and non-profit organizations that assist youth, families or seniors in Placer County.</li> </ul> <p><i>(Policies 2 and 5)</i></p>		
<p><b>3. Regional Housing Programs</b></p> <p>When feasible the City will address affordable housing issues on a regional basis.</p> <p><b>McKinney-Vento Act Funds</b></p> <p>The City’s Housing Division will continue to participate in the Placer Consortium on Homelessness with other jurisdictions, local organizations and service providers to establish and promote a network of facilities and resources to assist the homeless population and other special needs populations. The City will continue to participate in the preparation of the Placer County Continuum of Care annual application for McKinney-Vento Act funds.</p> <p><i>(Policy 5)</i></p>	<p>From 2008 to 2012, 916 households were assisted using Homeless Emergency Assistance and Rapid Transition to Housing Act Funds</p> <p>The Homeless Emergency Assistance and Rapid Transition to Housing Act (HEARTH) of 2009 amended the McKinney-Vento Homeless Assistance Act</p>	<p>Continue.</p>
<p><b>Governmental and Non-Governmental Constraints to Housing Production</b></p>		
<p><b>1. Process and Fee Structure Review</b></p> <p>Permit Process – To expedite project facilitation and provide internal support to project applicants, the City established the Development Advisory Committee to function as a liaison building relationships between the City and development community, providing input into delivery of development services, cost of services, construction standards, development impact fees, and other development service policy areas.</p> <p>Fee Structure – The City will continue to review its fee system and work toward graduated fees as a means of reducing the cost of housing development.</p> <p>Development Services Department will work with the Development advisory committee.</p> <p><i>(Policy 1)</i></p>	<p>The City reviews the permit process and fee structure on an annual basis. Fees are updated annually. The City’s fee booklet and calculation worksheets are available online. Certain fees—particularly those supporting services that vary depending on building size and type—are graduated. This includes the building permit fee, which is based on a combination of square footage and occupancy group (valuation), and the public facilities fee, water connection fee, electric backbone fee, solid waste impact fee, and traffic mitigation fee, which are based on type and density of residential housing (the fee is reduced as density increases).</p> <p>In September of 2010 the City created a Development Advisory Committee (now known as the Economic Development Advisory Committee). Its purpose is to provide a forum for the public and staff to introduce and discuss suggestions, comments, and concerns regarding the City’s development services function. The Committee functions as a liaison</p>	<p>Continue.</p>



Program	Accomplishments	Continue/Modify/Delete
	<p>building relationships between the City and development community to foster and support development investment.</p> <p>The Committee adopts a five-year plan to focus their efforts, called the Economic Development Strategy (EDS). The 2017 to 2022 EDS was adopted in 2017 and includes implementation of the City's fee deferral program as a key action. Fees which can be deferred include the Fire Construction Tax, Public Facilities Fee, Traffic Mitigation Fee, and Electric Backbone Fee.</p>	
<p><b>2. Review of Subdivision Improvement Standards and Zoning Ordinances</b></p> <p>The City will continue to review the Subdivision Improvement Standards and Ordinances. <i>(Policy 2)</i></p>	<p>The City has not made any changes to the subdivision improvement standards. The City updated the Zoning Ordinance in 2020 to address typos, errors and omissions; modify text for clarity and consistency and interpretation; and modify development processes to be consistent with the City's goals.</p>	<p>Modify to include the purpose of the review.</p>
<p><b>3. Public Education Program</b></p> <p>The City will continue to educate its citizens regarding the necessity of providing the affordable housing needed to support the job growth occurring in Roseville. Specifically, this information will focus on the need to provide affordable housing in close proximity to jobs in an effort to reduce the traffic and air quality impacts that result from long commutes. In addition, the City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions. Education will occur through public hearings, presentations to various service organizations, and other community groups, articles published in the local newspaper, the City's newsletter. <i>(Policy 3)</i></p>	<p>The City has continued to educate the public at neighborhood meetings involving rezones and at neighborhood association meetings, as well as during the rezone process.</p>	<p>Modify to reflect an emphasis on equity and establish an evaluation component.</p>

Program	Accomplishments	Continue/Modify/Delete
<p><b>4. Public Participation</b></p> <p>The Planning Division will continue to encourage developers to meet with interested parties before the public decision making process begins. Preliminary neighborhood forums allow persons directly affected by the project to have their questions and concerns addressed early in the planning process. (Policy 3)</p>	<p>The City meets with developers on a daily basis. For specific plans, the City has standing biweekly staff meetings and weekly technical meetings.</p> <p>The public has many opportunities to be notified of proposed development projects including:</p> <ul style="list-style-type: none"> <li>• Uploading initial notices that an application was received to the Roseville Coalition of Neighborhood Associations (RCONA) website.</li> <li>• Maintenance of the City's Development Activity website, which includes a list of all new applications received during the previous week, a description of all active development proposals in the City, and interactive maps displaying the location of current and upcoming construction in the City.</li> <li>• Maintenance of the City's Planning Projects of Interest website, where project details and documents are uploaded for projects generating significant community interest.</li> <li>• Maintenance of the City's Online Permitting Services portal, which allows the public to look up documents and details for all active applications in the City.</li> <li>• For General Plan Amendments, physically posting a notice of the project application on the project site.</li> <li>• Encouraging applicants to hold neighborhood meetings before the public decision-making process begins. Preliminary neighborhood forums allow persons directly affected by the project to have their questions and concerns addressed early in the planning process.</li> <li>• Uploading public hearing notices and notices of intent to approve a project to the RCONA website, in addition to the direct mailing of such notices to properties within 300 feet of the project.</li> </ul>	<p>Modify to include the various ways the public is notified of projects.</p>
<p><b>5. Fair Housing</b> (Ongoing 2013–2021)</p> <p>The City will continue to provide assistance regarding equal housing opportunities through its Housing Division and Housing Authority.</p> <p>The City of Roseville will continue its collaborative Housing Education Campaign to provide fair housing counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners,</p>	<p>The City continues to provide Fair Housing Counseling workshops and one-on-one counseling for Roseville residents, landlords/property owners, and tenants, with counseling provided by Legal Services of Northern California through the City's Fair Housing Education Program.</p>	<p>Modify by moving this program into the Special Housing Needs section (which is being renamed Equitable and Inclusive Housing Choice) and completely updating. Also add and track quantified objectives, to better evaluate success over time.</p>



Program	Accomplishments	Continue/Modify/Delete
<p>and tenants, with counseling provided by Legal Services of Northern California through the City's Fair Housing Education Program.</p> <p>In addition to the provision of workshops and one-on-one counseling, the City's website includes fair housing information and referral service data with links to other Fair housing resources.</p>		
<b>Residential Energy Efficiency and Conservation</b>		
<p><b>1. Roseville Electric Program Peak Load Management Program</b> (Current Available Program)</p> <p>Roseville Electric will continue to implement the peak load management program. This program cycles off customer equipment when City load approaches its resource limits. (Policy 1)</p> <p><b>Energy Audits</b> (Current Available Program)</p> <p>Roseville Electric will continue to offer energy audits to aid the customers in reducing home energy costs. In addition to free mail-in and web-based customer assisted energy audits, at the customer's request, a trained energy auditor will inspect residences and advise the best way to achieve energy efficiency and save money. Roseville Electric will also offer web site or mail in energy audits. The audit includes a utility bill analysis to show the customer where the energy is being used. Also included are suggested low and no cost conservation practices and an analysis of recommended conservation measures. (Policies 1 and 2)</p>	<p>3,300 customers are currently enrolled in the Power Partners program.</p> <p>Over 38,000 households receive Home Energy Reports and all Roseville Residents have access to the online energy audit tools provided by Roseville Electric.</p>	Continue.
<p><b>Energy Efficiency Rebates and Renewable Energy Rebates</b> (Current Available Program)</p> <p>Roseville Electric will continue to offer rebates to all electric customers who install or upgrade their homes with energy efficiency appliances and equipment. Examples include energy efficient air conditioners, programmable thermostats, sunscreens, energy efficient windows, floors, and attic insulation and renewable energy systems such as photovoltaics. (Policies 1 and 2)</p>	Over 3,300 residents participated in retrofit energy efficiency programs in fiscal year 2020.	Continue energy efficiency rebates.
<p><b>Electric Rate Assistance Programs</b>(Current Available Program)</p> <p>Roseville Electric offers a discount to residential customers whose income is no greater than specified by the US Department of Housing and Urban Development as "very low" for Placer County. Roseville Electric also offers Medical Support Rate Reductions for customers who have medical devices in their homes.</p> <p>Roseville Electric closed the Senior Low-Income Rate Reduction to new applicants effective July 1, 1998. Electric customers receiving the Senior Low-Income Rate may either continue receiving the senior discount or apply for the Electric Rate Assistance Program discount. (Policy 3)</p>	Currently, Roseville Electric is assisting 1700 households with the Electric Rate Assistance programs.	Continue.
<b>Roseville Utility Exploration Center</b>	This program is still in operation and is working with local schools to	Continue.

Program	Accomplishments	Continue/Modify/Delete
<p><i>(Current Available Program)</i>  Roseville's Utility Exploration Center is an interdepartmental project spearheaded by Roseville Electric and the Environmental Utilities Department with support from the Parks, Recreation and Libraries Department and City Manager's Office. The Exploration Center is a key component of the site and will be a one-of-a-kind center offering an exciting new take on preserving our natural resources and protecting our environment through new technologies and conservation measures in energy efficiency, water conservation, recycling, and water quality and environmentally sustainable building materials making the center an exhibit in itself. When completed, the Exploration Center will offer children and adults fun and interactive tools for learning</p>	<p>provide state recognized education on environmental awareness and sustainability.</p>	
<p><b>Green Roseville</b>  <i>(Ongoing)</i>  Green Roseville offers residential and commercial customers a way to contribute to Roseville Electric's purchase of renewable energy. The minimum amounts of renewables that must be purchased by Roseville Electric are set by state law.</p>	<p>This program changed to allow customers to contribute to Roseville Electric's efforts to include a set percentage of renewable resources in the utility's overall portfolio. The percentage is set by state law.</p>	<p>Delete. Roseville Electric now has a Community Solar program.</p>
<p><b>BEST Homes Project</b>  <i>(Project)</i>  The BEST Homes Project incorporates rooftop solar generation, as well as other energy-saving features in up to 20% of new homes built in Roseville. Partnership with Lennar resulted in the company's commitment to build 635 new BEST homes in Roseville.</p>	<p>Builders have included solar systems on over 860 homes through the BEST Homes program.</p>	<p>Delete. Solar is now required by the building code.</p>
<p><b>2. New Construction Efficiency</b>  <i>(Routine Daily Operation)</i>  The Roseville Building Department will continue to enforce Title 24 of the Building Code. Title 24 is the state residential energy conservation standard, which defines construction standards for energy requirements to promote energy efficiency and conservation.  <i>(Policy 1)</i></p>	<p>Roseville Electric provides incentives to home builders who design and build homes that exceed state building standards.</p>	<p>Continue.</p>



## Appendix B Regional Analysis of Impediments (Fair Housing)

The Analysis of Impediments to Fair Housing Choice is a planning process for local governments and public housing agencies to understand and take meaningful actions to overcome historic patterns of segregation, promote fair housing choice, and foster inclusive communities free from discrimination. The 2020 Analysis of Impediments was completed by the Sacramento Valley Fair Housing Collaborative, consisting of the agencies listed below:

- City of Citrus Heights
- City of Davis
- City of Elk Grove
- City of Folsom
- City of Galt
- City of Isleton
- City of Rancho Cordova
- City of Rocklin
- City of Roseville
- City of Sacramento
- Housing Authority of Sacramento
- Sacramento County
- Sacramento County Housing and Redevelopment Agency
- City of West Sacramento
- City of Woodland
- Yolo County Housing

A copy of the entire Analysis of Impediments is available for review online on the City's Housing Element website at [https://www.roseville.ca.us/housing\\_element\\_update](https://www.roseville.ca.us/housing_element_update), on the Documents page. The direct link to the document is:

[https://www.roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Development%20Services/Planning/Housing%20Element%202021-2029/Sacramento%20Valley%20Analysis%20of%20Impediments%202020.pdf](https://www.roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Development%20Services/Planning/Housing%20Element%202021-2029/Sacramento%20Valley%20Analysis%20of%20Impediments%202020.pdf).

## Appendix C Detailed Sites Inventory

Table A: Housing Element Sites Inventory, Table Starts in Cell A2

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-001-000		Low Density Residential-2	Small Lot Residential	0.5	3.9	20,159	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	68	AR-1		1056833
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-002-000		Low Density Residential-2	Small Lot Residential	0.5	2.4	24,770	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	87	AR-1		1056834
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-002-000		Low Density Residential-2	Small Lot Residential	0.5	2.4	27,265	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	80	AR-1		1056826
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-001-000		Low Density Residential-2	Small Lot Residential	0.5	5.6	7,268	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	41	AR-1		1056781
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-003-000		Low Density Residential-2	Small Lot Residential	0.5	6.1	2,781	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	17	AR-1		1056785
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-004-000		Low Density Residential-2	Small Lot Residential	0.5	6.3	4,999	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	24	AR-1		1056776
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-011-000		Low Density Residential-2	Small Lot Residential	0.5	5.8	3,170	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	18	AR-1		1056835
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-014-000		Low Density Residential-2	Small Lot Residential	0.5	6.2	8,441	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	52	AR-1		1056819
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-040-000		Low Density Residential-2	Small Lot Residential	0.5	6.3	6,265	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	40	AR-1		1056822
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-020-000		Medium Density Residential-2	Small Lot Residential	0.5	7	10,533	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	138	0		1056819
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-023-000		Low Density Residential-2	Small Lot Residential	0.5	6.5	8.41	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	55	AR-1		1056775
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-007-000		Low Density Residential-2	Small Lot Residential	0.5	6.2	3,402	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	21	AR-1		1056782
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-006-000		Low Density Residential-2	Small Lot Residential	0.5	6.8	6,133	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	40	AR-1		1056792
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-005-000		Low Density Residential-2	Small Lot Residential	0.5	6.3	7,096	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	45	AR-1		1056797
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-036-000		Low Density Residential-2	Small Lot Residential	0.5	6.1	7,435	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	45	AR-1		1056804
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-034-000		Low Density Residential-2	Small Lot Residential	0.5	6.5	6,562	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	43	AR-1		1056809
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-034-000		Low Density Residential-2	Small Lot Residential	0.5	6.7	3,623	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	24	AR-1		1056811
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-039-000		Low Density Residential-2	Small Lot Residential	0.5	19.1	5,135	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	31	AR-1		1056812
ROSEVILLE	4503 WESTBROOK BL	95747	017-470-028-000		High Density Residential-2	Multi-Family Residential	13	24.7	5,933	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	230	0		1056817
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-009-000		Low Density Residential-2	Small Lot Residential	0.5	5.4	2.7	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	13	AR-1		1056776
ROSEVILLE	408 WESTBROOK BL	95747	017-480-010-000		Low Density Residential-2	Small Lot Residential	0.5	6.4	4,364	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	28	AR-1		1056784
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-033-000		Low Density Residential-2	Small Lot Residential	0.5	6.8	2,793	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	19	AR-1		1056805
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-030-000		Low Density Residential-2	Small Lot Residential	0.5	5.2	2,504	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	13	AR-1		1056753
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-011-000		Low Density Residential-2	Small Lot Residential	0.5	6.2	4,772	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	28	AR-1		1056773
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-012-000		Low Density Residential-2	Small Lot Residential	0.5	5.7	9,723	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	55	AR-1		1056783
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-015-000		Low Density Residential-2	Small Lot Residential	0.5	6.3	2,388	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	15	AR-1		1056795
ROSEVILLE	4411 WESTBROOK BL	95747	017-470-027-000		Medium Density Residential-2	Small Lot Residential	0.5	12.6	10,156	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	129	0		1056803
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-013-000		Low Density Residential-2	Small Lot Residential	0.5	7.2	3,242	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	23	AR-1		1056786
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-016-000		Low Density Residential-2	Small Lot Residential	0.5	6.1	4,655	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	27	AR-1		1056794
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-046-000		Low Density Residential-2	Small Lot Residential	0.5	6.7	7,636	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	50	AR-1		1056759
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-045-000		Medium Density Residential-2	Small Lot Residential	0.5	11.5	5,305	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	61	AR-1		1056762
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-021-000		Low Density Residential-2	Small Lot Residential	0.5	5.1	3,654	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	19	AR-1		1056790
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-020-000		Low Density Residential-2	Small Lot Residential	0.5	5.9	4,793	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	54	AR-1		1056788
ROSEVILLE	4315 WESTBROOK BL	95747	017-480-042-000		High Density Residential-2	Multi-Family Residential	13	15.1	7,531	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	113	0		1056789
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-031-000		Low Density Residential-2	Small Lot Residential	0.5	4.9	5,093	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	25	AR-1		1056750
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-022-000		High Density Residential-2	Multi-Family Residential	13	25.2	13,073	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	380	0		1056829
ROSEVILLE	4410 WESTBROOK BL	95747	017-470-025-000		Medium Density Residential-2	Small Lot Residential	0.5	6.9	7,833	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	54	AR-1		1056842
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-024-000		Low Density Residential-2	Small Lot Residential	0.5	7.9	14,416	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	71	AR-1		1056818
ROSEVILLE	4300 WESTBROOK BL	95747	017-480-037-000		Medium Density Residential-2	Small Lot Residential	0.5	8.8	7,526	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	66	AR-1		1056793
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-480-036-000		Low Density Residential-2	Small Lot Residential	0.5	6.4	12,280	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	78	AR-1		1056791
ROSEVILLE	4180 WESTBROOK BL	95747	017-480-046-000		High Density Residential-2	Multi-Family Residential	13	29.4	5,931	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	150	AR-1		1056774
ROSEVILLE	4080 WESTBROOK BL	95747	017-480-041-000		Medium Density Residential-2	Small Lot Residential	0.5	7.7	7,967	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	94	AR-1		1056757
ROSEVILLE	Westbrook Bl and Sunset Bl	95747	017-470-013-000		Low Density Residential-2	Small Lot Residential	0.5	5.4	2,377	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	13	AR-1		1056808
ROSEVILLE	4081 WESTBROOK BL	95747	017-480-044-000		Community Commercial-2	Base: Commercial Mix	0	no max	14,331	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	91	0		1056779
ROSEVILLE	4255 WESTBROOK BL	95747	017-480-043-000		Community Commercial-2	Base: Commercial Mix	0	no max	2,966	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	68	AR-1		1056814
ROSEVILLE	6456 BENCHMARK DR	95747	017-101-057-000		Low Density Residential-4	Base: Small Lot Reside	0.5	4.8	19,593	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	94	AR-1		1056746
ROSEVILLE	6292 BENCHMARK DR	95747	017-101-057-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.1	10,126	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	52	AR-1		1056746
ROSEVILLE	6457 BENCHMARK DR	95747	017-101-056-000		Low Density Residential-4	Base: Small Lot Reside	0.5	4.8	13,960	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	67	AR-1		1056745
ROSEVILLE	6339 BENCHMARK DR	95747	017-101-056-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.3	9,672	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	51	AR-1		1056745
ROSEVILLE	6205 BENCHMARK DR	95747	017-101-056-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.4	13,606	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	74	AR-1		1056745
ROSEVILLE	5876 HOLT PW	95747	017-101-058-000		Low Density Residential-4	Base: Small Lot Reside	0.5	6.1	7.98	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	48	AR-1		1056744
ROSEVILLE	5702 HOLT PW	95747	017-101-058-000		Low Density Residential-4	Base: Small Lot Reside	0.5	6.1	10,164	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	74	AR-1		1056744
ROSEVILLE	5775 HOLT PW	95747	017-101-054-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.7	5,616	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	32	AR-1		1056742
ROSEVILLE	2816 BLUE OAKS BL	95747	017-101-054-000		Low Density Residential-4	Base: Small Lot Reside	0.5	4.4	22,101	Vacant	YES - Planned	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	97	AR-1		1056742
ROSEVILLE	3285 WESTBROOK BL	95747	017-490-017-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.1	18,723	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	95	AR-1		1056741
ROSEVILLE	3240 WESTBROOK BL	95747	017-490-024-000		Low Density Residential-4	Base: Small Lot Reside	0.5	5.2	12,920	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in							

Jurisdiction Name	Site Address/Intersection	5 Digit ZIP Code	Assessor Parcel Number	Consolidated Sites	General Plan Designation (Current)	Zoning Designation (Current)	Minimum Density Allowed (units/acre)	Max Density Allowed (units/acre)	Parcel Size (Acres)	Existing Use/Vacancy	Infrastructure	Publicly-Owned	Site Status	Identified in Last/Last Two Planning Cycle(s)	Lower Income Capacity	Moderate Income Capacity	Above Moderate Income Capacity	Total Capacity	Optional Information1	Optional Information2	Optional Information3
ROSEVILLE	1100 COTTONWOOD DR		95661 469-110-031-000		Low Density Residential-3	Single-Family Resident	0.5	3.5	0.511	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	2	2	IN	61	1029513
ROSEVILLE	1995 ROCKY RIDGE DR		95661 469-100-013-000		Medium Density Residential-2	Multi-Family Resident	7	8.0	1.468	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	12	0	IN	89	1029514
ROSEVILLE	1828 S CAROL WY		95661 469-260-009-000		Medium Density Residential-2	Neighborhood	7	8.0	0.287	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	1	0	IN	87	1029515
ROSEVILLE	904 ATLANTIC ST		95678 013-012-002-000		Medium Density Residential-3	General Commercial	7	8.1	0.189	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	1	IN	108	1026006
ROSEVILLE	531 VALLEJO AV		95678 011-250-007-000		Medium Density Residential-3	Single-Family Resident	7	14.3	0.673	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	10	10	IN	102	1000994
ROSEVILLE	350 SULLY CT		95678 014-051-017-000		Medium Density Residential-3	Multi-Family Resident	7	11.1	0.057	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	3	0	IN	3	1004063
ROSEVILLE	412 SIXTH ST		95678 012-062-018-000		Medium Density Residential-3	Single-Family Resident	7	11.3	1.074	Vacant	YES - Current	NO - Privately-Owned	Available	Used in Two Cor	0	0	11	0	IN	108	1004147
ROSEVILLE	86 VALLEY OAK DR		95678 472-370-013-000		Medium Density Residential-3	Planned Development	7	7.8	0.048	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018287
ROSEVILLE	88 VALLEY OAK DR		95678 472-370-014-000		Medium Density Residential-3	Planned Development	7	7.8	0.037	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018288
ROSEVILLE	90 VALLEY OAK DR		95678 472-370-015-000		Medium Density Residential-3	Planned Development	7	7.8	0.06	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018289
ROSEVILLE	92 VALLEY OAK DR		95678 472-370-016-000		Medium Density Residential-3	Planned Development	7	7.8	0.056	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018290
ROSEVILLE	94 VALLEY OAK DR		95678 472-370-017-000		Medium Density Residential-3	Planned Development	7	7.8	0.037	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018291
ROSEVILLE	96 VALLEY OAK DR		95678 472-370-018-000		Medium Density Residential-3	Planned Development	7	7.8	0.035	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018292
ROSEVILLE	98 VALLEY OAK DR		95678 472-370-019-000		Medium Density Residential-3	Planned Development	7	7.8	0.060	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018293
ROSEVILLE	100 VALLEY OAK DR		95678 472-370-020-000		Medium Density Residential-3	Planned Development	7	7.8	0.06	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018294
ROSEVILLE	102 VALLEY OAK DR		95678 472-370-021-000		Medium Density Residential-3	Planned Development	7	7.8	0.038	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018295
ROSEVILLE	104 VALLEY OAK DR		95678 472-370-022-000		Medium Density Residential-3	Planned Development	7	7.8	0.048	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018296
ROSEVILLE	106 VALLEY OAK DR		95678 472-370-023-000		Medium Density Residential-3	Planned Development	7	7.8	0.06	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018297
ROSEVILLE	108 VALLEY OAK DR		95678 472-370-024-000		Medium Density Residential-3	Planned Development	7	7.8	0.059	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018298
ROSEVILLE	110 VALLEY OAK DR		95678 472-370-025-000		Medium Density Residential-3	Planned Development	7	7.8	0.038	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018299
ROSEVILLE	112 VALLEY OAK DR		95678 472-370-026-000		Medium Density Residential-3	Planned Development	7	7.8	0.048	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018300
ROSEVILLE	114 VALLEY OAK DR		95678 472-370-027-000		Medium Density Residential-3	Planned Development	7	7.8	0.06	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018301
ROSEVILLE	113 VALLEY OAK DR		95678 472-370-028-000		Medium Density Residential-3	Planned Development	7	7.8	0.053	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018302
ROSEVILLE	111 VALLEY OAK DR		95678 472-370-029-000		Medium Density Residential-3	Planned Development	7	7.8	0.037	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018303
ROSEVILLE	109 VALLEY OAK DR		95678 472-370-030-000		Medium Density Residential-3	Planned Development	7	7.8	0.035	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018304
ROSEVILLE	107 VALLEY OAK DR		95678 472-370-031-000		Medium Density Residential-3	Planned Development	7	7.8	0.066	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018305
ROSEVILLE	105 VALLEY OAK DR		95678 472-370-032-000		Medium Density Residential-3	Planned Development	7	7.8	0.066	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018306
ROSEVILLE	103 VALLEY OAK DR		95678 472-370-033-000		Medium Density Residential-3	Planned Development	7	7.8	0.035	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018307
ROSEVILLE	101 VALLEY OAK DR		95678 472-370-034-000		Medium Density Residential-3	Planned Development	7	7.8	0.037	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018308
ROSEVILLE	99 VALLEY OAK DR		95678 472-370-035-000		Medium Density Residential-3	Planned Development	7	7.8	0.053	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	1	0	1	IN	115	1018309
ROSEVILLE	1007 DOUGLAS BL		95678 013-152-036-000		High Density Residential-2	Multi-Family Resident	13	24.4	0.892	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	22	0	0	22	IN	149	1029120
ROSEVILLE	560 ROSEVILLE PW		95747 481-270-016-000	G	Low Density Residential-6	Base: Small Lot Resident	0.5	6.1	5.272	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	59	59	NI	CO-2	1050977
ROSEVILLE	560 ROSEVILLE PW		95747 481-270-016-000	G	Low Density Residential-6	Base: Small Lot Resident	0.5	6.1	2.866	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-2	1050978
ROSEVILLE	530 ROSEVILLE PW		95747 481-270-012-000	G	Low Density Residential-6	Base: Small Lot Resident	0.5	6.1	0.875	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-2	1050984
ROSEVILLE	570 ROSEVILLE PW		95747 481-270-017-000	G	Low Density Residential-6	Base: Small Lot Resident	0.5	6.3	16.581	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	62	62	NI	CO-3	1050976
ROSEVILLE	520 ROSEVILLE PW		95747 481-270-011-000	H	Low Density Residential-6	Base: Small Lot Resident	0.5	8.7	5.38	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	86	0	86	NI	CO-6	1050975
ROSEVILLE	530 ROSEVILLE PW		95747 481-270-012-000	H	Low Density Residential-6	Base: Small Lot Resident	0.5	8.3	0.37	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-6	1050984
ROSEVILLE	520 ROSEVILLE PW		95747 481-270-043-000	H	Medium Density Residential-3	Base: Small Lot Resident	7	8.3	4.634	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-6	1050989
ROSEVILLE	510 ROSEVILLE PW		95747 481-270-011-000	I	Low Density Residential-6	Base: Small Lot Resident	0.5	6.8	0.705	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	27	27	NI	CO-12	1050975
ROSEVILLE	530 ROSEVILLE PW		95747 481-270-014-000	I	Low Density Residential-6	Base: Small Lot Resident	0.5	6.8	0.036	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-12	1050984
ROSEVILLE	510 ROSEVILLE PW		95747 481-270-043-000	I	Low Density Residential-6	Base: Small Lot Resident	0.5	6.8	0.669	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-12	1050989
ROSEVILLE	6300 CAMPUS PW		95747 481-300-057-000		Low Density Residential-6	Base: Small Lot Resident	0.5	6.8	2.804	Vacant	YES - Current	NO - Privately-Owned	Available	Not Used in Prior	0	0	0	0	NI	CO-12	1058233
ROSEVILLE	440 RIVERSIDE AV		95678 014-033-008-000	K	Community Commercial-3	Base: Commercial Mix	13	no max	0.445	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	10	0	0	10	RG	RG-6	1040403
ROSEVILLE	440 RIVERSIDE AV		95678 014-033-009-000	K	Community Commercial-3	Base: Commercial Mix	13	no max	0.30	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040404
ROSEVILLE	125 RIVERSIDE AV		95678 014-091-026-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	39	0	0	39	RG	RG-6	1040410
ROSEVILLE	123 RIVERSIDE AV		95678 014-091-021-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040411
ROSEVILLE	121 RIVERSIDE AV		95678 014-091-022-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040412
ROSEVILLE	119 RIVERSIDE AV		95678 014-091-023-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040413
ROSEVILLE	108 DOUGLAS BL		95678 014-091-024-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040414
ROSEVILLE	110 DOUGLAS BL		95678 014-091-025-000	L	Community Commercial-3	Base: Commercial Mix	13	no max	0.115	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040415
ROSEVILLE	125 RIVERSIDE AV		95678 014-141-022-000	M	Community Commercial-3	Base: Commercial Mix	13	no max	0.172	Residential, 0	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	12	0	0	12	RG	RG-6	1040538
ROSEVILLE	201 RIVERSIDE AV		95678 014-141-023-000	M	Community Commercial-3	Base: Commercial Mix	13	no max	0.24	Residential, 0	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040539
ROSEVILLE	1101 BONITA AV		95678 014-141-024-000	M	Community Commercial-3	Base: Commercial Mix	13	no max	0.338	Residential, 0	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040540
ROSEVILLE	415 RIVERSIDE AV		95678 014-191-024-000	N	Community Commercial-3	Base: Commercial Mix	13	no max	0.344	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	20	0	0	20	RG	RG-6	1040764
ROSEVILLE	411 RIVERSIDE AV		95678 014-191-023-000	N	Community Commercial-3	Base: Commercial Mix	13	no max	0.344	Automotive, used	YES - Current	NO - Privately-Owned	Available	Used in Prior Ho	0	0	0	0	RG	RG-6	1040765
ROSEVILLE	401 RIVERSIDE AV		95678 014-191-022-000	N	Community Commercial-3	Base: Commercial Mix	13	no max	0.344	Automotive, used	YES - Current	NO - Privately-Owned	Available</								





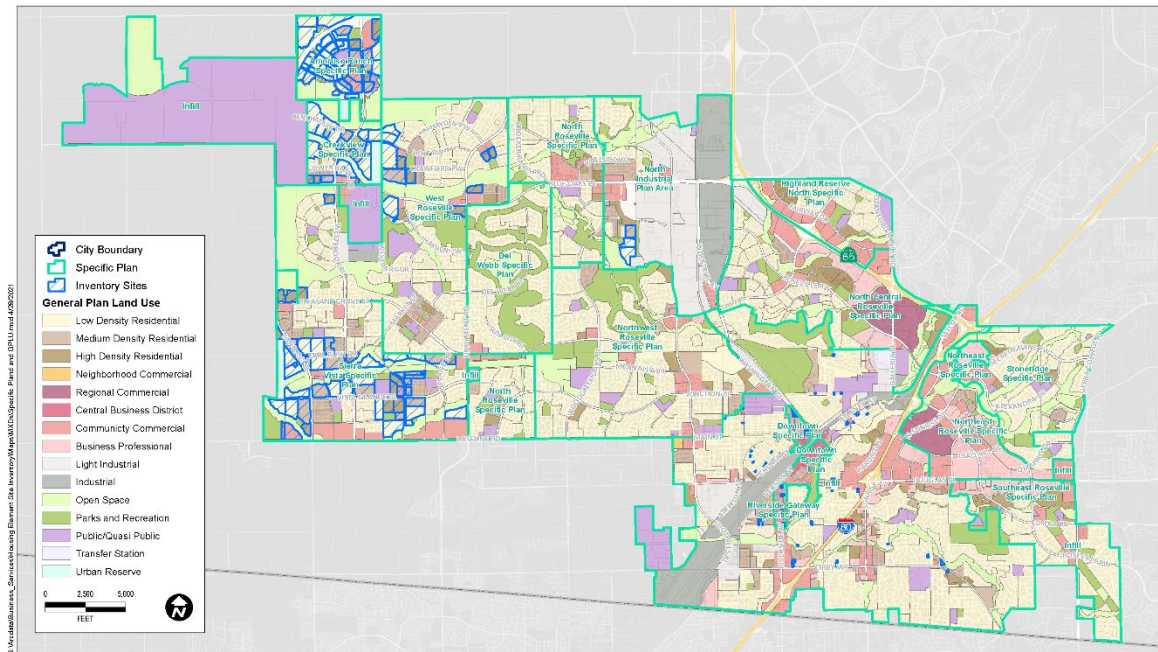
**Table C: Land Use, Table Starts in A2**

<b>Zoning Designation (From Table A, Column G)</b>	<b>General Land Uses Allowed</b>
Small Lot Residential	Detached or attached single-family dwellings
Single-Family Residential	Detached single-family dwellings, halfplex
Two-Family Residential	Two dwellings per lot, detached or attached
Multi-Family Residential	Three or more dwellings per lot, attached or detached
Commercial Mixed Use	Retail, restaurant, other typical commercial, residential
Old Town Historic District	Historic district guidelines for development
Planned Development-66	Multi-Family Residential-20
Neighborhood Commercial	Retail, personal service, neighborhood-serving uses
General Commercial	Service or heavy commercial character uses,
Development Standards	Establishes project-specific standards (e.g. setbacks); does not establish use.
Special Area	Use established by base zone; SA establishes design
Special Area-Downtown Specific Plan	Neighborhood commercial, office, multi-family
Special Area-Riverside Gateway Specific Plan	Use established by base zone; SA establishes design

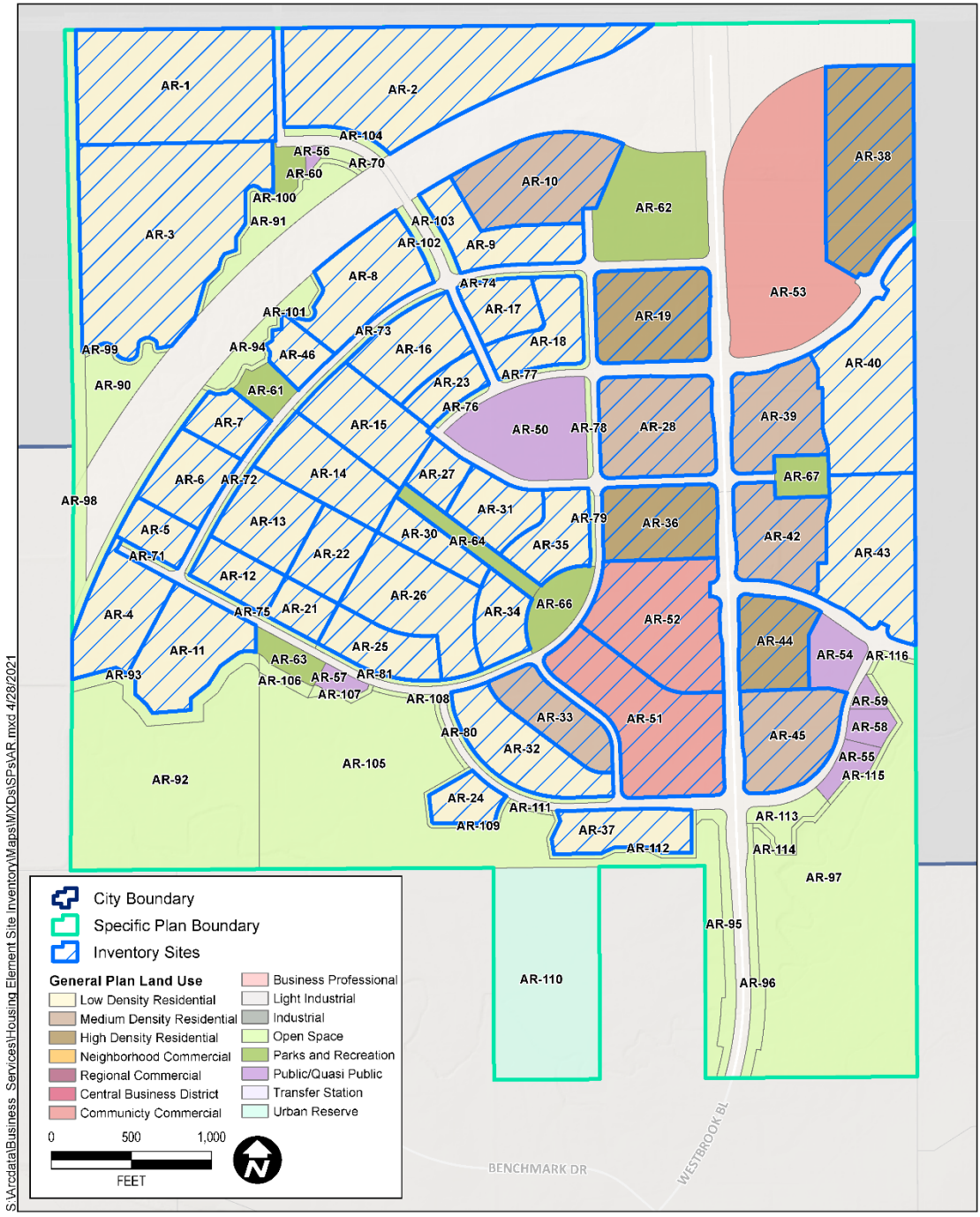


# Appendix D Maps of Sites Inventory

## Map 1: Citywide

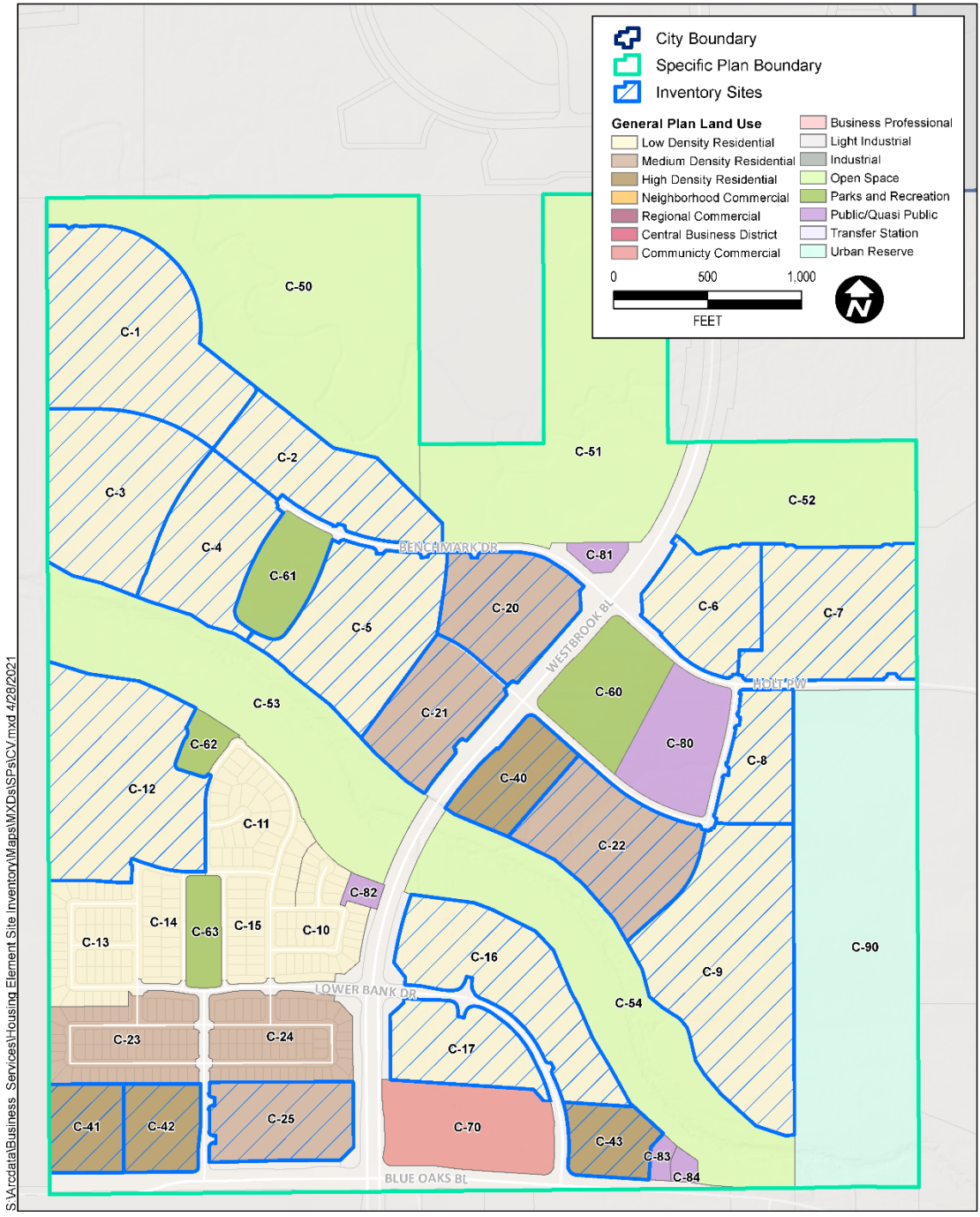


## Map 2: Amoruso Ranch (AR)



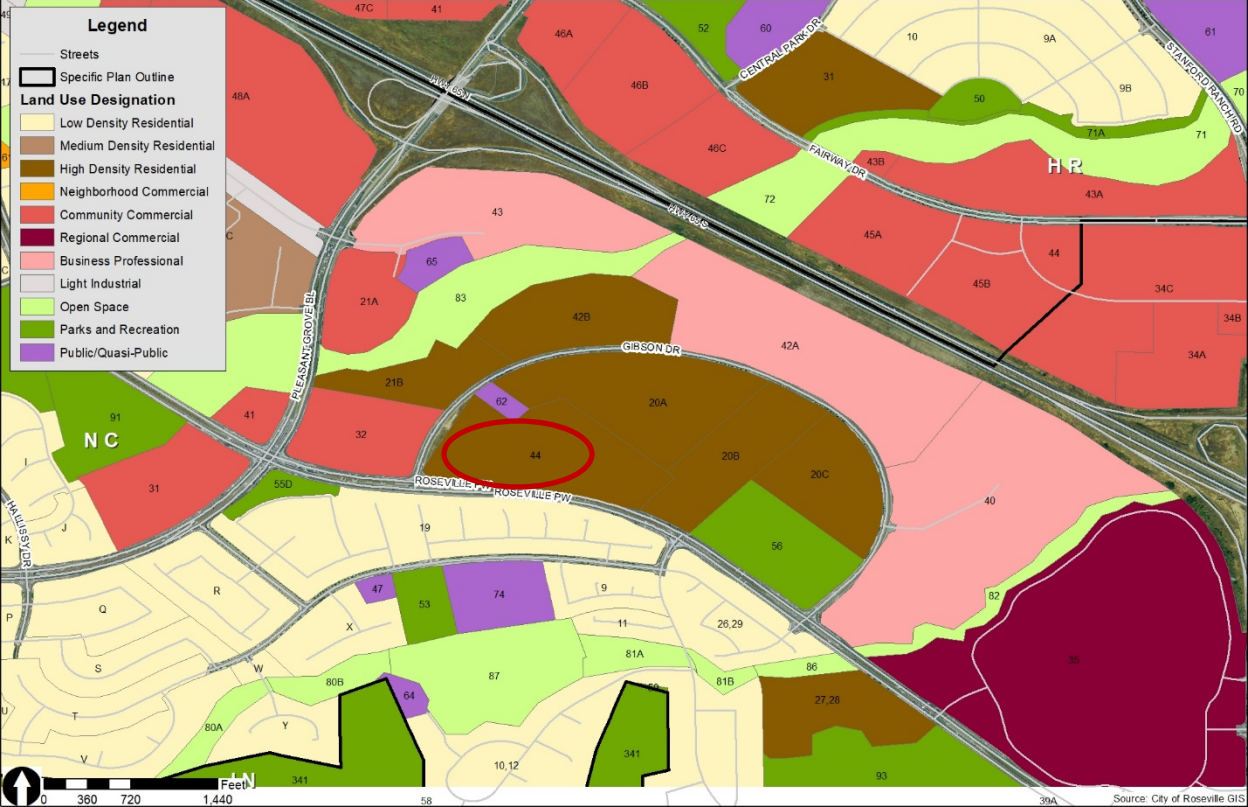


Map 3: Creekview (CV)



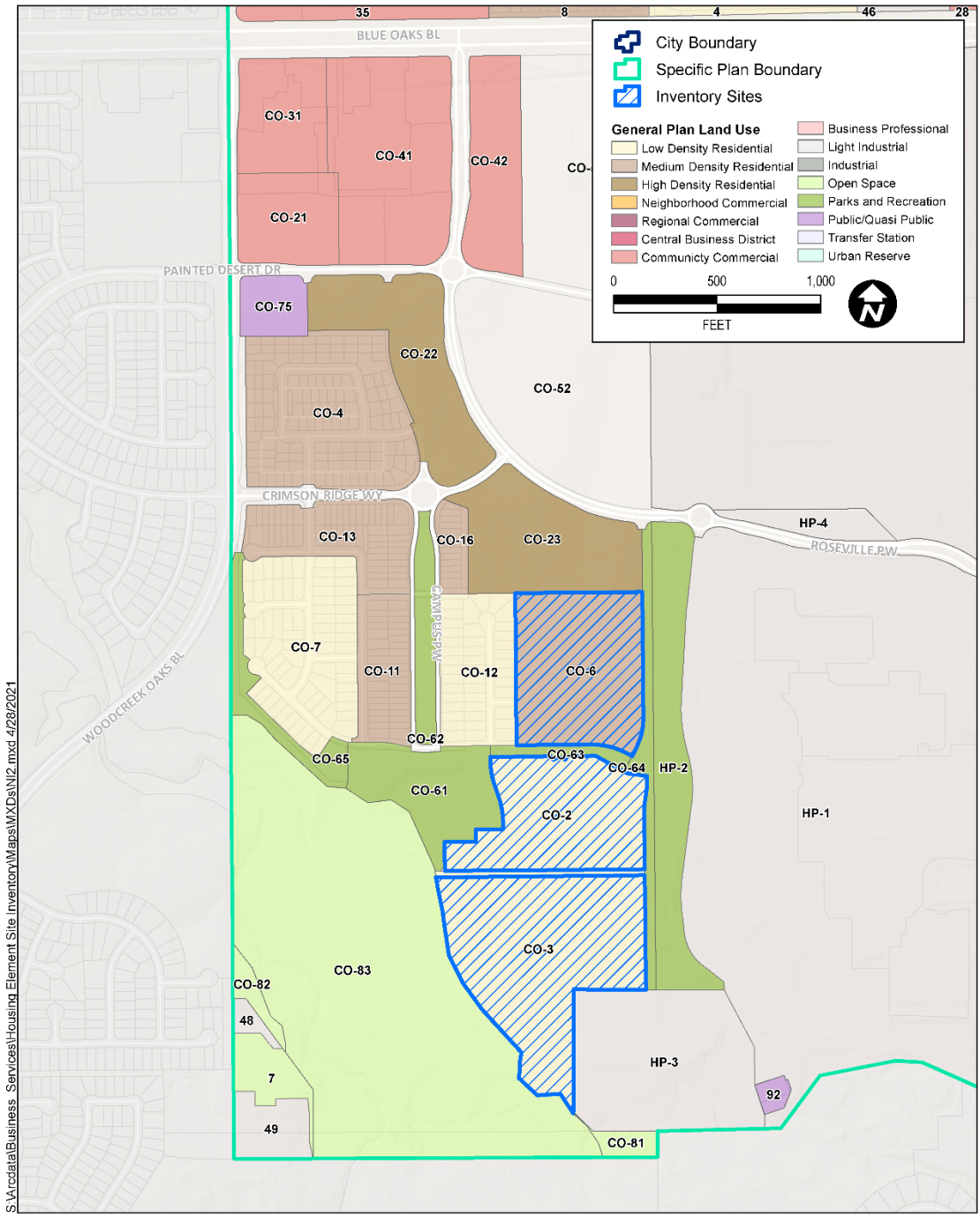
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Map 4: North Central Roseville (NC), Parcel 44



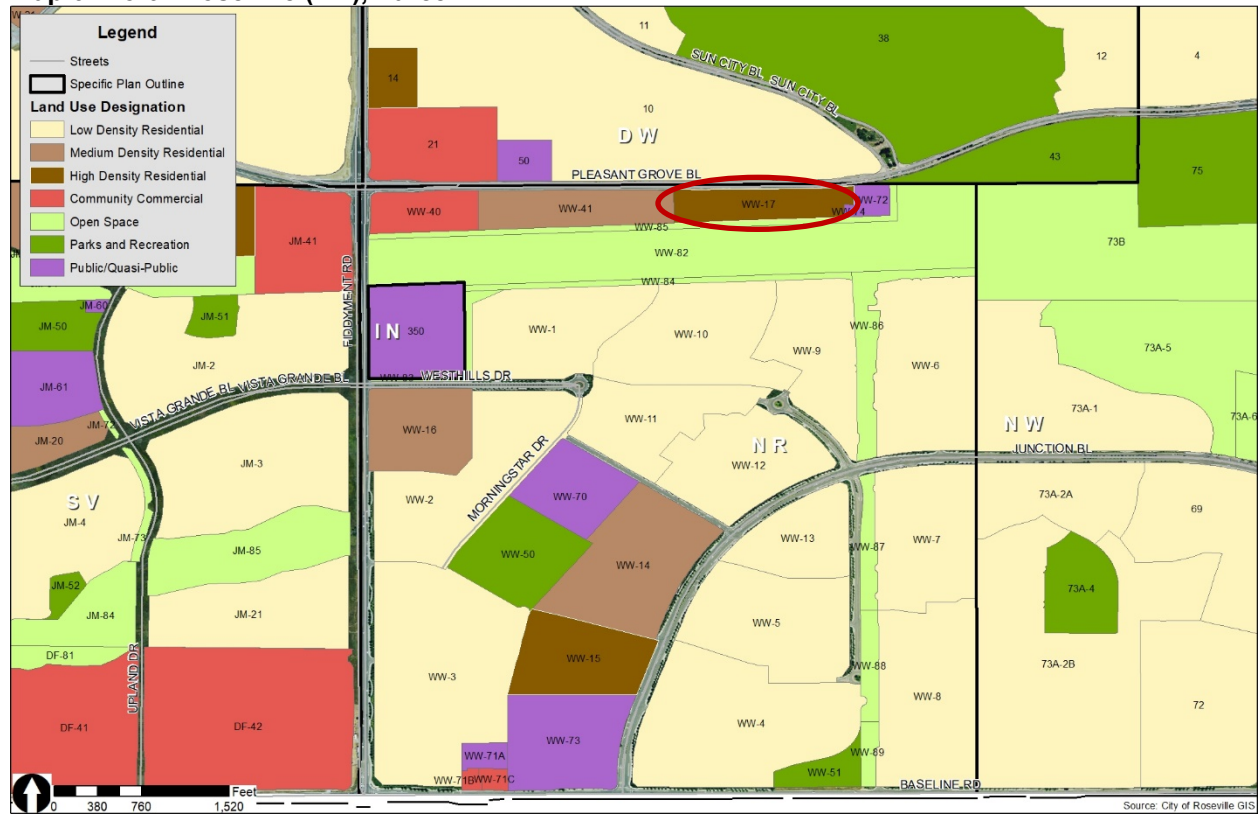


Map 5: North Industrial (NI)



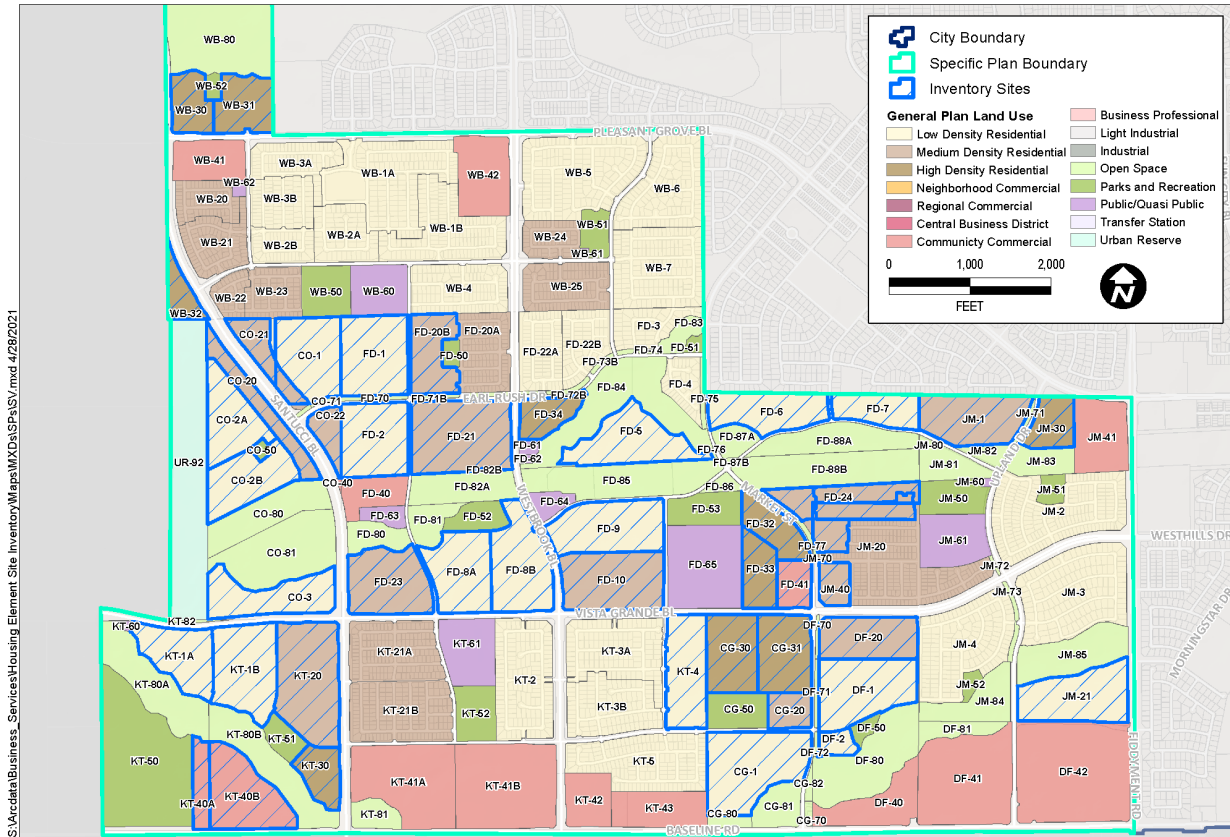
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**Map 6: North Roseville (NR), Parcel WW-17**



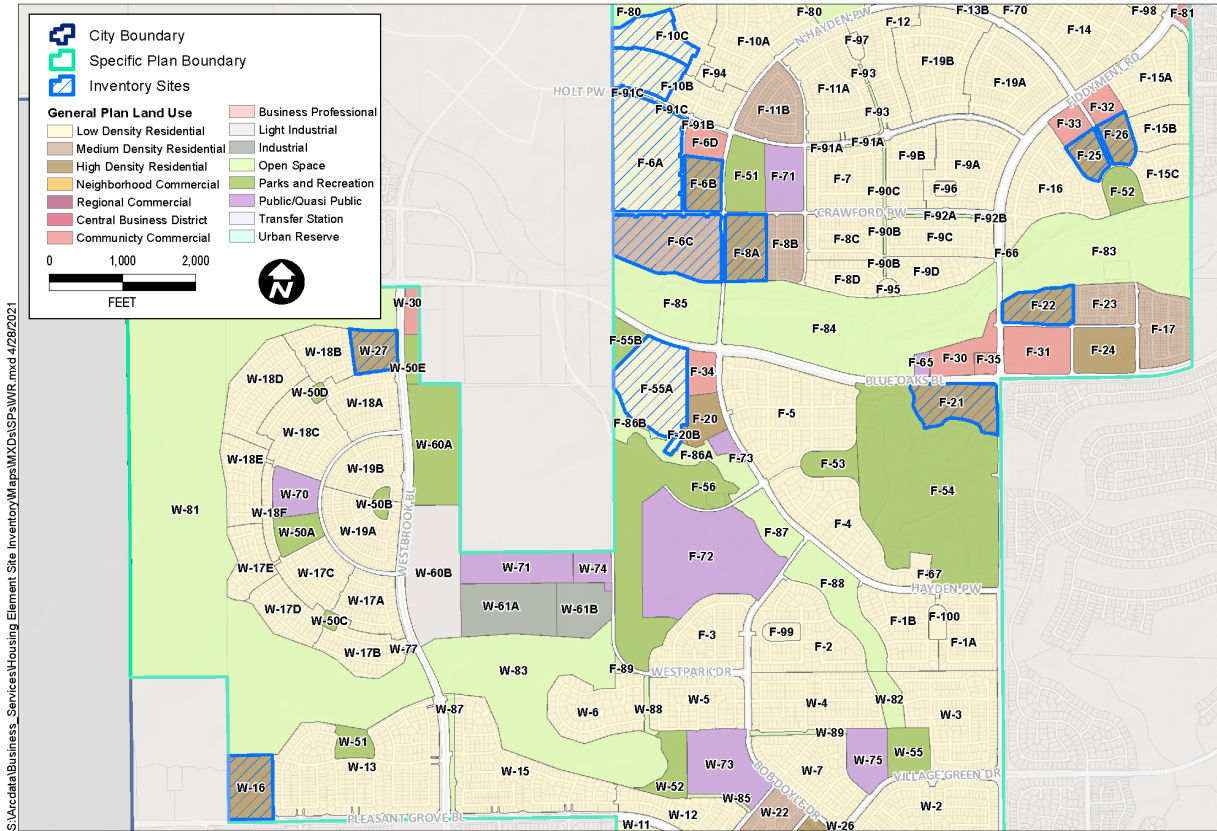


Map 7: Sierra Vista (SV)



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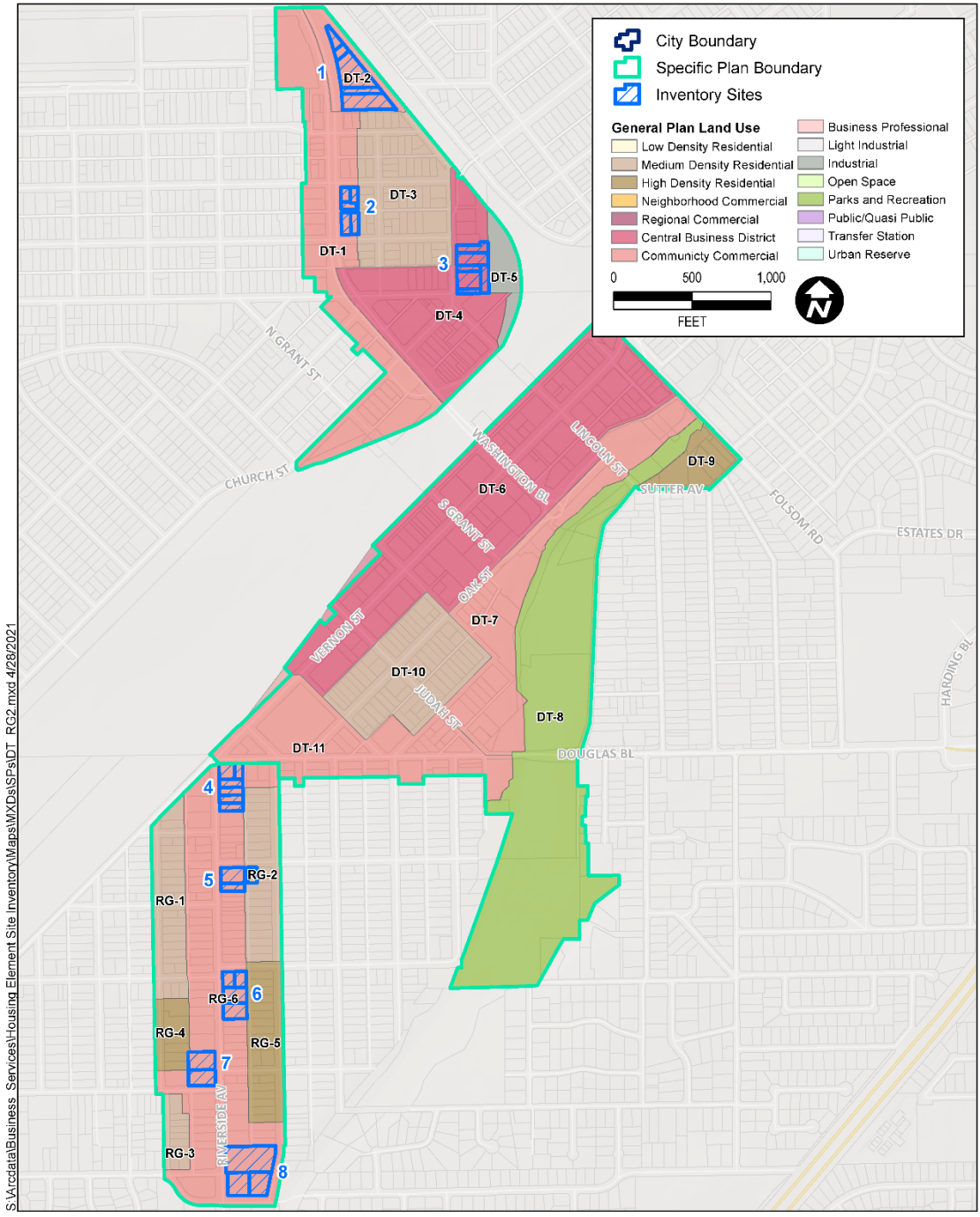
# Map 8: West Roseville (WR)



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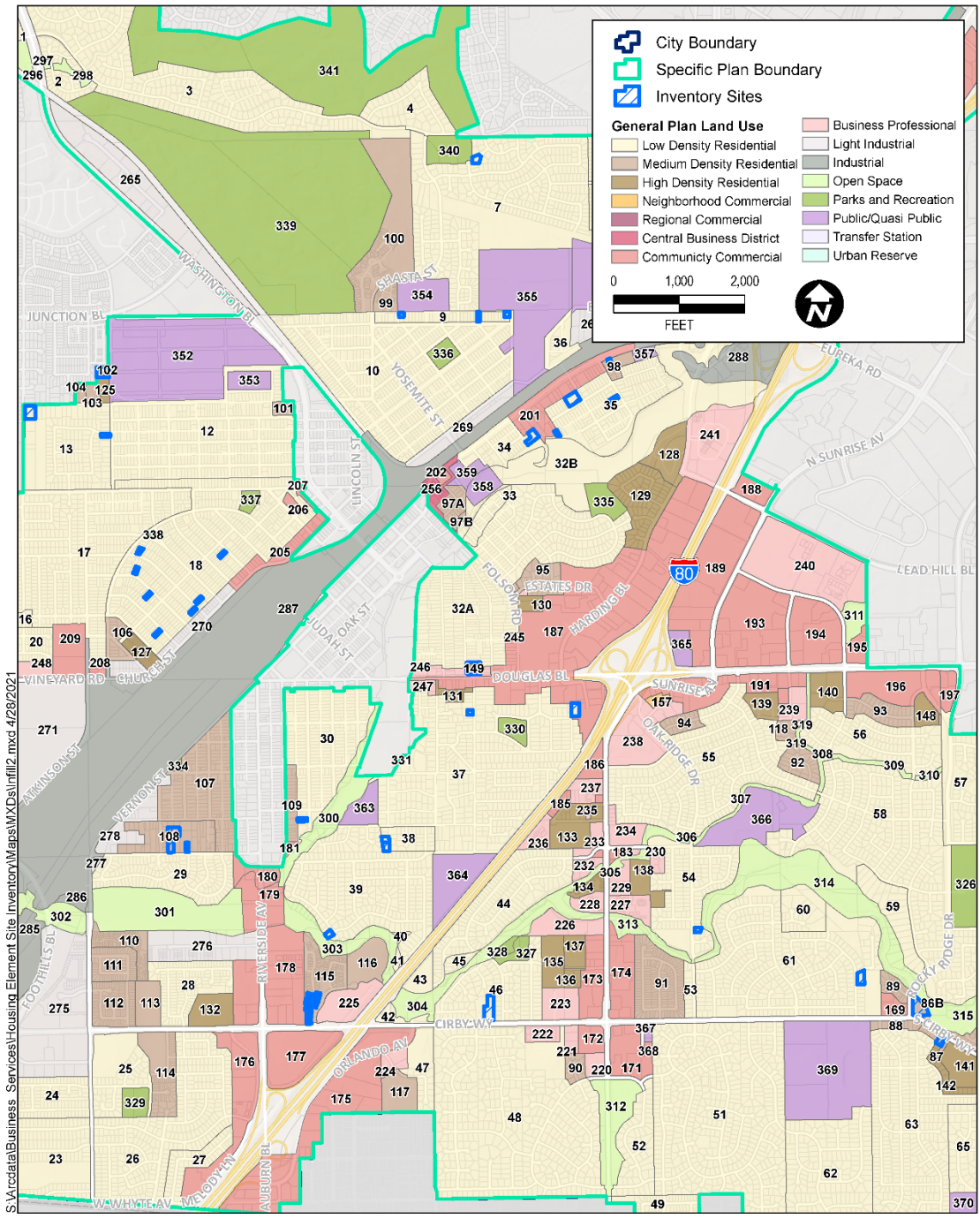


Map 9: Downtown and Riverside Gateway



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Map 10: Infill



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## Appendix E Rezone Program

### COMMERCIAL CORRIDORS

#### Development Standards and Regulatory Incentives

Each Commercial Corridor will include development standards and regulatory incentives to encourage pedestrian-friendly design, public amenities, streetscape beautification, appropriate parking, access to transit, flexible and mixed uses, and affordable housing. Regulatory incentives are envisioned to include reduced standards for on-site parking, park dedication, park in-lieu fees, and streamlined entitlement and development processes. Standards included in the City's existing Downtown Specific Plan which are anticipated within the Commercial Corridor Specific Plans include:

- **Parking:** Off-street parking requirements reduced to a 1:500 ratio for the majority of uses, public parking may be used to satisfy private off-street parking requirements, on-street parking credit is available, parcel aggregation credit is granted when consolidating parcels; permitted uses rehabilitating existing buildings do not require off-street parking when a discretionary action is not required.
- **Fees:** No park land dedication fees or in lieu fees are required for new residential units and a reduced parking in-lieu fee is available for projects to meet off-street parking obligations
- **Process:** An Administrative Design Review Permit (Administrative DRP) is available in lieu of the Design Review Permit process (DRP). The Administrative DRP is a staff-level process with a flat fee of \$219, while a DRP requires a public hearing, is billed on a time-and-materials basis, and requires a deposit of \$8,000 (based on fees for the 20/21 fiscal year). The Administrative DRP process represents a significant time and cost savings.
- **Design Amenities:** Providing art in public spaces allows for a 10% decrease in required parking (five spaces maximum).

Within the Commercial Corridors use of the Residential Mixed Use and Commercial Mixed Use zones is anticipated. The City's Residential Mixed Use (RMU) zone is intended to allow either attached or detached residential dwellings, as well as other compatible land use types. Residential conversions to live-work spaces, where the homeowner may maintain an office and living space, is also a compatible use. This zone will be combined with the City's High Density Residential (HDR) land use. The HDR land use designation is defined as housing with a minimum density of 13 units per acre, but each HDR site is also assigned a maximum density (e.g. HDR-20 is capped at 20 units per acre). However, to provide flexibility in the Commercial Corridors the City does not envision applying a maximum density.

The City's Commercial Mixed Use (CMU) zone is intended to promote a variety of commercial and higher intensity residential uses and the flexible siting of other uses that are typically considered to be compatible with commercial development. It is the intent of the CMU zoning district to establish a mix of uses to ensure that commercial and higher intensity residential uses will be successfully integrated into desirable, cohesive mixed use districts. The CMU zone will allow existing underused commercial properties to be redeveloped with residential uses without the need to amend the land use or zoning designations.

#### Atlantic Street Corridor

As shown in Figure X-29, below, the majority of this planning area has a land use designation of Low Density Residential (LDR). However, substantial portions have a zoning designation of Attached Housing (R3) and many of the properties in this area have multiple dwelling units on each parcel of land. This zoning inconsistency also occurs for the areas with a Medium Density Residential land use designation, where the property has a zoning designation of R3, Two-Family, or General Commercial. This Specific Plan is envisioned to include the following (also see Figure X-30):

- Community Commercial land use and Commercial Mixed Use zoning designation for the existing commercial properties on the Atlantic Street frontage.
- High Density Residential land use and Attached Housing zoning designation for the residential property along the Atlantic Street frontage, for the land immediately behind the commercial properties, and for the land between Folsom Road and Adelante High School.
- Medium Density Residential land use and small-lot residential zoning designations for the land immediately behind the new High Density Residential land use.

- Low Density Residential land use and small-lot residential zoning designations for the land immediately behind the new Medium Density Residential land use.
- Open Space land use designation and zoning over Dry Creek and its floodplain.

The Planning Division and Building Divisions regularly handle inquiries related to redevelopment of the properties within the existing commercial areas along the Atlantic Street frontage and the adjacent residential areas. Customers are most often investigating the potential to improve a residential lot or add additional units, or to change or intensify a commercial use. These customers are individual property owners or prospective buyers of smaller properties, and are not associated with firms or development companies with the benefit of significant resources. The cost of entitlements needed to rectify land use and zoning inconsistencies and/or change the land use or zoning designations of a small property to allow the proposed use has been a significant barrier. To process entitlements for a General Plan Amendment and Rezone requires a deposit of nearly \$20,000 along with a public hearing process and commitments of time and other financial resources. The customer has typically decided not to pursue the project as a result. The adoption of the Atlantic Street Corridor will remove redevelopment barriers by eliminating the need for costly entitlements and will add incentives and streamline the development process. The City's rezone program inventory lists all of the properties with the potential for added units, but has identified two vacant or substantially underutilized sites

The City has evaluated all of the individual parcels within the planning area which could accommodate additional units. The majority of sites evaluated would be able to add one additional unit, which would most likely be an accessory dwelling unit. These are sites with detached garages which are alley loaded, or with room on the rear of the lot by the alley. However, there are also two sites with the potential for more units. One is a 0.69-acre parcel which could accommodate a minimum of 15 units at a density of 23 units per acre and the other is a 0.54-acre parcel which could accommodate 35 units at a density of 23 units per acre.

The 0.54-acre parcel has frontage on two roadways and an alley, giving it access on three sides. The site is unpaved, contains a small metal shed, and is used to store junk and a few vehicles. The site currently has a land use designation of Low Density Residential and is surrounded on three sides by residential uses; to the north, across the alley, are commercial uses. The Specific Plan would include redesignating this site High Density Residential and providing the capacity analyses needed to allow the site to be developed with high density residential through the over-the-counter Minor Design Review Permit and an exemption from CEQA.

The 0.69-acre parcel is a parking lot located adjacent to two single-family homes and a church, and is overflow church parking. Although the site is improved, rather than vacant, the parcel has been the subject of multiple inquiries over the years for development potential. The parking is not required for the church and the site has a land use designation of Low Density Residential. The primary barrier has been the need for costly land use entitlements and supporting studies for development. The Specific Plan would include redesignating this site High Density Residential and providing the capacity analyses needed to allow the site to be developed with high density residential through the over-the-counter Minor Design Review Permit and an exemption from CEQA. This also responds to comments we received from several churches as part of Housing Element outreach requesting the City take steps to make it easier to allow churches to provide housing on their properties. The proposed densities are consistent with the minimum densities for lower income housing.



Figure X-29 | Existing Land Use Atlantic Street Corridor

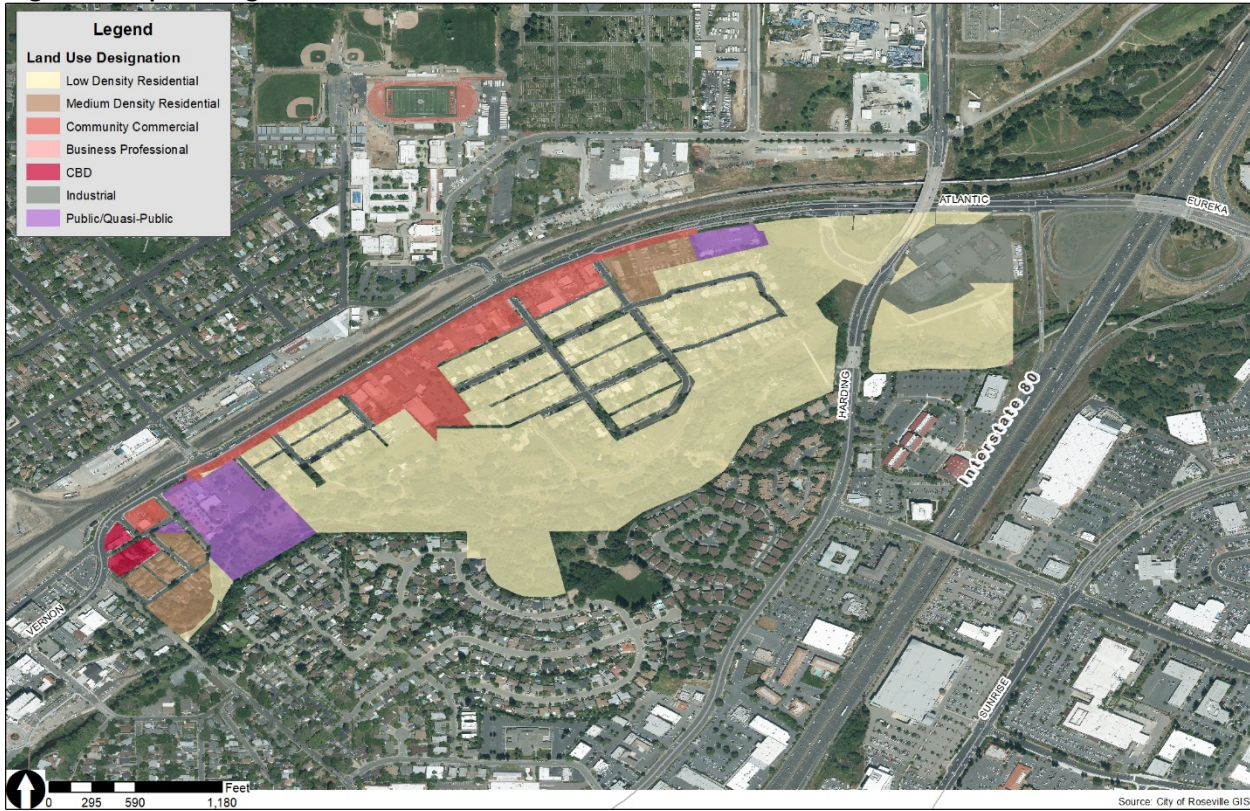


Figure X-30 | Conceptual Proposed Land Use Atlantic Street Corridor



## Douglas-Harding Corridor

As shown in Figure X-31, below, most of this planning area has a Community Commercial land use designation. However, there are single-family residential properties on Douglas Boulevard and homes which have been converted to businesses. There are also multiple properties with three or more housing units per parcel (considered multi-family), but a land use or zoning designation for commercial uses or single-family uses. In addition, there are many older commercial properties and a hotel property with large parking fields. This Specific Plan is envisioned to include correcting inconsistencies between land use and zoning designations, designating additional High Density Residential land (with a Residential Mixed Use zoning designation), and amending the commercial-use land in the Planning area to the Community Commercial land use designation and Commercial Mixed Use zone (see Figure X-32).

There are multiple vacant properties in the Douglas-Harding Corridor which have been difficult to develop because the parcels are small and would require land use amendments to consolidate and approve. In addition, there are access and infrastructure constraints to development which have also proven to be a barrier to development or redevelopment of vacant and underdeveloped properties in this area. City Planning Division and Building Division staff receive regular inquiries about some of the long-standing vacant properties and several key commercial properties, but the entitlement processes and access/infrastructure issues have usually resulted in a withdrawal of interest. The City recently approved the development of a long-vacant parcel with townhomes, and this project is representative of the types of existing barriers which must currently be overcome. Approval of the project required an access study by a qualified engineering firm and a significant investment of time and resources on the engineering plans for the site. The project also required a General Plan Amendment and a Design Review Permit and final entitlement costs of nearly \$40,000. The Corridor Plan would remove the need for both of these entitlements and would also include environmental documentation and technical studies to identify and resolve development barriers.

The City has evaluated all of the individual parcels within the planning area which could accommodate additional units. There are several large sites which have the potential to be developed or redeveloped with high density residential units. This includes multiple sites on the eastern side of Harding Boulevard and one site at the terminus of South Harding Boulevard. Harding Boulevard includes multiple commercial properties with large parking lots that are oversized and underused, with buildings located at the rear of the property. All of these sites are more than 0.5 acres and less than 10 acres, have roadway frontage, and access to utility connections. The current land use and zoning does not permit housing of any kind. The Specific Plan would include establishing a mixed use zoning designation which would allow high density residential uses on these commercial properties. The City has had inquiries in the past about developing some of these sites with residential units, and currently has one active inquiry from an owner investigating building apartments on a property along Harding Boulevard. The City is currently working with this property owner to ensure the corridor plan will accommodate the prospective project. The City also has a second active site, where the Heritage Inn is located. The City has been negotiating with the property owner to convert the 100-room motel into permanent housing. The Heritage Inn site and one of these other sites could, combined, result in an additional 150 units.

The site on South Harding Boulevard is approximately 3.5 acres and is used as a Christmas tree lot each year. The bulk of the site is undeveloped dirt and grasses, but there are multiple storage pods on the site, a small concrete pad, and a small area of old asphalt and gravel. The property has two points of access, one on South Harding Boulevard and one on Wayne Drive, both of which provide points of utility connection. This vacant site has excellent redevelopment potential once the barriers of entitlements, studies, and environmental documentation are removed by the Specific Plan. At a density of 30 units per acre this site could accommodate 100 units.

For all of these sites, the Specific Plan would include redesignating the sites to allow high density residential uses and providing the capacity analyses needed for development through the over-the-counter Minor Design Review Permit and an exemption from CEQA. The proposed densities are consistent with the minimum densities for lower income housing, and would add 250 lower income units.



Figure X-31 | Existing Land Use Douglas-Harding Corridor

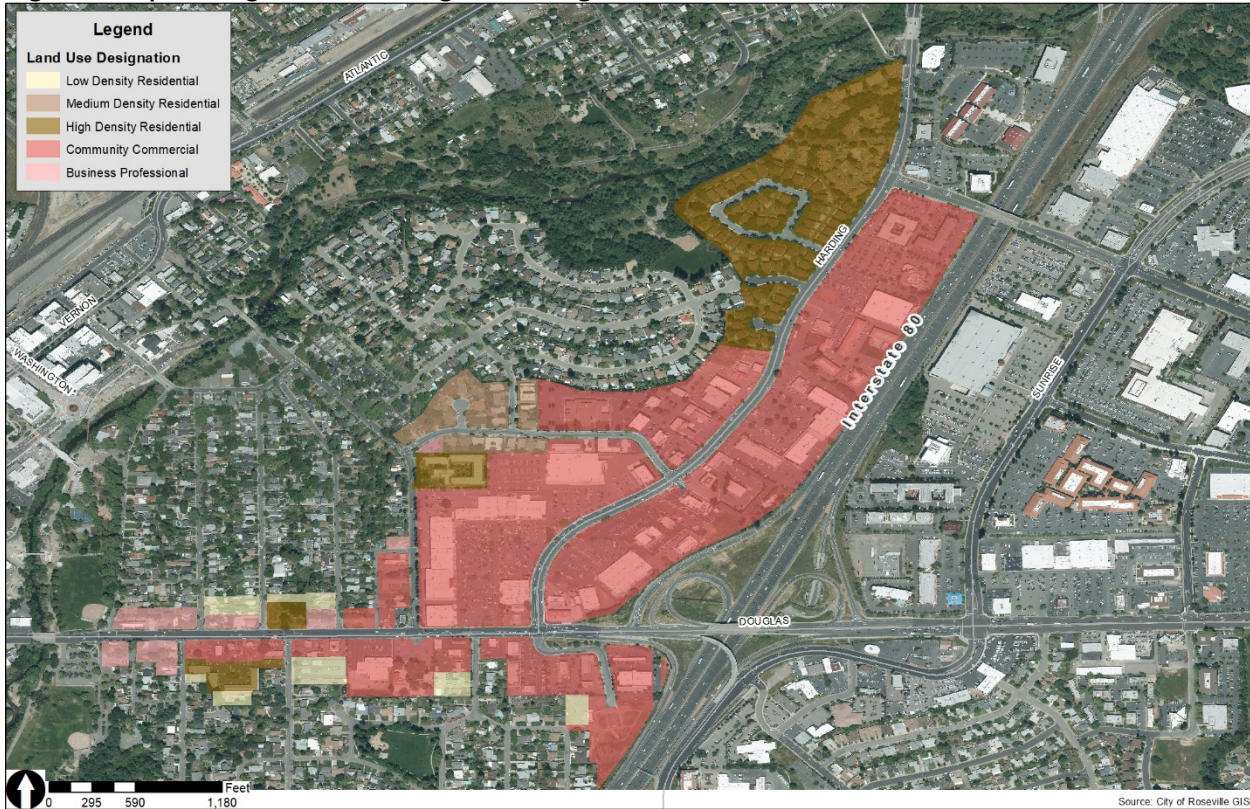
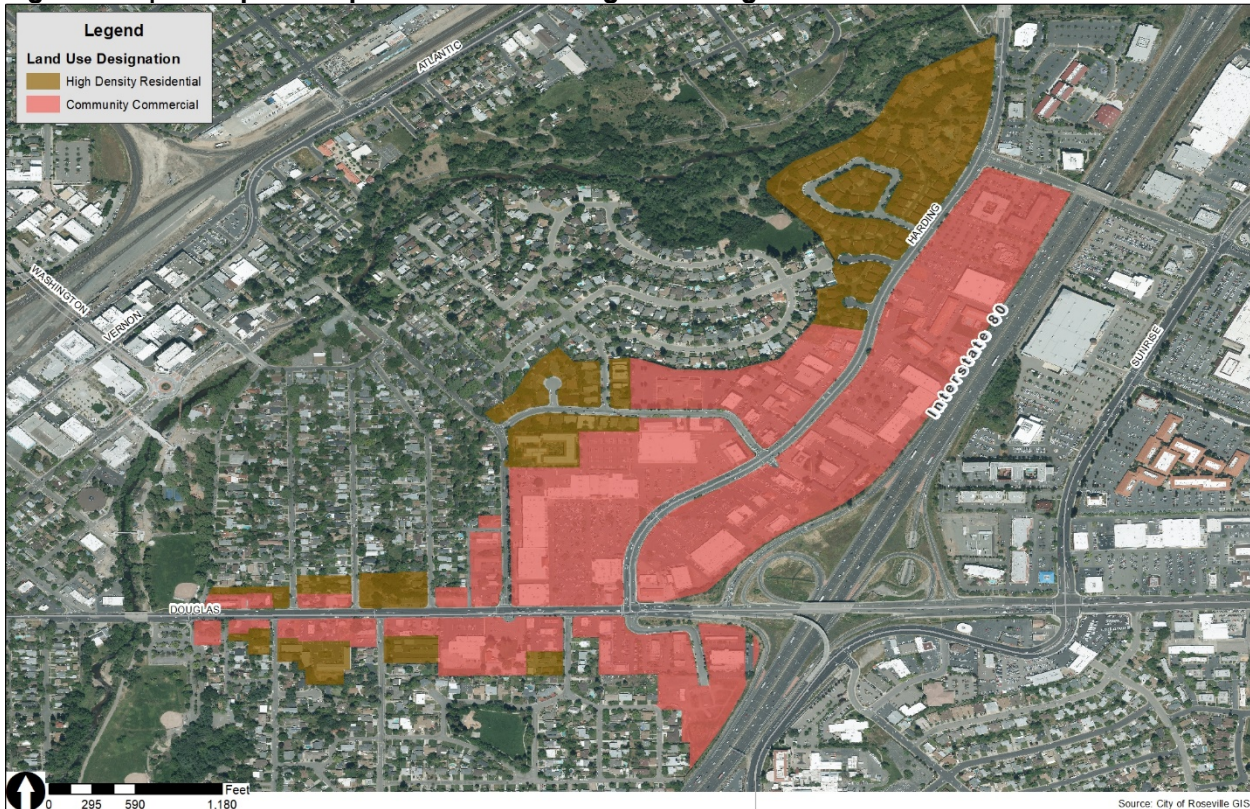


Figure X-32 | Conceptual Proposed Land Use Douglas-Harding Corridor



Douglas-Sunrise Corridor

This planning area includes a mix of land use designations, including Community Commercial, Business Professional, Neighborhood Commercial, High Density Residential, Medium Density Residential, and Low Density Residential (see Figure X-33). This Specific Plan is envisioned to include rezoning most of the planning area to the Commercial Mixed Use designation, and creating a transition between the commercial district and the single-family residential district on the southern boundary by applying a High Density Residential land use to the existing residential properties (see Figure X-34). Compared to the other corridors, Planning Division and Building Division staff have received fewer inquiries and less overall interest in redeveloping this area. This corridor is developed with more established and thriving commercial businesses, including large-format retail businesses such as Fry's Electronics. However, there is a large office building on the southeastern corner of Lead Hill Boulevard and Sunrise Avenue which has been vacant for several years and there are some older commercial properties with large, minimally-landscaped parking fields where redevelopment inquiries have been received.

Redevelopment inquiries to propose mixed use have been received for the large commercial site on the northeastern corner of Douglas Boulevard and Sunrise Avenue. The center consists of several different parcels, the largest and most likely of which is 2.4 acres and includes frontage on both Douglas Boulevard and Sunrise Boulevard. The parking lot for this commercial center is in poor repair, includes very little landscaping, and is oversized/underused. There is sufficient room for a mixed use development or small multifamily project on the site, and the City has received tentative plans and inquiries to build a project of this kind in the recent past. However the costs of entitlements, capacity studies, and environmental documentation have been a significant deterrent. The City has no current inquiries for the site but removing the development barriers is anticipated to renew interest.

The vacant office complex is located on the corner of Sunrise Avenue and Lead Hill Boulevard. The parcel is 15.3 acres and includes two separate single-story office buildings and large parking lots. The second building is partially occupied by the United States Post Office. The northernmost building on the site has been vacant for more than five years, and given the increasing vacancies in office spaces resulting from companies moving to permanent work-from-home options, it is unlikely that an office use will resume in this building. If needed, a parcel map could easily separate the two office buildings and create two parcels; a map was submitted in 2016 for this purpose, but was not recorded. The site has frontage on two roadways and multiple driveways and access points, as well as proximity to walkable commercial centers with restaurants, services, and a grocery store. The existing land use and zoning currently do not allow residential uses. The Specific Plan would include designating this site for commercial mixed use, and would allow a residential or mixed-use residential project to be built on the site through the over-the-counter Minor Design Review Permit. The project would remove multiple barriers, including the cost and time for entitlements, capacity studies, and environmental documentation.

The City anticipates at least one multi-family project of 100 units at a density of 30 units per acre as a result of the Specific Plan. The proposed densities are consistent with the minimum densities for lower income housing and would add 100 lower income units.



Figure X-33 | Existing Land Use Douglas-Sunrise Corridor

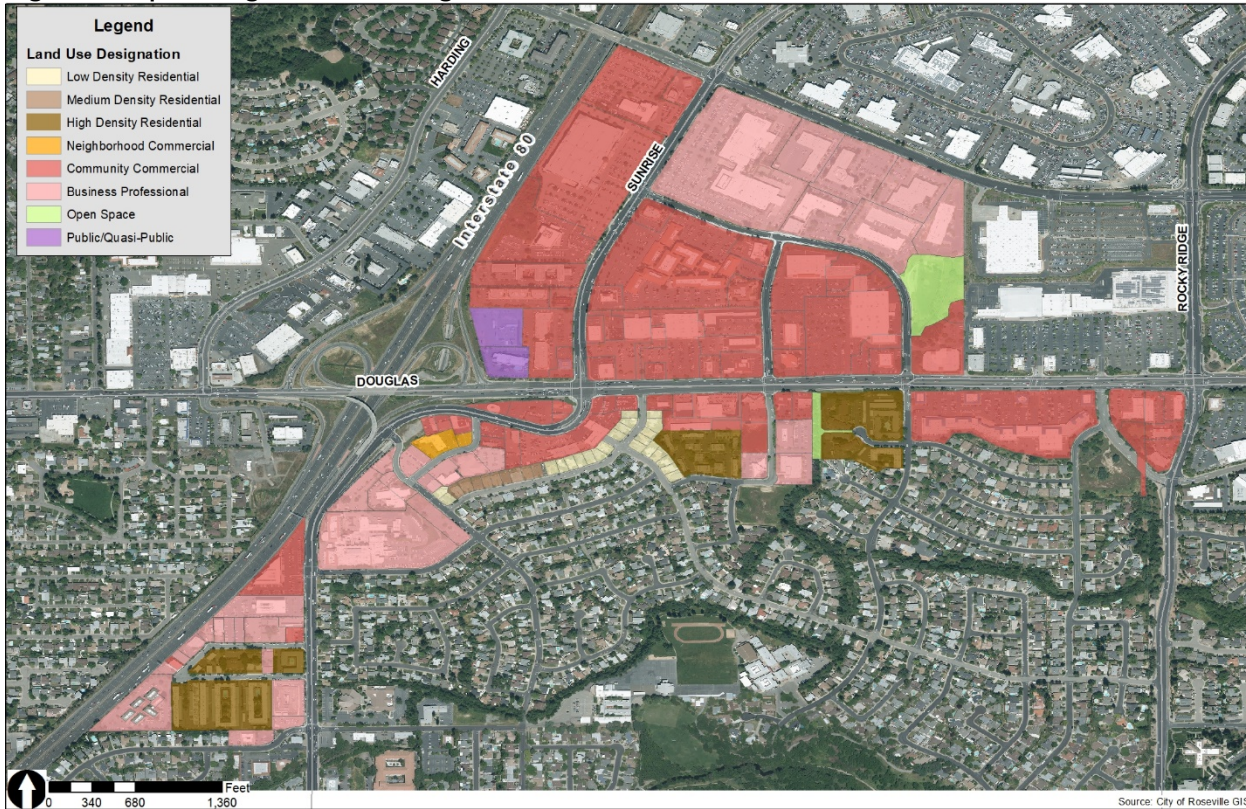
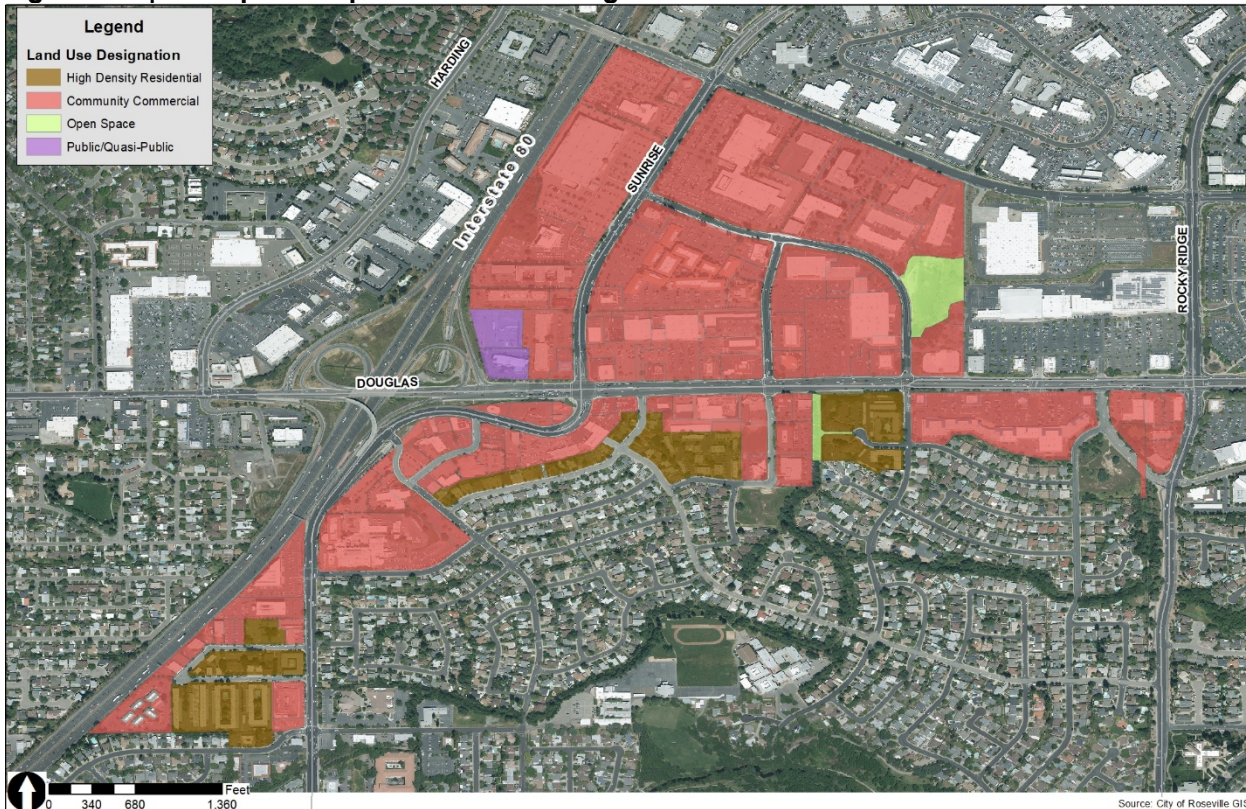


Figure X-34 | Conceptual Proposed Land Use Douglas-Sunrise Corridor



Summary Evaluation

The City has evaluated the parcels within the proposed Specific Plan areas and identified those predicted to be most likely to support development or redevelopment. These parcels are listed within the City's detailed inventory (Appendix C) along with the amount of lower income capacity assumed for each site. Together, the three planning areas will add 400 units of lower income capacity. Although sites have been identified for the purposes of the detailed inventory, there are other sites which could be redeveloped in lieu of or in addition to the sites identified. In identifying the sites in this Rezone Program and in Appendix C the City is demonstrating capacity, not designating only those sites and precluding others.

The City's experience with the Downtown Specific Plan, on which these corridor plans are proposed to be modeled, has demonstrated that incentives and streamlining will result in housing. In the past five years, the City has successfully approved three 100% affordable housing projects (two of which are now constructed) in the Downtown Specific Plan. Two of these were on sites where housing had been identified and one was on a site the City did not expect would be developed with housing. One of the sites was an existing parking lot and another included a restaurant and parking area. Housing projects were successful on these sites despite these existing improvements. All of the proposed corridor plans are connected to the Downtown Specific Plan and have similar market dynamics. The evidence shows that the City's anticipation of 400 lower income units is achievable over the 8-year planning period.

### INFILL INTENSIFICATION

The central core of Roseville where development occurred prior to the 1980s is known as the City's "Infill Area," and is approximately 8,500 acres. This older area of the City is not within a Specific Plan and much of the development occurred prior to the adoption of the City's General Plan or Zoning regulations. As a consequence, inconsistencies between a property's land use and zoning designations are relatively common, and the land use designation maximum density typically reflects the built conditions rather than planned future conditions. These factors have presented regulatory barriers to development and redevelopment.

This strategy focuses on properties which already have either a multi-family zoning designation (R3), a Medium Density Residential (MDR) land use designation, or a High Density Residential (HDR) land use designation. The strategy is envisioned to include amending the zoning and land use designations of these sites to R3 and HDR-30 (density of 30 units per acre), or potentially to HDR with no maximum density specified. Many of these sites are currently developed with small multi-family developments such as fourplexes, sixplexes, and single-story or two-story apartment developments with fewer than 30 units. City Planning Division and Building Division staff receive regular inquiries about adding units to these properties, but because the General Plan land use density includes a maximum density (i.e. HDR 13.8) based on built conditions, a General Plan Amendment would be required to add *any* additional units. The cost and complication of the entitlement processes have usually resulted in a withdrawal of interest. The Infill Intensification strategy would remove this barrier.

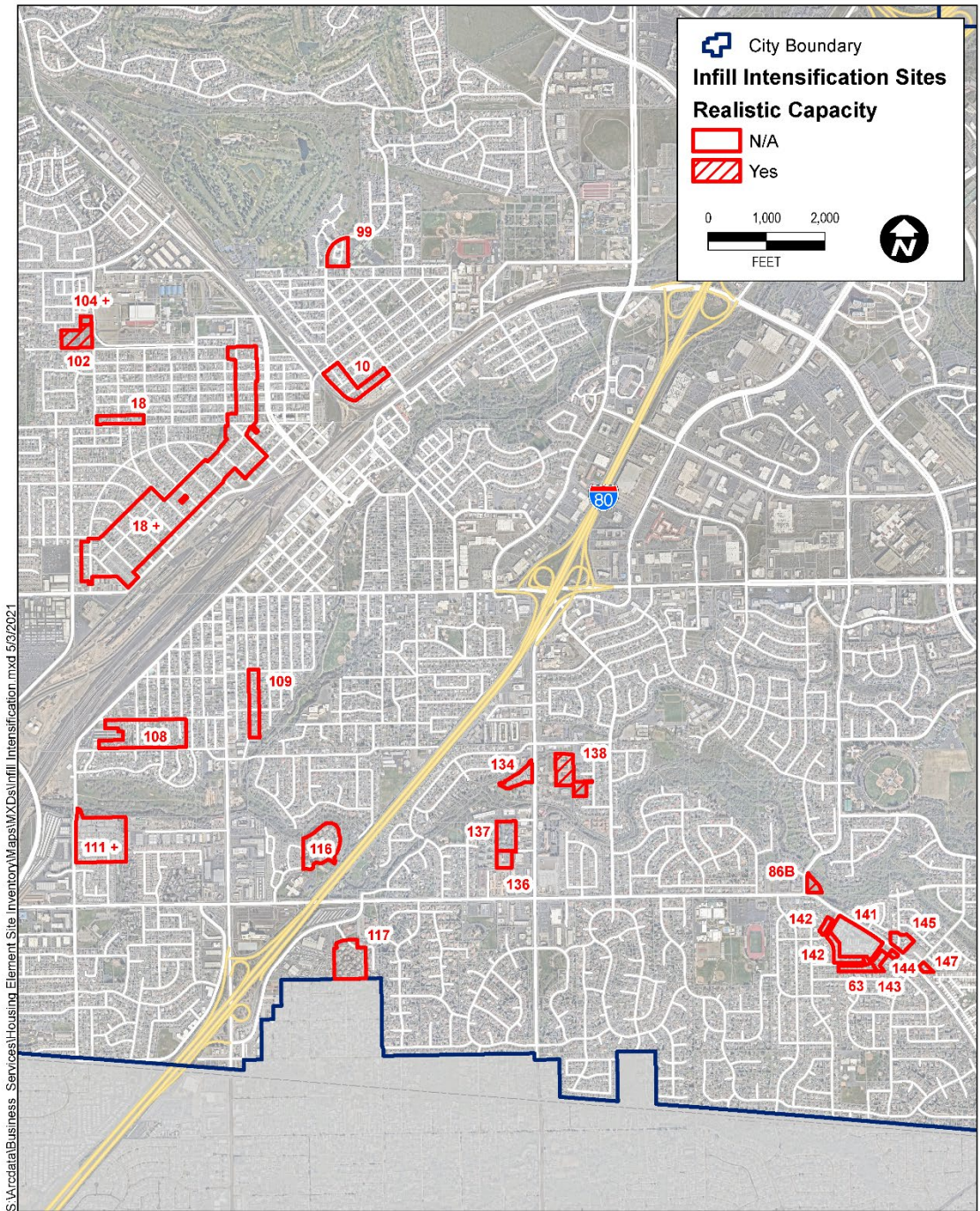
Table X-41 below shows the parcels currently identified as potential rezone and General Plan Amendment sites as part of this strategy. The locations of these parcels are shown in Figure X-35. The table lists the existing units on the site, the potential capacity if the sites were developed/redeveloped at their maximum potential and the realistic capacity. The total potential capacity is 832 units. The realistic capacity is based on a parcel-specific analysis, including site constraints and market forces. The sites with the greatest potential for development at densities of 30 units to the acre or greater are those which are vacant, have vacant potential (a large portion of the site is undeveloped), or are large parcels with only one or two units. These are the sites assumed to be most likely to meet the City's lower income obligation and result in a realistic capacity of 186 units. Figure X-35 displays the sites with realistic additional capacity with a solid (filled) color which other sites have a colored border. All of the sites in the figure list the Specific Plan Parcel Number, consistent with Table X-41.

Table X-41   Potential Infill Intensification Sites						
Specific Plan Parcel #	Zoning Designation	Land Use Designation	Acres	Existing Units	Potential Capacity	Realistic Additional Capacity
10	R3	LDR	6.43	62	97	0
18	R3	LDR	2.59	29	39	0
18 +	R3	LDR	69.23	575	900	0
63	R3	LDR	1.58	10	24	0
86B	R3	MDR	1.18	0	35	35
99	R3/DS	MDR	3.41	26	26	0



102	R1	MDR	0.67	0	20	20
104 +	R3	MDR	3.98	28	120	92
108	R3	MDR	14.26	106	213	0
109	R3	MDR	4.57	36	69	0
111 +	R3	MDR	15.28	158	229	0
116	R3	MDR	8.2	128	128	0
117	R3	MDR	7.62	124	124	0
134	R3	HDR	2.49	62	62	0
136	R3	HDR	1.76	63	63	0
137	R3	HDR	3.83	92	92	0
138	R3	HDR	5.06	200	239	39
141	R3	HDR	8.7	168	168	0
142	R3	HDR	0.66	16	20	0
142	R3	HDR	2.3	37	69	0
143	R3	HDR	1.12	11	34	0
144	R3	HDR	0.32	8	10	0
145	R3	HDR	2	24	60	0
147	R3	HDR	0.49	8	15	0
<b>TOTAL</b>				<b>2,024</b>	<b>2,856</b>	<b>186</b>

**Figure X-35 | Potential Infill Intensification Sites Map**



This strategy will include amending the zoning and land use designations of all of the sites in the table, regardless of whether they are listed as having realistic capacity. The realistic capacity reflects those sites the City has identified in Appendix C (detailed inventory) as contributing to the City’s lower income capacity through the Rezone Program. The City is demonstrating capacity, not designating only those sites and precluding others. An assessment of the realistic capacity sites is below.

Parcel 86B – This vacant 1.18-acre site is on the corner of Rocky Ridge and Cirby Way and has access to utilities. An application for a condominium project (with a General Plan Amendment to High Density Residential) was received by the City in 2007 for this property, but as the economic downturn intensified the application was withdrawn. The site currently has a Medium Density



Residential land use designation, but the shape and location of the site are not conducive to single-family residential product. Changing the land use and zoning of the site through this strategy will streamline the approval process for a high density residential project on this site. During the past several years the City has seen significant interest in developing sites such as this, which have been vacant for an extended time. An example is the Huntington Senior Apartments project located at the corner of Strauch Drive and Rocky Ridge Drive, approximately  $\frac{3}{4}$ -mile to the north of this site. The senior apartments project included land use amendments, a Mitigated Negative Declaration, several specialized studies, the removal of many oak trees, and the leveling of a large hill. Despite these hurdles, the apartment project is underway and rough grading is complete. Removing many of these barriers from Parcel 86B can be expected to result in development of the site within the 8-year planning period.

Parcel 102 and 104 – These two Specific Plan Parcels include six adjacent assessor's parcels next to The Grounds, which is the remodeled Placer County fairgrounds. Two of the six parcels are owned by the same entity and are the properties most likely to be developed with units, though in identifying all six underutilized parcels the City is acknowledging the potential for site consolidation. One of the two parcels under the same ownership is 0.7 acres and is vacant while the other is 1.54 acres and includes 12 small apartment units and a parking area on the frontage of Lawton Avenue; the rear half of the property remains undeveloped. The City has received inquiries about expanding and building additional apartments on this site and the adjacent vacant site in the past, but the existing land use designations. Adjacent to these parcels, and also with frontage on Lawton Avenue, is a 1.19-acre parcel with only one home developed on it. This site could be consolidated with the properties discussed above or could be developed with a separate project. The Rezone Program would remove development barriers by adjusting the land use to allow additional units. Removing these barriers can be expected to result in development of the site within the 8-year planning period.

Parcel 138 – This is a single parcel of 5.4 acres, a portion of which is developed with The Terraces, an assisted living facility. However, the site includes a large 1.2-acre undeveloped portion. The undeveloped area includes a small area of frontage on Trimble Way, a residential street, and has reciprocal access agreements granting access to an existing driveway on Sunrise Boulevard. The Terraces site is partially within a shallow floodplain, with the undeveloped portion actually closest to the floodplain edge. The site would either need to be built up with soil slightly or developed with podium parking (elevation standards apply to living space not parking or drive aisles). The undeveloped portion is surrounded on three sides by single-family residential. Developing this area with a small apartment complex would be ideal as a complementary use to the adjacent residential neighborhood and the assisted living facility. Removing the current unit cap on the site through the Rezone Program would make site development feasible and can be expected to result in development of the site within the 8-year planning period.

## OPPORTUNITY SITES

Staff examined vacant sites throughout the City to find properties with the potential to be converted to high density residential use. After screening out sites due to the presence of approved entitlements, Development Agreements, or significant environmental constraints (floodplain, wetland preserves, etc), the City has identified potential sites for evaluation as part of this rezone program shown in Figure X-36. Additional sites may be identified as the City develops this option and sites on this list may be removed due to unforeseen constraints. The sites are described below.

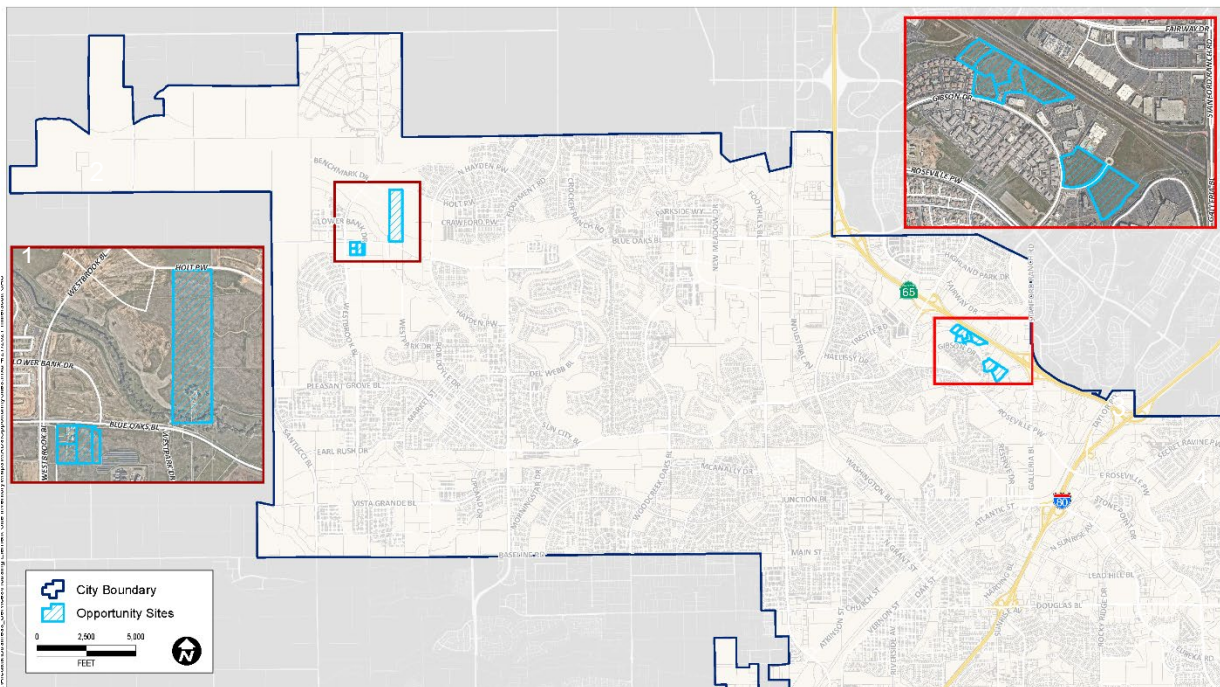
1. City Property: This 13.5-acre property is owned by the City and has a Community Commercial zoning and land use designation. Constraints include adjacency to the City's wastewater treatment plant and Roseville Electric Energy Plant. The property includes frontage on both Blue Oaks Boulevard and Westbrook Boulevard (under construction). This is also adjacent to the future Regional Sports Facility. Due to these challenges and because the City owns the property this site might be best suited as a demonstration site. The City could seek out a public-private partnership to develop an emerging or innovative housing product on this site, paired with commercial or other non-residential uses. The site is within an approved Specific Plan for which all utilities, services, and infrastructure have been planned. Though the strategy would introduce 150 units which had not been anticipated, it would also reduce the amount of commercial uses which had been planned. The net impact of this rezone will be negligible and is anticipated to be covered by the existing Specific Plan and Environmental Impact Report. Assuming 5 net-acres developed at a density of 30 units to the acre, this property could provide **150 units**.
2. Harris Property: This 40-acre property is designated Urban Reserve. The property owner was a non-participant in the Creekview Specific Plan and is therefore not covered by the Development Agreement. A portion of this land is unavailable due to the presence of a creek, floodplain, and an occupied single-family home, and there would be additional land loss due to the need for major connecting roads, parks, and other public facilities. Though not a participant in the Specific Plan, the site was designated as Urban Reserve in order to recognize the site as a future development area. The Environmental Impact Report for the Creekview Specific Plan states "it is assumed for purposes of this EIR that that the 39.9 acre [Urban Reserve] parcel will ultimately be developed with a mix and density

of land uses similar to that in the balance of the Plan Area.” The Circulation chapter of the Creekview Specific Plan notes points of connection between the balance of the Specific Plan and the Urban Reserve property. In short, development of this site has been assumed in the Creekview Specific Plan, including access to roadways and utilities. This property is so large that the rezone of the site is anticipated to include two separate high density residential sites in appropriate locations. Conservatively assuming 20 acres is developable with housing at 30 units/acre (two 10-acre sites), this property could provide **600 units**.

3. **Shea Property:** This includes multiple parcels totaling 20 acres, all under the same ownership, and is designated Business Professional (BP). Staff is aware of interest in developing this site with residential uses due to decreased interest in office uses. The proximity to Highway 65 and the onramp adds environmental constraints. This area has a BP land use designation specifically to provide a non-residential buffer between Highway 65 and the residential uses along Gibson Drive. The design would need to be sensitive to these constraints, including buffering area, and an outdoor activity area protected from noise. The rezone would focus the housing along Gibson Drive, retaining land for buffering and other complementary use nearest to Highway 65. Conservatively assuming 10 acres is developable with housing at 30 units/acre, this property could provide **300 units**.
4. **Conference Center Drive Property:** This includes two parcels of 6.7 and 7.9 acres, both designated BP. As with the previous property, this land has a BP land use designation to provide a non-residential buffer between Highway 65 and the residential uses along Gibson Drive. These properties are also surrounded by non-residential uses (a conference center, a luxury gym with large outdoor recreation area, and the Galleria). In addition Gibson Drive already supports nearly 100 acres of high density residential land use. However, assuming that 10 acres is developable with housing at 30 units/acre, this property could provide **300 units**.

If all four sites were selected, this strategy could provide 1,350 units at 30 units per acre in total capacity. All four sites are listed in Appendix C with their maximum realistic capacity and therefore the Rezone Program includes 1,350 units from this strategy. However, not all four will be selected because the potential additional units added exceeds the City’s deficit; all four are included in order to provide flexibility in the implementation of this portion of the program. The realistic capacity is estimated as 600 units. Furthermore, this program could include sites not currently on this list, as the intent of the City is to negotiate with property owners on voluntary rezone proposals. In implementing this portion of the program, the City anticipates rezoning sufficient land at densities of at least 25 units per acre to generate as many lower income units as needed to ensure this strategy, in combination with the other strategies, achieves the minimum lower income RHNA obligation.

**Figure X-36 | Opportunity Sites Map**





## VACANT SITES – RESIDENTIAL INTENSIFICATION

The western areas of the City include multiple vacant sites with High Density Residential land uses at densities below 25 units per acre. Increasing the land use density of these sites to 25–30 units per acre would yield additional units. This strategy proposes that the City would develop and adopt a Land Use Amendment Policy requiring Specific Plan Amendment projects involving land use changes to also amend the land use of High Density Residential sites the applicant/property owner controls to between 25 and 30 units to the acre. A proposed draft of the policy is included below:

### **Intent**

In response to the statewide housing crisis and to ensure the City fulfills its obligation to provide sufficient high density housing the City has developed the Specific Plan Amendment Policy. The intent of the policy is to articulate the City's expectations for Specific Plan Amendment proposals affecting or proposing residential land uses. The Policy is not intended to be inclusive of all City development requirements, but supplements those requirements. The purpose of the policy is to increase the Citywide unit capacity of High Density Residential at densities of 25 units per acre or greater.

### **Applicability**

The policy applies to a Specific Plan Amendment project meeting one or more of the following criteria:

- The project would amend 10 or more acres of land currently designated for residential uses (i.e. Low Density Residential, including age-restricted; Medium Density Residential, or High Density Residential). If the project will result in a net increase of 150 units of High Density Residential units within the Specific Plan at minimum densities of 30 units per acre (HDR-30), the policy does not apply.
- The project would amend land currently designated for non-residential uses to residential uses. If a minimum of five acres of non-residential land will be amended to High Density Residential at a minimum density of 30 units per acre (HDR-30), the policy does not apply. This policy does not apply to land with a Public/Quasi Public land use designation.

### **Policy**

If the City currently does not have sufficient lower income units to meet its RHNA obligation or has a 5% surplus of lower income units or less, this policy applies. The property owner(s) (Owner) of a Specific Plan Amendment application subject to this policy (Project) shall be required to include an application to amend to HDR-25 or greater any land owned or controlled by the Owner within the City which has a land use designation of between HDR-13 and HDR-24 (using standard rounding) at the time of Project application, and to amend to HDR-30 or greater any land owned or controlled by the Owner within the City which has a land use designation of between HDR-25 and HDR-29 (using standard rounding) at the time of Project application. The application may be included as part of the Project or may be a separate application, but shall be approved prior to or concurrently with the Project. This policy does not apply to HDR land which has already been developed and has zero remaining allocated, undeveloped units.

Table X-42 below lists all of the vacant HDR parcels in the City which have the potential to be affected by this policy and Figure X-37 shows their locations. However, many of the sites listed on the table are currently credited toward the moderate income allocation instead of lower income due to low densities. For those parcels the total site units would be added to lower income capacity, not just the amount of increased units. As shown, this could increase the City's lower income capacity by 1,880 units of total capacity.

**Table X-42 | Potential Residential Intensification Sites**

Specific Plan Parcel	HDR Density	Acreage	Existing Capacity	Capacity at HDR-30*	Existing Credited Income Category	Potential Added Lower Income Capacity
AR-36	15.3	7.5	113	220	Moderate	220
FD-33	20	8.6	172	250	Moderate	250
FD-32	20.5	8.7	178	260	Moderate	260

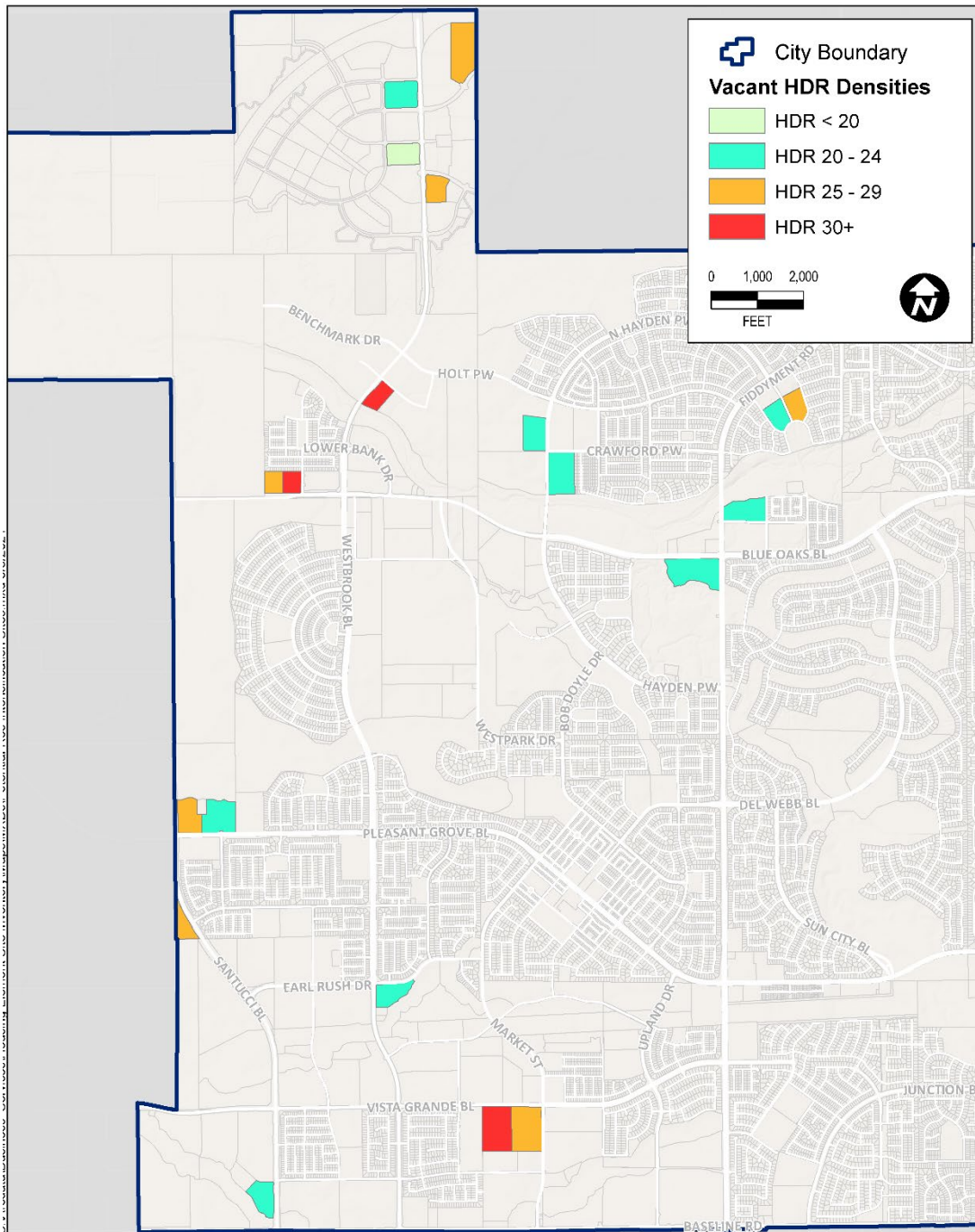
W-16	20.5	12.2	250	360	Moderate	360
W-27	21.5	7.9	20	230	Moderate	0
			150		Lower	80
KT-30	23.1	7.4	171	220	Lower	49
F-6B	23.2	8.4	195	250	Lower	55
JM-30 <sup>a</sup>	23.5	7.5	30	225	Moderate	0
			146		Lower	79
WB-31	23.7	11.1	263	330	Lower	67
F-21	23.7	14.5	343	430	Lower	87
F-8A	23.7	11.7	277	350	Lower	73
FD-34	24.6	7	172	210	Lower	38
AR-19	24.7	9.3	230	270	Lower	40
F-22	24.9	9.8	244	290	Lower	46
F-25	24.9	5.5	137	160	Lower	23
F-26	25	5.6	140	160	Lower	20
WB-32	25.1	5.1	128	150	Lower	22
AR-38	25.2	15.1	380	450	Lower	70
AR-44	25.4	5.9	150	170	Lower	20
CG-31	29	14.5	420	435	Lower	15
WB-30	29.3	8.1	237	243	Lower	6
<b>Total Capacity</b>			<b>4,546</b>	<b>5,663</b>	<b>Increased Capacity</b>	<b>1,880</b>

\*rounded down

a. JM-30 and W-27 include an affordable housing obligation, so the units are divided between obligated lower income and market rate (moderate).



Figure X-37 | Potential Residential Intensification Sites



To determine the realistic capacity of this strategy staff compiled a list of all Specific Plan Amendments approved during the past eight years (2012 to 2020) which could have been subject to this policy. The City received 15 such applications in the prior eight years. Of the properties listed in Table X-42, only two property owners were not involved in one or more Specific Plan Amendments during the past eight years. This demonstrates that most large land owners in the City actively shape and modify the land use and design of their holdings to respond to market changes, and it is reasonable to expect these owners will continue to do so in the future. While the data support a conclusion that nearly all of the properties in Table X-42 will be affected by the land use policy, the City is assuming the strategy has a realistic capacity of 900 lower income units.

All of the sites in Table X-42 are listed in Appendix C. However, it is not anticipated that all of these sites will be affected by the policy, because the potential additional units added exceeds the City's deficit. In implementing this portion of the program, the City anticipates rezoning sufficient land at densities of at least 25 units per acre to generate as many lower income units as needed to ensure this strategy, in combination with the other strategies, achieves the minimum lower income RHNA obligation.

### **Rezone Program Summary**

The above rezone program has the potential to add up to 2,086 units of realistic lower income capacity. In adopting this program the City is approving a menu of strategies which may be pursued, and providing evidence for the realistic capacity which could be added by each. In implementing the rezone program, the City may choose to implement one, all, or portions of these, based on need and to the extent necessary to ensure the City achieves the minimum required RHNA capacity, which currently requires the addition of 1,791 units of lower income capacity. The City's rezone program, in combination with other programs, shall result in the City's achievement and maintenance of the minimum required capacity of 6,178 lower income units.



## Appendix F Accessory Dwelling Unit Affordability Study

### INTRODUCTION

Government Code section 65583.1 details how local governments can consider alternate means of accommodating the RHNA beyond vacant and underutilized sites. The potential for Accessory Dwelling Units (ADUs) within the planning period is one of these available alternative means. Since the location and rents of projected ADUs are unknown, local governments must make assumptions about which RHNA income categories they should be counted towards. The purpose of this advisory is to provide local governments in the SACOG region with an assumption for ADU affordability that can be used to assign ADUs to RHNA income categories in Cycle 6 (2021-2029) Housing Elements.

The results of this analysis have been reviewed by the State Department for Housing and Community Development (HCD) and have been found to be satisfactory. There are a number of ways to conduct this analysis. This guidance relies on a survey of existing ADU rents throughout the region in January and February 2020. However, there are other ways to conduct this analysis. For example, local governments could consider square footage, number of bedrooms, amenities, age of the structure, general location. Another method could examine current market rents for reasonably comparable rental properties to determine an average price per square foot in the community. Given the variety of potential approaches, jurisdictions are free to provide their own analysis and assumptions should they choose.

The table below provides the results of the analysis, which can be used to make assumptions about ADU affordability in the SACOG region. The analysis provides separate assumptions for three areas within the region. The affordability differences reflect the relative difference in household income, according to 2019 State income limits. The following pages include a detailed, step-by-step walkthrough of how the assumptions below were derived.

ADU Affordability by County			
Category	Sacramento, Placer, and El Dorado Counties	Yuba and Sutter Counties	Yolo County
Extremely Low	15%	15%	15%
Very Low	6%	1%	10%
Low	35%	14%	44%
Moderate	43%	49%	30%
Above Moderate	1%	21%	1%

## STEP-BY-STEP SUMMARY

1. Affordability Breakdown of Rented ADUs in Sacramento Region
  - a. Calculate maximum rent limits for RHNA income categories for both one-person and two-person households in each county
  - b. Conduct survey of rents for ADUs in the Sacramento region
  - c. Use above survey to determine proportion of ADUs within each income category for both one-person and two-person households
  - d. Make assumption for what percentage of ADUs will be occupied by one-person households and two-person households
  - e. Use (d) to combine proportions from (c) into single breakdown of rented ADUs by income category by county
2. Affordability Breakdown of non-rented ADUs in Sacramento Region
  - a. Make assumption for what % of ADUs are rented for free based on existing literature and allocate those towards ELI
3. Combine rented and free ADUs into single affordability breakdown by county

### 1. AFFORDABILITY BREAKDOWN OF RENTED ADUS

- A) Calculate maximum rent limits for RHNA income categories for both one-person and two-person households by county

Sacramento, Placer, and El Dorado Counties Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$17,600	\$440	\$20,100	\$503
Very Low	30%-50% of area median income	\$29,300	\$733	\$33,450	\$836
Low	50%-80% of area median income	\$46,850	\$1,171	\$53,550	\$1,339
Moderate	80%-120% of area median income	\$70,200	\$1,755	\$80,250	\$2,006
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent



Yuba and Sutter Counties Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$13,650	\$341	\$16,910	\$423
Very Low	30%-50% of area median income	\$22,700	\$568	\$25,950	\$649
Low	50%-80% of area median income	\$36,300	\$908	\$41,500	\$1,038
Moderate	80%-120% of area median income	\$54,450	\$1,361	\$62,200	\$1,555
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent

Yolo County Maximum Rent by RHNA Income Category					
Category	Income Range	One Person Household		Two Person Household	
		Income <sup>1</sup>	Max Rent <sup>2</sup>	Income <sup>1</sup>	Max Rent <sup>2</sup>
Extremely Low	Below 30% of area median income	\$18,450	\$461	\$21,100	\$528
Very Low	30%-50% of area median income	\$30,800	\$770	\$35,200	\$880
Low	50%-80% of area median income	\$49,250	\$1,231	\$56,250	\$1,406
Moderate	80%-120% of area median income	\$73,850	\$1,846	\$84,400	\$2,110
Above Moderate	Over 120% of area median income	No max	No max	No max	No max

1) Maximum of income range multiplied by household median income average based on 2019 State income limits (<https://www.hcd.ca.gov/grants-funding/income-limits/state-and-federal-income-limits/docs/Income-Limits-2019.pdf>)

2) Income maximum multiplied by 30% divided by 12 to yield monthly maximum affordable rent

### **B) Conduct survey of rents for ADUs in the Sacramento region**

The survey, included as appendix A, includes location, rent, square footage (if available), and a link for 49 accessory dwelling units across the Sacramento region. SACOG used key word searches (ADU, backyard cottage, in-law, granny flat, carriage unit, etc) across a variety of rental housing search engines. ADUs were found across 14 of the region's jurisdictions. Prices ranged from \$600 to \$2,000 per month and from 250 to 1,500 square feet. The median ADU was approximately 600 sqft and rented for just over \$1,200.

### **C) Use regional survey to determine proportion of ADUs within each income category for both one-person and two-person households**

Sacramento, Placer, and El Dorado Counties Surveyed ADU Income Categories		
	One Person Household	Two Person Household

Category	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	2	4%	5	10%
Low	14	29%	26	53%
Moderate	32	65%	18	37%
Above Moderate	1	2%	0	0%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

Yuba and Sutter Counties Surveyed ADU Income Categories				
Category	One Person Household		Two Person Household	
	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	0	0%	1	2%
Low	6	12%	10	20%
Moderate	25	51%	32	65%
Above Moderate	18	37%	6	12%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

Yolo County Surveyed ADU Income Categories				
Category	One Person Household		Two Person Household	
	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>	Number of Surveyed ADUs within Range <sup>1</sup>	Percent of Surveyed within Range <sup>2</sup>
Extremely Low	0	0%	0	0%
Very Low	5	10%	6	12%
Low	22	45%	29	59%
Moderate	21	43%	14	29%
Above Moderate	1	2%	0	0%

1) Number of all surveyed ADUs in step B that fall within the max rent in each RHNA income category

2) Percent of all surveyed ADUs

**D) Make assumption for what percentage of ADUs will be occupied by one-person households and two-person households**

Based on the survey results below from Portland, we will assume that ADU residents are split 50% as one-person households and 50% as two-person households. Assuming household sizes greater than two would increase the assumed affordability of ADUs because these households have higher median incomes. Using only one- and two-person households yields a more conservative estimation of ADU affordability.



Number of Adults	Number of Households	Percent of Total
1	72	51%
2	61	43%
More than 2	8	6%
Total	141	
*Based on <a href="#">survey</a> done of Portland ADU residents in 2018		

**E) Use (D) to combine proportions from (C) into single breakdown of rented ADUs by income category**

Sacramento, Placer, and El Dorado Counties Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	4%	10%	7%
Low	29%	53%	41%
Moderate	65%	37%	51%
Above Moderate	2%	0%	1%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

Yuba and Sutter Counties Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	0%	2%	1%
Low	12%	20%	16%
Moderate	51%	65%	58%
Above Moderate	37%	12%	24%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

Yolo County Affordability Assumption for Rented ADUs			
Category	Affordability Assumption 1-Person Households	Affordability Assumption 2-Person Households	Combined Affordability Assumption for Rented ADUs <sup>1</sup>
Extremely Low	0%	0%	0%
Very Low	10%	12%	11%
Low	45%	59%	52%
Moderate	43%	29%	36%
Above Moderate	2%	0%	1%

1) Based on assumption that ADUs will be occupied by 50% one-person households and 50% two person households, as outlined in (D)

**2. AFFORDABILITY BREAKDOWN OF NON-RENTED ADUS**

Accessory Dwelling Units are sometimes rented for free, usually to family members. It is difficult to estimate exactly how many ADUs will be rented for free, but there have been surveys that attempt to estimate the proportion:

- A 2012 UC Berkeley publication entitled “Scaling up Secondary Unit Production in the East Bay” indicates that approximately half of all secondary dwelling units are unpaid.<sup>6</sup>
- A 2018 report entitled “Jumpstarting the market for ADUs” surveyed ADUs in Portland, Seattle, and Vancouver and found that approximately 17% of ADUs were occupied by a friend or family member for free.<sup>7</sup>
- A 2014 analysis entitled “Accessory dwelling units in Portland, Oregon: evaluation and interpretation of a survey of ADU owners” found that “18% of Portland ADUs are occupied for free or extremely low cost.”<sup>8</sup>

Based on these surveys, this analysis will conservatively assume that 15% of ADUs will be available at rents affordable to Extremely Low Income households.

**3. COMBINE RENTED AND NON-RENTED ADUS INTO CONSOLIDATED AFFORDABILITY BREAKDOWN**

Sacramento, Placer, and El Dorado Counties Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	7%	0%	6%
Low	41%	0%	35%

<sup>6</sup> [https://communityinnovation.berkeley.edu/sites/default/files/scaling\\_up\\_secondary\\_unit\\_production\\_in\\_the\\_east\\_bay.pdf?width=1200&height=800&iframe=true](https://communityinnovation.berkeley.edu/sites/default/files/scaling_up_secondary_unit_production_in_the_east_bay.pdf?width=1200&height=800&iframe=true)

<sup>7</sup> [http://ternercenter.berkeley.edu/uploads/ADU\\_report\\_4.18.pdf](http://ternercenter.berkeley.edu/uploads/ADU_report_4.18.pdf)

<sup>8</sup> <https://accessorydwellings.files.wordpress.com/2014/06/adusurveyinterpret.pdf>



Moderate	51%	0%	43%
Above Moderate	1%	0%	1%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

Yuba and Sutter Counties Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	1%	0%	1%
Low	16%	0%	14%
Moderate	58%	0%	49%
Above Moderate	24%	0%	21%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

Yolo County Affordability Assumption for All ADUs			
Category	Affordability Assumption for Rented ADUs <sup>1</sup> 85% of Total	Affordability Assumption for Non-Rented ADUs <sup>2</sup> 15% of Total	Affordability Assumption for all ADUs <sup>3</sup> 100% of Total
Extremely Low	0%	100%	15%
Very Low	11%	0%	10%
Low	52%	0%	44%
Moderate	36%	0%	30%
Above Moderate	1%	0%	1%

1) See Step 1.E

2) See Step 2

3) Combined by multiplying rented ADUs by 85% and non-rented ADUs by 15%

#### APPENDIX A: SACRAMENTO REGION ACCESSORY DWELLING UNIT SURVEY

County	Jurisdiction	Address	General Location	Price	Sq Ft	Price/Sqft	Date Found
Sacramento	Sacramento		Land Park	\$ 1,000	250	\$4.00	1/29/2020
Sacramento	Sacramento		South Sacramento	\$700	270	\$2.59	1/29/2020
Yolo	West Sacramento	1520 Virginia Ave		\$ 1,000	400	\$2.50	1/29/2020

Sacramento	Sacramento		Colonial Heights	\$750	450	\$1.67	1/29/2020
Placer	Lincoln		Saint Tropez Ln,	\$ 1,200	450	\$2.67	1/29/2020
Sacramento	Sacramento		Land Park	\$ 1,150	500	\$2.30	1/29/2020
Sacramento	Sacramento County	2143 Bircher Way	Carmichael	\$ 1,197	500	\$2.39	1/29/2020
Sacramento	Sacramento	2848 Marshall Way	Curtis Park	\$ 1,200	550	\$2.18	1/29/2020
Sacramento	Sacramento	1314 Q St APT 2	Midtown	\$ 1,195	571	\$2.09	1/29/2020
Yolo	Woodland	1255 East Oak #C		\$975	600	\$1.63	1/29/2020
Sacramento	Sacramento County		Fair Oaks	\$ 1,100	600	\$1.83	1/29/2020
Sacramento	Elk Grove		Near Sheldon	\$ 1,200	600		1/29/2020
Sacramento	Sacramento		Alhambra Triangle	\$ 1,395	650	\$2.15	1/29/2020
Sacramento	Sacramento	4157 6th Ave	Oak Park	\$ 1,250	700	\$1.79	1/29/2020
Sacramento	Sacramento	4311 21st St	Land Park	\$ 1,650	700	\$2.36	1/29/2020
Placer	Placer County		Newcastle	\$ 1,150	725	\$1.59	1/29/2020
Sacramento	Sacramento		South Natomas	\$ 1,250	800	\$1.56	1/29/2020
Sacramento	Sacramento		Oak Park	\$ 1,500	820	\$1.83	1/29/2020
Sacramento	Sacramento County		Arden-Arcade	\$ 1,400	900	\$1.56	1/29/2020
Sacramento	Folsom		Historic Folsom	\$ 1,975	1000	\$1.98	1/29/2020
Placer	Loomis		King Road near Penryn	\$ 1,500	1100	\$1.36	1/29/2020
Sacramento	Folsom		Historic Folsom	\$ 1,275	1500	\$0.85	1/29/2020
Sacramento	Sacramento	4201 53rd St	Colonial Heights	\$ 1,075	1br		1/29/2020
Placer	Placer County		Granite Bay	\$ 1,395			1/29/2020
El Dorado	El Dorado County		El Dorado Hills	\$ 1,500			1/29/2020
Placer	Lincoln			\$ 1,200	450	\$2.67	2/3/2020
Yolo	Davis	1044 Strawberry Ter	Cannery	\$ 1,500	455	\$3.30	2/3/2020
Sacramento	Sacramento	3556 Folsom Blvd	East Sacramento	\$ 1,300	550	\$2.36	2/3/2020
Placer	Roseville		West Roseville	\$ 1,595	550	\$2.90	2/3/2020
Sacramento	Sacramento		Midtown	\$950	700	\$1.36	2/3/2020
Placer	Lincoln		Lyles near 193	\$ 1,200	1br		2/3/2020
Sacramento	Folsom		American River Canyon	\$ 1,700	550	\$3.09	2/7/2020
Sacramento	Sacramento County	7619 Blue Bell Cir	Vineyard	\$ 1,200	600	\$2.00	2/7/2020
El Dorado	El Dorado County		West of Placerville	\$ 1,500	600	\$2.50	2/7/2020
Sacramento	Sacramento		Natomas	\$ 1,200	650	\$1.85	2/7/2020
Sacramento	Sacramento County		North Highlands	\$750	1br		2/7/2020
County	Jurisdiction	Address	General Location	Price	Sq Ft	Price/Sqft	Date Found
Sacramento	Sacramento	1740 39th Street	East Sacramento	\$871	1br		2/7/2020
Sacramento	Sacramento	5351 B Street	East Sacramento	\$ 1,211	1br		2/7/2020
Yolo	West Sacramento		Southport	\$ 1,550			2/7/2020



Sacramento	Galt	134 Oak Avenue	Central Galt	\$750	1br		2/13/2020
Sacramento	Sacramento	2418 28th St	Midtown	\$ 1,500	1br		2/13/2020
Sacramento	Sacramento			\$600			2/13/2020
Sacramento	Sacramento		Elmhurst	\$950			2/13/2020
Yolo	Woodland		Central Woodland	\$ 1,200	300	\$4.00	2/28/2020
Sacramento	Sacramento	1310 P St	Downtown	\$ 1,395	500	\$2.79	2/28/2020
Sacramento	Sacramento County		Fair Oaks	\$ 1,580	600	\$2.63	2/28/2020
El Dorado	Placerville		Placerville	\$ 1,600	700	\$2.29	2/28/2020
Sacramento	Sacramento		Natomas	\$ 1,100	720	\$1.53	2/28/2020
Sacramento	Sacramento	2418 28th St	Midtown	\$ 1,500	1br		2/28/2020

## Appendix G Homeless Resources

### HOMELESS RESOURCES/FOOD BANKS

#### **Abundant Life Fellowship**

[www.alfchurch.org](http://www.alfchurch.org)

706 Atlantic Street, Roseville (916) 783-1989

Hours: Wed. 10 am – 12: 00 pm

Food and clothes closet services available. Food can be obtained once per month, and more on an emergency basis. Need photo ID.

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#### **Antelope Springs Church Food Closet**

4555 PFE Rd, Roseville (916) 773-7727

Hours: Mon. – Fri and the last Sat of each month. 10am – 2pm, with the exception of December. Closed on all Federal holidays.

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#### **Auburn Interfaith Food Closet**

[www.auburnfoodcloset.com](http://www.auburnfoodcloset.com)

21972 Earhart Ave #301, Auburn (530) 885-1921

Hours: Mon-Fri 10:00 a.m. – 2:00 pm and the last Saturday of the month (except in December). Closed on all Federal Holidays.

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#### **Bridgeway Christian Church Food Bank**

3735 Placer Corporate Dr, Rocklin (916) 768-1030

Hours: Thurs. 10:00 am – 12:00 pm

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#### **Elijah's Jar Food Closet and Emergency Clothes**

[www.elijahsjar.org](http://www.elijahsjar.org)

24617 Foresthill Road, Foresthill (530) 367-3085

Hours: Wed 10:30 am – 12:30 pm / Fri 1:30 – 3:30 pm / 3<sup>rd</sup> Thurs of month 8:00 – 10:00 am

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#### **The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children's services and more.

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#### **Francis House Center**

[www.francishousecenter.org](http://www.francishousecenter.org)

1422 C Street, Sacramento, CA (916) 443-2646

Emergency shelter for families with children, homeless housing, job development center, Social Security Disability Advocate, anger management, assistance for veterans.

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#### **Gathering Inn**

[www.thegatheringinn.com](http://www.thegatheringinn.com)

201 Berkeley Avenue, Roseville, CA 95678 (916) 791-9355

Programs include a shelter, showers, community health clinic, 12-step support group, clothing closet and case management referrals. Up to 50 beds available nightly on a revolving basis. Year-round availability. Must have a current T.B. test.

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#### **Harvest Community Church Food Bank**

1376 Blue Oaks Blvd, Roseville (916) 771-4781

Tuesdays 4:30 – 5:30 pm

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#### **Lazarus Project, Inc.**

[www.lazarusprojectinc.org](http://www.lazarusprojectinc.org)



P.O. Box 1241, Roseville, CA 95678 (916) 772-6833

Housing and comprehensive support services

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**Lighthouse Rescue Mission**

[www.lighthouserescue.org/info/](http://www.lighthouserescue.org/info/)

Tulare, CA (559) 687-8317

Faith-based shelter for women and children.

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**Loomis Basin Food Bank**

[www.loomisfumc.org](http://www.loomisfumc.org)

First United Methodist Church of Loomis

6414 Brace Rd, Loomis (916) 652-0469

Mon-Fri 9:00 a.m. – 1:00 p.m.

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**Lutheran Social Services of Northern California**

[www.lssnorcal.org](http://www.lssnorcal.org)

4390 47<sup>th</sup> Ave, Sacramento, CA (916) 453-2900

Housing programs for homeless families, individuals and youth.

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**Mather Community Campus**

[www.voa-sac.org](http://www.voa-sac.org)

3587 Bleckley Street, Mather (AFB) CA (916) 228-3100

10626 Shirra Ave, Mather, (AFB) CA 95655

Provides up to a two year transitional living program for homeless individuals and families with additional training and employment referrals. There are eligibility requirements, waiting list, and a referral process that you must complete through a Social Worker. Intake by referral, usually by an emergency homeless shelter. Operated by Volunteers of America.

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**Mosaic Christian Church Food Bank**

4430 Granite Dr, Rocklin (916)632-8600

Hours: Wed 8:30 am – 12:00 pm / Fri 2:00 pm – 5:00 pm

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**Next Move Sacramento**

Email: [info@nextmovesacramento.org](mailto:info@nextmovesacramento.org)

[www.nextmovesacramento.org](http://www.nextmovesacramento.org)

2925 34<sup>th</sup> St., Sacramento, CA 95817 (916) 454-2120

Provides services to Sacramento County homeless families (with children). Temporary emergency shelter, meals, transportation, health services, clothing. Maximum stay 60 days.

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**Placer Food Bank**

[www.placerfoodbank.org](http://www.placerfoodbank.org)

8284 Industrial Ave, Roseville (916) 783-0481 FAX (916) 783-4013

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**Placer County Food Bank (Second Harvest)**

Seventh Day Adventist Church, 12225 Rock Creek, Auburn (916) 783-0482

Hours: third Monday of each month 8:00 am – 10:00 am

OR

24601 Harrison, Foresthill (916) 783-0482

Hours: third Thursday of each month 8:30 am – 10:00 am

OR

McBean Park, 4<sup>th</sup> & D Streets, Lincoln (916) 783-0482

Hours: First Wednesday of each month 8:30 am – 10:30 am

OR

Rocklin Community Center 5400 5<sup>th</sup> Street, Rocklin (916) 783-0482

Hours: Thurs. 8:30 am – 10:30 am

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**Placer County Food Bank**

Seniors:

Warehouse 1125 Circuit Ave, Roseville (916) 783-0482

Hours: First Monday of each month 8:00 am – 10:00 am

Non-Seniors

First Methodist Church, 109 Washington, Roseville (916) 783-0482

Hours: First Thursday of each month 8:30 am – 10:30 am

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**Powerhouse Transition Center (Powerhouse Ministries)**

311 Market Street, Folsom (916) 983-0658 FAX (916) 984-9912

Homeless transition center for women and children. Faith-based.

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**Project MANA Food Bank**

(530) 582-4079 or (775) 298-0008

Truckee - Tues 3:00 pm / Kings Beach - Wed 3:00 pm

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**Roseville Home Start**

Email : [info@RosevilleHomeStart.org](mailto:info@RosevilleHomeStart.org)

[www.rosevillehomestart.org](http://www.rosevillehomestart.org)

Transitional Housing Facility: 410 Riverside Ave., Roseville (916) 782-6667

Therapeutic Client Service Office : 426 Riverside Ave., Roseville

Program includes transitional housing for homeless families for up to one year. Father and/or mother with children. Includes drug and alcohol support groups, financial education, family violence, parenting classes, case management and health clinic. Priority given to Placer County residents and there is usually a waiting list. Also offers emergency housing for homeless.

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**The Salt Mine**

[www.thesaltmine.org](http://www.thesaltmine.org)

590 Lincoln Blvd., Lincoln (916) 645-3778

Programs include transitional housing, food bank (Lincoln and Sheridan residents only), bus tickets, transportation to and from job interviews, emergency auto repairs and prescriptions for the elderly. Hot meals, clothing and showers also available.

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**The Salvation Army**

286 Sutter Street, Auburn (530) 889-3990 (Mon, Wed, Fri, seniors only Thur 10:00 am – 2:00 pm)

233 S. Auburn, Ste. 110, Colfax (530) 346-2722 (food service only, Wed 10am-4pm)

320 S. Canyon Way #A, Colfax (530) 346-2722 (Tues, Wed 10:00 am – 3:00 pm)

100 Lincoln Street, Roseville (916) 784-3233 (Mon-Thur 10:00 am – 3:00 pm / Fri 1:00 – 3:00 pm)

Programs include shelter, food, clothing, prescriptions, emergency bus tickets, meal vouchers, showers, residential treatment and transitional housing programs. \*Bring ID and Social Security card

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**Seventh Day Adventist Church**

[www.aubsda.net](http://www.aubsda.net)

12225 Rock Creek Road, Auburn (530) 823-0345

Homeless people can receive a bag of groceries every week, while other people can only receive food once a month. Spanish speaking services are available. Hot meals on Sat. 8:00 – 9:00 am. Also showers and clothing. Tuesdays 9:00 a.m. – 1:00 p.m.

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**Sierra First Baptist Church Food Bank**

33990 Alta Bonnybrook Rd, Alta (530) 389-2168

Hours: Mon, Wed, Thur, Fri 8:30 a.m. – 12:00 p.m.

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**Sierra Reach Ministries**

[www.sierrareach.org](http://www.sierrareach.org)

18015 Applegate Road, Applegate (530) 878-2705



Hours: Thurs. 9:00 am – 12:00 pm

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**Food, clothing, and referrals available**

**St. Vincent DePaul**

[www.placersvdp.com](http://www.placersvdp.com)

503 Guisepe Court, Roseville (916) 781-3303

Hours: Mon. – Fri. 9:00 am – 4:00 pm      Food Bank: Mon–Fri 9:00 a.m. - 11:00 am

Hot meals: Served at the dining room (105 Bonita, Roseville) Tues – Thurs 12:00 pm -1:30 pm /

Sat & Sun 2:30 pm – 4:00 pm

Clothing and other services also available. Shelter program for families. 14 units, single families with children, food locker, clothing vouchers, medical clinic. Priority waiting list, call on Mondays. No cost to enter the program.

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**Stand Up Placer (Formerly Peace for Families)**

[www.standupplacer.org](http://www.standupplacer.org)

11985 Heritage Oaks Place, Suite 200, Auburn, CA 95603 (530) 885-0443

775 Sunrise Ave Suite 160, Roseville, CA 95661 (916) 773-7273

24-Hour Crisis Line for emergency housing and assistance (800) 575-5352

A private, non-profit community-based organization that provides services to victims of domestic violence and sexual assault in Placer County. Services include: emergency housing, 12-24 month supportive housing, crisis intervention, social and legal services, support groups and counseling.

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**Union Gospel Mission**

[www.ugmsac.com](http://www.ugmsac.com)

400 Bannon Street, Sacramento (916) 447-3268

Homeless resources including women's clothes closet, food bank. Other services include a drug and alcohol treatment program, vocational training and employment assistance.

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**Volunteers of America – Northern California & Northern Nevada**

[www.voa.org](http://www.voa.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 442-3691

A variety of services available including: substance abuse treatment, youth services, transitional housing for former foster youth, senior services, veterans services and housing assistance.

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**Welcome Center**

[www.placer.ca.gov/departments/hhs/adult/welcome-center](http://www.placer.ca.gov/departments/hhs/adult/welcome-center)

11522 B Avenue, Auburn (530) 889-7200

Hours of Operation: Monday - Thursday 10 am - 4 pm      Fun Fridays - 10 am – 2 pm

“Getting Started” Housing Assistance Program every Tuesday 10:00 am – 12:30 p.m.

The Welcome Center is a fun place where anyone can drop-in to enjoy a safe, warm, friendly atmosphere. A consumer run program that is structured by the needs/wants of the community. The programs available are created by the participants for people to enjoy and learn. Programs include community resource referrals for homeless persons, free activity and support groups. Free food is offered on occasion.

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**What Would Jesus Do Ministry**

[www.wwjidinc.org](http://www.wwjidinc.org) (916) 786-9953

Auburn: Tuesdays at 7<sup>th</sup> Day Adventist Church 8:30 – 9:45 am / Thursdays at 1<sup>st</sup> St and Bell Rd, DeWitt Center 8:00 – 9:30 am

Colfax: Tuesdays at Methodist Church, 59 Church St, 8:00 – 9:30 am

Foresthill: Fridays in midtown 7:30 – 8:30 am

Roseville: Monday – Friday 8:00 – 9:00 am at Abundant Life Fellowship, 706 Atlantic St. / Sundays at Saugstad Park 8:30 – 9:00 am

WWJD is a mobile van service that provides meals at various locations in Placer County to homeless persons. Once individuals make contact with WWJD personnel, they can request blankets, tarps, sleeping bags, toiletries, laundry soap and other sundries. They have volunteer doctors and nurses to attend to immediate medical needs and provide assistance obtaining authorized medical services. Social work volunteers help with referrals to other homeless services, SSI assistance, transportation to medical appointments and court appearances, Employment Development Department, veterans agencies, disability services and burial arrangements.

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**Women's Empowerment**

[www.womens-empowerment.org](http://www.womens-empowerment.org)

1590 North A Street, Sacramento, CA 95811 (916) 669-2307

A non-profit organization that works with homeless women to help them build the skills they need to go back to work and maintain stable housing. 8 week free program. Daycare and transportation assistance provided. Women receive health education, nutrition, smoking cessation, and relapse prevention. Access to healthcare including eye exams, dental visits, access to care from a private physician, child development assessments, yoga, fitness, and more.

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**SUBSTANCE ABUSE TREATMENT**

**Aegis Medical Systems, Inc.**

Email: [roseville@aegismed.com](mailto:roseville@aegismed.com)

[www.aegismed.com](http://www.aegismed.com)

1133 Coloma Way, Suite C, Roseville, CA (916) 774-6647

Methadone maintenance and detox dependency clinic. Individual and group counseling, anger management, relapse prevention, peer support and perinatal services.

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**Acres of Hope**

[www.acresofhopeonline.org](http://www.acresofhopeonline.org)

P.O. Box 238, Auburn, CA 95604 (530) 878-8030

A spiritually based renewal center that serves homeless women and children by providing them with a home and an environment of structured programming.

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**Alpha Oaks**

Email: [alphaoaks@sbcglobal.net](mailto:alphaoaks@sbcglobal.net)

[www.recoverywomen.com](http://www.recoverywomen.com)

8400 Fair Oaks Blvd. Carmichael, CA (916) 944-3920

2 residential treatment facilities and 1 sober living home for women.

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**Bi Valley Medical Clinic**

[www.bivalley.com](http://www.bivalley.com)

6127 Fair Oaks Blvd. Sacramento (916) 974-8090

310 Harris Ave. Sacramento (916) 649-6793

Methadone program, outpatient detox.

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**Buddy's House**

Email: [buddyshouse@comcast.net](mailto:buddyshouse@comcast.net)

[www.buddyshouse.org](http://www.buddyshouse.org)

1770 Magnolia Drive, Yuba City (530)674-1049 Cell (530) 933-4156 FAX (530) 674-5572

Clean and sober adult transitional living.

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**Center Point**

[www.cpinc.org](http://www.cpinc.org)

11228 Fair Oaks Blvd., Fair Oaks (916) 962-2800 FAX (916) 962-2824



Outpatient substance abuse treatment and residential for men. Social rehabilitation and training services for high risk families, men, women, and women with children, veterans, and ex-offenders. Address issues of homelessness, unemployment, substance abuse disorders, mental illness and medical problems. Outpatient suboxone and methadone detox and maintenance program.

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**Chapa De Indian Health Program**

[www.chapa-de.org](http://www.chapa-de.org)

11670 Atwood Road, Auburn (530) 887-2840 FAX (530) 887-2819

Outpatient substance abuse program including behavioral health, co-occurring, support services, counseling, prevention programs, information and referrals, perinatal services, sliding fee schedule. Free for Native Americans.

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**Chico Rescue Mission**

[www.chicorescuemission.org](http://www.chicorescuemission.org)

2612 Esplanade, Chico, CA 95973 (530) 343-1935

12-month faith based residential treatment program for men.

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**Clean & Sober Detox**

[www.cleanandsoberdetox.org](http://www.cleanandsoberdetox.org)

Sacramento (916) 965-3386

Residential detox for adults; clients may stay up to 14 days.

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**Clean & Sober Recovery Services**

[www.candsrecovery.com](http://www.candsrecovery.com)

5820 Chestnut Ave, Orangevale, CA (916) 990-0190

Complete detox program, residential treatment and transitional housing for men and women (adults).

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**Clean & Sober Transitional Living**

[www.cleanandsobersacramento.com](http://www.cleanandsobersacramento.com)

8934 Madison Ave, Fair Oaks, CA (916) 961-2691 (916) 990-0190

Transitional housing, detox, intervention and recovery services.

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**C.O.R.E. Medical Clinic**

[www.coremedicalclinic.com](http://www.coremedicalclinic.com)

2100 Capital Ave, Sacramento (916) 442-4985 FAX (916) 442-1029

Outpatient suboxone and methadone detox and maintenance program. Opiate addiction treatment and counseling.

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**CORR- Community Recovery Resources**

[www.corr.us](http://www.corr.us)

180 Sierra College Dr, Grass Valley (residential, transitional, outpatient)

(530) 273-9541 FAX (530) 273-7740

12525 Shale Ridge Rd, Auburn (residential)

(530) 885-1961 FAX (530) 885-0713

12183 Locksley Ln, Auburn (DUI, outpatient, Mothers in Recovery)

1530 Third St #212, Lincoln

(916) 434-8927

730 Sunrise Ave #200, Roseville

(916) 782-3737

8491 North Lake Blvd., Kings Beach (Tahoe) (530) 889-8701

Residential and outpatient substance abuse treatment, transitional housing, detox, mental health and recovery services, family services, intervention services, adolescent programs, DUI and PC1000 programs. Medi-Cal and private insurance accepted, sliding fee scale.

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**D & A Detox**

[www.dandadetox.net](http://www.dandadetox.net)

2721 Barbera Way, Rancho Cordova, CA (916) 364- 7660(888) 595-9709

Non-profit organization licensed by the CA Dept of Alcohol and Drug Programs. 5-10 day residential detox, 28, 60 and 90 day men's residential treatment, outpatient, clean and sober living homes and counseling available. Self-help meetings on site and community service activities.

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**Delancey Street**

[www.delanceystreetfoundation.org](http://www.delanceystreetfoundation.org)

600 Embarcadero Street, San Francisco, CA (415) 512-5104 FAX (415) 512-5141

Long-term, free residential treatment program with vocational training. Must be in good health, no sex offenders, "dual-diagnosis" or psychiatric medications.

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**Drug Abuse Hotline**

[www.samhsa.gov/treatment](http://www.samhsa.gov/treatment)

(800) 662-HELP (4357)

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**The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children's services and more.

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**Gateway Foundation**

[www.gatewayforwomen.org](http://www.gatewayforwomen.org)

4049 Miller Way, Sacramento, CA (916) 451-9312 FAX (916) 451-4018

Women only. Residential treatment, counseling, family program, transitional living, support groups, information and referrals.

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**Good News Rescue Mission**

[www.gnrm.org](http://www.gnrm.org)

2842 S. Market Street, Redding, CA (530) 242-5920 FAX (530) 541-8745

*Men's New Life Recovery Program:* 12-18 month Christian-based residential treatment. Program includes bible study, relapse prevention, anger management, vocational training. Contact (530) 244-6800.

*Women's and Children's Ministries / House of Hope:* 12-24 month Christian-based residential treatment. Program includes bible study, relapse prevention, transitional, post-graduate programs and assistance. Contact (530) 241-3608.

*In-Step Dual Diagnosis Program (Mental Illness + Substance Abuse):* Co-case management with Shasta Co. Mental Health. Substance abuse treatment. Contact (530) 241-5754.

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**Harbor Light Center Recovery Home (Salvation Army)**

[www.tsagoldenstate.org/goldenstate/harbor\\_light](http://www.tsagoldenstate.org/goldenstate/harbor_light)

1275 Harrison St. San Francisco, CA (415) 503-3006

Comprehensive chemical dependency treatment for men, women and families. Detox and 6-12 month residential treatment program. Free.

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**Hope House / Serenity House**

[www.corr.us](http://www.corr.us)

303 Bennett Street, Grass Valley (530) 271-1140 FAX (530) 273-7036

Intensive 90 day men's and women's residential treatment programs operated by CORR. Participants in the program may have up to 2 of their young children with them. Multiple funding sources available based on qualifications.

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**Hope, Help and Healing**

[www.irecover.org](http://www.irecover.org)

Email: [office@hhhine.com](mailto:office@hhhine.com)



11960 Heritage Oak Place #20, Auburn (530) 885-4249

State licensed and certified drug and alcohol residential treatment facility and sober living environment for men and women. Also has men's and women's transitional living homes. Services include four homes in Auburn with 30 beds for men and women that are homeless, recovering from substance abuse or recently released from jail or prison. Outpatient services also available (anger management, domestic violence, etc.)

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**House of Metamorphosis**

[www.houseofmetamorphosis.org](http://www.houseofmetamorphosis.org)

2970 Market Street, San Diego, CA 92102 (619) 236-9492

Free residential treatment program. Non-profit organization.

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**Jericho Project**

[www.jericho-project.org](http://www.jericho-project.org)

470 Valley Drive, Brisbane, Ca. 94005 (415) 656-1700 FAX (415) 467-9011

State-licensed 12 month residential treatment program for men.

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**Kaiser Permanente – Alcohol and Drug Programs**

[www.kp.org](http://www.kp.org)

2829 Watt Ave. #150, Sacramento, CA (916) 482-1132 FAX (916) 979-3501

8247 E. Bruceville Rd, Sacramento (916) 525-6790

2155 Iron Point Rd, Folsom (916) 817-5646

For Kaiser members only. Residential treatment, outpatient counseling, detox, support groups, information and referrals. Services for adults and adolescents.

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**K.I.S.S. House (Keep it Simple Sister)**

9370 Eckerman Rd. Roseville (916) 532-1757 FAX (916) 791-0699

Contact: Barbara Weaver

Women and children only. 4 houses located in Placer County. Services include parenting classes, 12 step programs. Cost is \$450 per month per adult, \$100 per child. No food is provided.

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**Madison House**

[www.clean-and-sober-living.com](http://www.clean-and-sober-living.com)

8938 Madison Ave, Fair Oaks, CA (916) 961-2691

Long-term clean and sober living environment, detox and residential treatment. 12 step program and many other resources. 13 homes in the Sacramento area.

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**Mercy Multiplied**

[www.mercymultiplied.com/about-our-residential-program](http://www.mercymultiplied.com/about-our-residential-program)

Corporate Office: P.O. Box 111060, Nashville, TN 37222

(615) 831-6987 Admissions FAX (615) 831-9953

One location in Lincoln, CA; other locations in Tennessee, Louisiana and Missouri. A free Christian-based, 6 month residential treatment program for young women to age 28. Voluntary basis only, residents can have no pending legal matters and must be in good health.

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**Mexican-American Alcoholism Program (MAAP)**

[www.maap.org](http://www.maap.org)

4241 Florin Rd #65, Sacramento, CA (916) 394-2323

3612 Madison Ave #29, North Highlands, CA (916) 338-6835

2515 48<sup>th</sup> Ave. Sacramento (Mi Casa Recovery Home)

DUI programs, Hispanic AIDS/HIV education, prevention project, out-patient youth program, bilingual staff. \*Mi Casa is a social model 30, 60 or 90 day residential substance abuse treatment facility for both men and women. 12 week aftercare offered and encouraged.

**National Council on Alcohol and Drug Dependence (NCADD) (Options for Recovery)**

[www.ncaddsac.org](http://www.ncaddsac.org)

2143 Hurley #101, Sacramento (916) 922-5121

Outpatient treatment for adults and adolescents, residential treatment for pregnant or parenting mothers, support groups, drug diversion programs, information and referrals, Sliding fee scale.

**Nevada County Behavioral Health**

[www.mynevadacounty.com](http://www.mynevadacounty.com)

500 Crown Point Circle #120, Grass Valley

(530) 265-1437 FAX (530) 271-0257

Outpatient substance abuse counseling, Drug Court, perinatal services, dual-diagnoses group, screening and assessment.

**New Dawn**

<http://www.newdawntreatmentcenters.com/>

Sacramento (866) 969-4300

Treatment for substance abuse and eating disorders for teens and adults. Outpatient, residential and detox.

**New Directions Counseling Association**

[www.newdirectionsca.com](http://www.newdirectionsca.com)

7996 Old Winding Way #300, Fair Oaks, CA

(916) 966-4523 FAX (916) 966-4599

3294 Royal Dr., Suite 204-C, Cameron Park

(916) 966-4523

Outpatient treatment includes drug court, perinatal and co-occurring. Programs for adolescents, teens, young adults and adults and families with substance abuse issues.

**New Leaf Counseling**

Main office: 1254 High Street, Auburn

(530) 889-9195 FAX (530) 889-9197

Residential treatment: 11835 Lorenson Rd. Auburn

(530) 823-9827

Women with or without children. 1 year maximum program, limit of 2 children (flexible). Services include transitional housing, residential and out-patient substance abuse treatment programs. 2 residential houses in the Auburn area. Medi-Cal accepted

**Oak House**

6060 Sunrise Vista Rd. Citrus Heights, CA

(916) 721-9699 toll-free (866) 301-9699

Outpatient and aftercare services. Licensed and certified residential drug and alcohol treatment program for men. Detox and intensive outpatient for men, women and adolescents. Transitional living and intervention specialists.

**Pacific Educational Services -PES-eps, Inc.**

[www.pesprograms.com](http://www.pesprograms.com)

Corporate Office: 11837 Kemper Road Ste. 2, Auburn

(800) 346-5891 (530) 888-1010

Satellite Office: 901 H St., Suite #103, Sacramento

(916) 447-1010

Outpatient counseling services available in Roseville and Auburn. Moral Recognition Therapy (MRT) Program, relapse prevention, substance abuse treatment, DUI programs. Services are provided in individual and group counseling.

**Pathways**

[www.yspathways.net](http://www.yspathways.net)

430 Teagarden Ave. Yuba City, CA

2 9<sup>th</sup> Street, Marysville

Main Office: (530) 674-4530

Treatment: (530) 742-6670

DUI: (530) 674-4530

Prevention: (530) 674-4530

FAX: (530) 674-4544



DUI program, youth program, support groups, information and referrals, residential treatment for men and women, day treatment, evening and outpatient programs.

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**Placer County Substance Use Services**

11522 B Ave, Auburn, CA (in the Welcome Center) (530) 889-7240

Adult outpatient treatment for the indigent and uninsured, information and referrals. Provides services to all eligible Placer County residents including those in Drug Court or Prop 36.

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**Placer Mothers in Recovery**

Email: [grassvalley@corr.us](mailto:grassvalley@corr.us) [www.corr.us](http://www.corr.us)

(First 5 Placer Children and Families Commission)

12183 Locksley Ln, Auburn, CA (530) 889-8701 FAX (530) 889-8794

Services include family recovery plans, individual sessions, group counseling sessions, child care, parenting and life skills, anger management, money management, literacy classes. Assist in addressing issues in depression and anxiety, parenting, abuse, drug/alcohol relapse, etc. Fees are based on a sliding scale.

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**Powerhouse Transition Center**

[www.phmfolsom.org/programs/powerhouse-transformation-center/](http://www.phmfolsom.org/programs/powerhouse-transformation-center/)

311 Market St, Folsom, CA (916) 983-0658

Program is up to 2 years, free of charge, women only, children allowed. Residential treatment program includes substance abuse treatment, parenting classes, life skills, financial skills and education.

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**Progress House**

[www.progresshouseinc.org](http://www.progresshouseinc.org)

Corporate Office: 2844 Coloma Street (PO Box 1666), Placerville, CA 95667 (530) 626-9240

Twelve residential treatment facilities located throughout the region. Facilities for men and women with or without children. Outpatient treatment and transitional living houses in El Dorado County. Medi-Cal accepted.

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**Recovery Happens**

Email: [info@recoveryhappens.com](mailto:info@recoveryhappens.com)

[www.recoveryhappens.com](http://www.recoveryhappens.com)

7996 Old Winding Way #210, Fair Oaks, CA (916) 276-0626 FAX (916) 241-9836

204 F Street #E, Davis, CA

3017 Douglas Blvd, 3<sup>rd</sup> Floor, Roseville CA

Locations in Fair Oaks, Davis and Roseville. Weekly individual, group or family counseling. Outpatient treatment with mental health component for adults and adolescents.

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**Recovery Now**

[www.recoverynow.net](http://www.recoverynow.net)

433A 5<sup>th</sup> Street, Roseville (916) 868-2207

Clean and sober living for men/women who are committed to working a program. Several houses in Roseville.

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**Redwood Gospel Mission**

[www.srmission.org](http://www.srmission.org)

101 6<sup>th</sup> Street, Santa Rosa, CA 95401 (707) 542-4817

10-18 month faith-based residential treatment program. Program includes a 12-step program, relapse prevention, anger management, living skills, counseling and bible study. Men and women.

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**Sacramento Recovery House**

Email: [sacrec@pacbell.net](mailto:sacrec@pacbell.net)

[www.sacramentorecoveryhouse.org](http://www.sacramentorecoveryhouse.org)

1914 22<sup>nd</sup> Street, Sacramento (916) 455-6258 FAX (916) 455-5667

Residential treatment program and transitional housing for men. Sliding fee scale for Sacramento County residents.

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**Sacramento County Alcohol and Drug Services**

3321 Power Inn Rd. Ste. 120, Sacramento, CA (916) 874-9754

Resource agency for substance abuse services in Sacramento County.

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**The Salvation Army**

**Adult Rehabilitation Center**

1615 D Street, Sacramento, CA (916) 441-5267 FAX (916) 441-1758

Free faith-based 6-month residential drug treatment program, 85 beds. Other locations throughout the area.

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**Screening Clinic (Placer County HHS ASOC)**

(530) 889-7240

Free screening clinic for all Placer County residents to screen for substance abuse issues and make recommendations regarding resources, services and treatment options. First come, first served basis.

Monday: 10 – 11 am at 101 Cirby Hills Dr. Roseville

Tuesday: 1 – 2 pm at 11522 B Ave Auburn (Welcome Center)

Wednesday: 1 -2 pm at 10810 Justice Center Drive, Roseville (PREP Center)

Thursday: 4 – 5 pm at 101 Cirby Hills Dr. Roseville

Friday: 10 -11 am at 11522 B Ave Auburn, CA (Welcome Center)

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**Serenity House**

1196 Arcade Blvd. Sacramento (916) 927-7728

Clean and sober living environment for women including substance abuse treatment.

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**Sierra Mental Wellness**

[www.sierramentallowellness.org](http://www.sierramentallowellness.org)

333 Sunrise Ave #701, Roseville (916) 783-5207

560 Wall Street #D, Auburn (530) 885-0441

2690 Lake Forest Road #B, Tahoe City, CA (530) 581-4054

A variety of classes and programs offered including: mental health counseling, individual/family therapy, support groups, 52 week domestic violence, parenting classes, DUI program, outpatient drug treatment. Sliding fee scale.

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**Sierra Native Alliance**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

610 Auburn Ravine Road, Suite G, Auburn (530) 888-8767 FAX (530) 888-8757

A variety of services, including: outpatient treatment, parenting classes, family services, cultural education and youth programs, with a Native American perspective.

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**Strategies for Change**

[www.strategies4change.org](http://www.strategies4change.org)

4441 Auburn Blvd Suite E, Sacramento (916) 473-5764 FAX (916) 473-5766

4343 Williamsborough Dr., Sacramento (916) 395-3552 FAX (916) 395-3683

Substance abuse counseling, domestic violence, anger management, co-occurring, parenting classes, runaway substance-abusing teens, mental health screening, services for HIV positive individuals and their families. Medi-Cal and private insurance accepted, sliding fee scale.

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**Teen Challenge**

[www.teenchallengeusa.com](http://www.teenchallengeusa.com)

Administrative Office: 10017 Folsom Blvd. #100, Sacramento (916) 362-2800 FAX (916) 362-3700

Twin Rivers Center – Crisis Center for Women: 560 Cooper Ave, Yuba City CA (530) 751-9511



Sacramento Crisis Center for Men: 1613 18<sup>th</sup> Street, Sacramento (916) 443-3049  
 Alpha-Henson Women's Center: 300 Stardust Lane, Lincoln CA (916) 645-3807  
 Email: [svtc@teenchallenge.ws](mailto:svtc@teenchallenge.ws) or [ahwc@teenchallenge.ws](mailto:ahwc@teenchallenge.ws)

Free faith-based residential treatment programs for men and women. Long-term, free-of-charge.

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**Union Gospel Mission**

[www.ugmsac.com](http://www.ugmsac.com)

400 Bannon Street, Sacramento (916) 447-3268

Homeless resources including women's clothes closet, food bank. Other services include a drug and alcohol treatment program, vocational training and employment assistance.

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**Vitality Lake Tahoe**

[www.vitalityunlimited.org](http://www.vitalityunlimited.org)

1137 Emerald Bay Rd, South Lake Tahoe, CA (775) 738-8004

Outpatient: (530) 541-5190 Residential: (530) 541-5440

Residential treatment, outpatient, detox, transitional housing, support groups, co-occurring, DUI and PC 1000 programs. Medi-Cal and private insurance accepted. Sliding fee scale.

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**Volunteers of America – Northern California & Northern Nevada**

[www.voan-cnn.org](http://www.voan-cnn.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 228-3153 or (916) 448-1236

A variety of services available including: substance abuse treatment, youth services, transitional housing for former foster youth, senior services, veteran's services and housing assistance.

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**Well Space Health (Formerly The Effort)**

[www.wellspacehealth.org](http://www.wellspacehealth.org)

Roseville, Folsom, Sacramento (916) 737-5555

Substance abuse treatment and counseling, mental health services, and AIDS education and prevention. Co-ed. Medi-Cal and Medicare accepted.

## SUPPORT PROGRAMS

**AA – Alcoholics Anonymous**

[www.aasacramento.org](http://www.aasacramento.org) and [www.acypaa.org](http://www.acypaa.org)

Central Office: 9960 Business Park Dr. #110, Sacramento, CA (916) 454-1771

24 hour hotline – (916) 454-1100

Roseville – (916) 624-6807

Auburn – (530) 888-3607

Tahoe – (530) 546-1126 or (530) 541-1243

Grass Valley / Nevada City – (530) 272-6287

Support groups for anyone concerned about their alcohol use, 12-step program.

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**Al-Anon / Alateen**

[www.al-anon.org](http://www.al-anon.org)

Sacramento: (916) 454-1100

Roseville: (916) 624-6807

Tahoe area: (530) 546-1126 or (530) 541-1243 Info Center: (916) 334-2970

Support groups for people concerned about another's drug or alcohol use. 24/7 phone coverage.

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**Celebrate Recovery at Bayside Church**

[www.baysideonline.com](http://www.baysideonline.com)

8191 Sierra College Blvd, Roseville, CA Building B, Room B-121

Faith-based, open to all. Every Friday night year 'round. Dinner 6:00 – 7:00 p.m. for \$5.00. Large group session 7:00 – 8:00 p.m. Small groups 8:00 – 9:00 p.m. Conversation, coffee and deserts 9:00 – 10:00 p.m. for \$1.00.

Men's and women's groups in a variety of topics.

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**CODA**

[www.codependents.org](http://www.codependents.org)

Toll free (888) 444-2359

Spanish: (888) 444-2379

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Co-dependency, anonymous.

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**NA – Narcotics Anonymous**

[www.na.org](http://www.na.org) or [www.sfana.org](http://www.sfana.org)

(800) 600-4673 or (800) 477-6291 or (916) 732-2299 or (530) 546-1116 Help line (530) 645-1635

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Support groups throughout the area for anyone concerned about their drug use. Information and referrals.

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**Rational Recovery**

[www.rationalrecovery.org](http://www.rationalrecovery.org)

P.O. Box 800, Lotus, CA 95651 (530) 621-4374 or (530) 621-2667

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Planned abstinence from substance abuse, using addictive voice recognition technique. Non 12 Step program, online program.

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**Road 2 Recovery**

[www.facebook.com/pages/Road-to-Recovery/271719042919157](https://www.facebook.com/pages/Road-to-Recovery/271719042919157)

Parkside Church - 3885 Richardson Dr. Auburn (across from Regional Park, by Chana H.S.)

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Christian-based twelve step program. Dinner included, child care available. Every Friday at 6:30 p.m.

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**White Bison / Warrior Down**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

3885 Richardson Drive, Auburn (530) 363-8526

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Native American recovery groups at Sierra Native Alliance. Tuesdays and Thursdays 6:00 – 7:30 p.m.

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**PUBLIC ASSISTANCE**

**Auburn at DeWitt Center**

11542 B Avenue, Auburn CA (530) 889-7610

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

**Rocklin**

1000 Sunset Blvd. #220, Rocklin, CA (916) 784-6000

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

**North Lake Tahoe at Carnelian Bay**

5225 North Lake Blvd. Carnelian Bay, CA 96140 (530) 546-1900

Hours: Mon. – Fri. 8 am – 11 am, 1 pm – 3 pm

Programs include food stamps, Medi-Cal health insurance, Medical Care Services Program (MCSP), CalWORKS/TANF, Housing Choice Voucher Program and General Relief / Assistance. To apply, applicant must bring the following:

- Photo ID
- Social Security / Alien Status / Temporary Residency Card
- Verification of Placer County residency (rent/lease agreement in applicants name, note from landlord or roommate, or utility bill in applicants name)
- Verification of income (pay stub, benefits, tax return or log of cash receipts or other miscellaneous income)



- Verification of Assets
- Applicant may also be asked for proof of free services attained (housing, utilities, food, etc), vehicle registration, life or health insurance policies, medical application documents, or other documents determined necessary by the eligibility worker.

### **Placer County Health and Human Services**

[www.placer.ca.gov/departments/hhs.aspx](http://www.placer.ca.gov/departments/hhs.aspx)

3091 County Center Dr. #290, Auburn (530) 886-1870 FAX (530)745-3135

5225 North Lake Blvd., Carnelian Bay, CA (Tahoe)(530) 546-1900 FAX (530) 546-1912

**Medical clinics:** 11583 C Ave, Auburn (530) 889-7215

8665 Salmon Ave, Kings Beach (530) 546-1970

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### **Social Security Office**

11855 Edgewood Road, Auburn (866) 931-6087 National toll-free (800) 772-1213

Hours: Monday – Friday 9:30 a.m. – 4:30 p.m. Closed on federal holidays.

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## **YOUTH AND FAMILY SERVICES**

### **Above All Adventures**

[www.facebook.com/abovealladventures/?fref=ts](https://www.facebook.com/abovealladventures/?fref=ts) and [www.abovealladventures.org](http://www.abovealladventures.org)

Mike Pugh (530)852-2128 or Rhonda Olsen (707)529-2361 Email: [abovealladventures@gmail.com](mailto:abovealladventures@gmail.com)

Non-profit organization that provides an Experiential Seminar and Outdoor Adventure program for teens based in and around Auburn, California. Provides teens with opportunities to challenge themselves and learn life skills, and to build team and leadership skills.

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### **Auburn Hip Hop Congress**

[www.facebook.com/HHC530/](https://www.facebook.com/HHC530/) and [www.auburnhiphopcongress.strikingly.com](http://www.auburnhiphopcongress.strikingly.com)

808 Lincoln Way, Auburn, CA 95603 (530) 368-4455

Non-profit organization for teens and young adults that offers positive events, concerts, and open mics, arts and music workshops, youth ambassador programs, leadership trainings, community service opportunities.

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### **Boys & Girls Club**

[www.bgcplacercounty.org](http://www.bgcplacercounty.org)

679 Lincoln Way, Auburn CA 95603 (530) 889-2273

Non-profit organization for ages 13-18. Homework assistance, sports, arts, dance, nutrition, games, safety/prevention programs, computers, career programs and more.

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### **California Conservation Corps**

[www.ccc.ca.gov](http://www.ccc.ca.gov)

(800) 952-JOBS (5627)

Non-profit organization for young men and women ages 18-25. Cannot be on probation or parole. Participants work outdoors to protect and restore California' natural environment, and respond to disasters. Classes in career planning, specialized training courses and more.

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### **California Friday Night Live Partnership**

[www.fridaynightlive.org](http://www.fridaynightlive.org)

Placer County Regional Liason – Kara Sutter (530) 889-7179

Encourages youth-adult partnerships and facilitate positive drug-free events for teens. Local chapters throughout the state.

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**California Youth Crisis Line (CA Coalition for Youth)**

[www.youthcrisisline.org](http://www.youthcrisisline.org)

24 hour hotline (800) 843-5200

Crisis counseling, information and referrals, connection to services, confidential. For youth and families. Multiple languages.

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**Child Advocates of Placer County**

[www.casaplacer.org](http://www.casaplacer.org)

3715 Atherton Rd #1, Rocklin CA 95765 (530)887-1006

Non-profit organization that provides foster children with Court Appointed Special Advocates (CASAs), at-risk youth with dedicated A2Y (Adult-to-Youth) mentors, and at-risk parents with family mentors.

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**Crisis Resolution Center**

[www.kfh.org/services/crc.cfm](http://www.kfh.org/services/crc.cfm)

Loomis, CA 24-hour toll-free (866) 251-7584

Free and confidential services for teens and their families in crisis. 6-bed co-ed short-term group home facility for ages 12-17, provides counseling and reunification services, conflict resolution, referrals and more. The minor cannot currently be on formal probation, in foster care, or suicidal.

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**iFoster**

[www.ifoster.org](http://www.ifoster.org)

(855) 936-7837

Hundreds of free or greatly discounted products and services available through iFoster's corporate, government, and non-profit partners to help with school, youth employment, recreational activities, parenting child care, health, household expenses, food, clothing, and other personal needs. To qualify, must be one of the following: transition-age foster, kinship or probation youth (16-24); foster family; kinship family or relative caregiver; legal guardian; adoptive family; or an agency serving of these.

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**K.E.Y.S.**

1000 Sunset Blvd. #140, Rocklin CA 95677

(916) 784-6437 (contact Michelle Graf)

Collaborative program with the Placer County Office of Education, Department of Rehabilitation and PRIDE Industries that provides pre-vocational training and job placement to youth ages 16-19, who are or have been in out-of-home placement, reside in or attend school in Placer County, and have a disability.

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**Kids First**

[www.kidsfirstnow.org](http://www.kidsfirstnow.org)

124 Main Street, Roseville (916) 774-6802

11960 Heritage Oaks Place, #3 Auburn (530) 887-3536

Parenting classes, family counseling, healing therapy for child victims of abuse and neglect. Enrollment of children in low/no-cost health insurance. After school activities for kids. Parent education, training and coaching. Sliding fee scale.

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**KidZKount**

[www.kidzkount.com](http://www.kidzkount.com)

Main Office – 1166 High St, Auburn, CA (530) 885-KIDS (5437) Toll free (800) 655-0432

Application line – (530) 886-4122

Free programs for infants and toddlers, preschool, Prenatal – age 5, Head Start, supportive home visiting program. Sites throughout Placer and Nevada Counties. Non-profit agency funded by the Department of Health and Human Services.

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**K.I.N.D. – Kids in Need Of Diversion Program / Golden Sierra Life Skills**

[www.goldenlifeskills.org](http://www.goldenlifeskills.org)

3240 Professional Dr. #A, Auburn CA 95603

(530) 887-9245

FAX (530) 887-1379



Non-Profit organization that provides an education-based intervention and diversion program for youth 11-17 years old. Topics include: anger management, bullying, gangs, communication, conflict resolution, drugs/alcohol, smoking, cheating, fighting, theft, truancy, stress, and more. Other programs include: Co-Parenting and Men, Infants, and Children (MIC)

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**Latino Leadership Council**

[www.latinoleadershipcouncil.org](http://www.latinoleadershipcouncil.org)

2945 Bell Road, Auburn #274 (530) 333-9230

Non-profit organization. Provides a wide variety of services, including: substance abuse prevention, gang prevention, teen pregnancy prevention, Parent Project, youth activities and health services, to Spanish-speaking populations.

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**Placer Sheriff's Activities League**

Rock Creek Elementary School

3050 Bell Road, Auburn

Mondays: 2:00 – 4:30 p.m. Wednesdays: 3:00 – 5:30 p.m. Fridays: 3:00 – 5:30 p.m.

Non-profit organization for at-risk youth, ages 11-17. Activities include a variety of sports and tutoring. Free of charge.

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**Sierra Native Alliance**

[www.sierranativealliance.org](http://www.sierranativealliance.org)

610 Auburn Ravine Road, Suite G, Auburn (530) 888-8767 FAX (530) 888-8757

A variety of services, including: outpatient treatment, parenting classes, family services, cultural education and youth programs, with a Native American perspective.

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**Stand Up Placer (Formerly Peace for Families)**

[www.standupplacer.org](http://www.standupplacer.org)

11985 Heritage Oaks Place, Suite 200, Auburn, CA 95603 (530) 885-0443

775 Sunrise Ave Suite 160, Roseville, CA 95661 (916) 773-7273

24-Hour Crisis Line for emergency housing and assistance (800) 575-5352

A private, non-profit community-based organization that provides services to victims of domestic violence and sexual assault in Placer County. Services include: emergency housing, 12-24 month supportive housing, crisis intervention, social and legal services, support groups and counseling.

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**Teens Matter**

[www.teens-matter.com](http://www.teens-matter.com)

991 Lincoln Way, Auburn (530) 889-2300

Life skills and challenges program for teens and young adults ages 12-20. Scholarships available.

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**Unity Care**

[www.unitycare.org](http://www.unitycare.org)

11716 Enterprise Drive, Auburn (530) 886-5473

Community-based, non-profit, multi-service youth and family development agency. Educational and social programs for at-risk youth and their families. Offers the TIP program (Transition to Independence Process) for ages 14-24 who are experiencing emotional, behavioral, or other challenges.

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**W.A.T.A.H. – We Are Teens Always Helping**

Email: [watah@placer.ca.gov](mailto:watah@placer.ca.gov)

655 Menlo Drive, Rocklin, CA 95765 (530) 886-2868 FAX: (530) 889-6735

The WATAH group is made up of adolescent boys and girls, ages 12-16, who meet on Tuesdays and Thursdays from 4:00 – 5:30 p.m. Intervention for at-risk or out-of-control teens and their families with group

meetings and family team meetings, addressing issues such as: personal feelings, peer pressure, decision making, and goal setting. There are also fun activities included. Free of charge.

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**Western Sierra Youth Build**

[www.wsyouthbuild.com](http://www.wsyouthbuild.com)

12338 McCourtney Road, Grass Valley CA 95949 (530) 272-2643 ext. 203

A public charter school that provides academic and vocational training for youth, ages 18-25, who are in need of a high school diploma. Students also participate in life skills, career development classes, leadership development and community service activities.

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**Whole Person Learning**

11816 Kemper Road, Auburn CA 95603 (530) 823-6903 or (530) 823-2499

FAX (530) 823-6190

A variety of programs that help foster youth transitioning to adulthood. Offers career counseling, college preparation, housing assistance (HOPE and THP-Plus) and other classes.

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**YES (Youth Empowerment Support)**

[www.youthempowermentsupport.com](http://www.youthempowermentsupport.com)

CA 95603 (530) 886-2867

11716 Enterprise Dr, Auburn

Provides opportunities and trainings for community and system transformation as well as direct support, groups, and leadership opportunities for young people at risk of, in, or emancipating out of system services.

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## MENTAL HEALTH AND COUNSELING SERVICES

**Adult Mental Health Services Intake Line**

1-888-886-5401

A no-cost method to request mental health services.

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**Affordable Counseling and Educational Services**

[www.affordablecounseling.net](http://www.affordablecounseling.net)

3101 Sunset Blvd. #6-C, Rocklin(916) 630-9188 FAX (916) 251-7523

Parenting, co-parenting, anger management, 52 week domestic violence, supervised visits, women's healing groups, individual/couples/family counseling. Services for men and women, English and Spanish and are located throughout Placer and Sacramento Counties. Fees are on a sliding scale.

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**Alternatives to Violence Project**

[www.avpcalifornia.org](http://www.avpcalifornia.org)

P.O. Box 3294, Santa Barbara, CA 93130-3294 (800) 905-6765

A multicultural 501(c)3 organization offering experiential workshops that empower individuals to lead peaceful lives through affirmation, respect for all, community building, cooperation, and trust. AVP builds on a spiritual base of respect and caring for self and others, working both in prisons and with groups in the community. Workshops are open to anyone who wishes to attend. The only requirement is that the participant attends voluntarily. Fees are reasonable, with a sliding scale ranging from \$25 to \$125; your choice. Scholarships are available. No one is turned away for lack of funds.

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**BHC Heritage Oaks**

[www.heritageoakshospital.com](http://www.heritageoakshospital.com)

4250 Auburn Blvd. Sacramento (916) 489-3336 FAX (916) 972-0444

Full-service mental health facility for adults and adolescents. Inpatient as well as intensive out-patient program for co-occurring clients.

**C.A.L.M**

152 Maple St #C, Auburn, CA (530) 888-7958  
[www.keslerbrockhoff.com](http://www.keslerbrockhoff.com)

Email Jerry Watkins: [Olbreazy@gmail.com](mailto:Olbreazy@gmail.com)

Anger management, state-certified and court approved 52 week domestic violence program. Bilingual (English/Spanish) Sliding scale fees.

**Insights Counseling Services (formerly New Mourning)**

[www.insightscounselingservices.org](http://www.insightscounselingservices.org)

263 Nevada Station, Auburn (530) 887-1300  
 8207 Sierra College Blvd. #510, Roseville  
 565 Brunswick, #10, Grass Valley

Counseling and grief recovery for adults, children and families.

**Lighthouse Counseling & Family Resource Center**

[www.lighthousefrc.com](http://www.lighthousefrc.com)

427 A Street #400, Lincoln, CA (916) 645-3300

Non-profit organization. No-cost counseling, support, family resources, mental health services and classes. English and Spanish speaking. Classes include: ESL, literacy, parenting, relationship workshops, WIC. Support groups for: depression/anxiety, Hispanic support group, Women's Empowerment.

**Manalive/MAV Center**

Email – [david@mavcenter.org](mailto:david@mavcenter.org)

[www.mavcenter.org](http://www.mavcenter.org)

Main office: 884 Lincoln Way #31, Auburn (530) 392-0714

Non-profit men's program committed to helping age 16 and older stop violence to themselves, their partners and their community. Court approved 52 week domestic violence (batterers treatment program). Classes in Auburn and Roseville.

**Mental Health America of Northern California**

[www.mhanca.org](http://www.mhanca.org)

1908 O Street, Sacramento (916) 366-4600 FAX (916) 855-5448

MHANCA works with individuals and families with mental health challenges to promote wellness and recovery, prevention and improve access to services and supports. Programs include: family advocacy, LGBTQ Reducing Disparities Project, LGBTQ Youth Collaborative, Peer Partner Program, SAFE (Sacramento Advocacy for Family Empowerment), senior peer counseling, support groups, self-help training, and more.

**Nami – National Alliance for the Mentally Ill**

[www.namipc.org](http://www.namipc.org)

P.O. Box 7706, Auburn, CA 95604 (916) 554-0554

Assisted living program - the Summit House in Auburn (AMIH@amihousing.org). Monthly "care and share" meetings for family members of loved ones with mental health issues who need information and emotional support. "Family to family" program, free 12 weekly sessions to help family members understand and support their mentally ill relative.

**National Domestic Violence Hotline**

(800) 799-7233

**New Pathways Counseling**

5890 Newman Court, Sacramento CA (916) 452-7481

Non-profit organization. Low cost counseling for individuals, couples, families and children. Fees based on ability to pay. Mental health services available. Spanish speaking.

**Northern Valley Catholic Social Services**

[www.nvcss.org](http://www.nvcss.org)

Regional office: 2400 Washington Ave. Redding, CA (530) 241-0552

Provides low-cost or free mental health, housing, vocational and support services to individuals and families in California's Northern Sacramento Valley.

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**Pacific Counseling and Trauma Services**

[www.pacifictraumacenter.com](http://www.pacifictraumacenter.com)

706 Natoma St, Folsom CA 95630 (916) 608-4569

Individual, couples, and family therapy for any type of emotional trauma. Also offers EMDR, Brainspotting, and Somatic Archaeology forms of therapy. There is also a 501(c)3 non-profit sector to offer services to individuals regardless of their ability to pay.

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**Pacific Educational Services**

[www.pesprograms.com](http://www.pesprograms.com)

Corporate Office: 11837 Kemper Road Ste. 2, Auburn (800) 346-5891 (530) 888-1010

Satellite Office: 901 H St., Suite #103, Sacramento (916) 447-1010

Parenting and co-parenting program, certified 52 week Batterers Treatment Program, 52 week Child Abusers Treatment Program, anger management (non 52-week), diversion, DUI and Theft Education. Services are also available in Spanish.

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**Placer Counseling Center**

E-mail: [Placercounseling@sbcglobal.net](mailto:Placercounseling@sbcglobal.net)

<http://placer-counseling.marriage-family.com>

1230 High Street #120, Auburn, CA (530) 887-1637

A non-profit agency, reasonable fees and sliding fee scale, flexible appointments. Educational programs include parenting, sexual abuse education, anger management groups, life skills as well as supervised visitation for families, psychotherapeutic / educational groups and individual and family counseling.

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**Placer County Adult Systems Of Care**

[www.placer.ca.gov/Departments/hhs/adult.aspx](http://www.placer.ca.gov/Departments/hhs/adult.aspx)

11512 B Avenue, Dewitt Center, North Auburn (530) 889-7293

101 Cirby Hills Dr. Roseville, CA

Mental health services, substance abuse treatment, crisis services, adult protective services, in-home support services and more. Another service available is for adult men and women with mental illness who have been homeless for 6 months or more and demonstrate a willingness to engage in mental health services to become self-sufficient. Programs include Placer Housing and Recovery Treatment Success, subsidized housing program (up to 12 months) that serves those at risk of homelessness, employment assistance, housing vouchers, mental health rehabilitation, medications, day treatment, health services and vocational and counseling assistance.

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**Placer Dispute Resolution Service**

[www.pdrs.org](http://www.pdrs.org)

P.O. Box 1771, Loomis, CA 95650

(916) 645-9260

Mediation is a way for people to work out their problems and arrive at mutually agreeable resolutions with the help of trained, impartial mediators who facilitate productive, future focused communication between the parties. It is a voluntary, confidential settlement process.

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**Redefining You Therapy**

[www.redefiningyouththerapy.com](http://www.redefiningyouththerapy.com)

3105 1<sup>st</sup> Street, Sacramento, CA 95817 (916) 956-6232

An independent psychotherapy practice. Mental health services. Treat individuals with a wide range of psychiatric disorders and behavioral conditions including: depression, anxiety, chemical dependence,



personal growth and life coaching. Primary focus is treating individuals who have experienced unresolved trauma such as sexual abuse, victims of crime, and veterans who have experienced combat trauma and military families.

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**Sacramento County Behavioral Health Services**

[www.dhhs.sacounty.net](http://www.dhhs.sacounty.net)

Primary Care Center: 4600 Broadway, Sacramento 95820 (916) 875-1055

7001-A East Parkway, Suite 400, Sacramento (916) 875-7070

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**Sierra Mental Wellness Group (formerly SFS)**

[www.sierramentallowellness.org](http://www.sierramentallowellness.org)

333 Sunrise Ave #701, Roseville (916) 783-5207

560 Wall Street #D, Auburn (530) 885-0441

2690 Lake Forest Rd #B, Tahoe City (530) 581-4054

Professional and affordable individual, couple and family counseling, crisis services, child and adolescent programs, substance abuse treatment and prevention, mental health services, certified 52 week Batterers Treatment Program and anger management. Medi-Cal accepted, sliding fee scale.

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**The Trevor Project**

[www.thetrevorproject.org](http://www.thetrevorproject.org)

24 hour crisis line (866) 488-7386

The Trevor Project is the leading national organization providing crisis intervention and suicide prevention services to lesbian, gay, bisexual, transgender and questioning youth.

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**Turning Point (Coloma Center)**

[www.tpcp.org/coloma-center](http://www.tpcp.org/coloma-center)

120 Ascot Center Suite D, Roseville, CA 95561 (916) 786-3760

Intensive adult mental health services for clients 18 and over. Transitional services for clients 18-25.

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**United Advocates for Children and Families (UACF)**

[www.uacf4hope.org](http://www.uacf4hope.org)

Main Office – 2035 Hurley Way, Sacramento (916) 643-1530

Family and friend coordinators/family advocates for families of loved ones with mental, emotional and behavioral issues; programs and services for parents with children with mental health challenges.

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**VIP (Violence Intervention and Prevention) – ManAlive**

[www.vip-manalive.com](http://www.vip-manalive.com)

P.O. Box 216225, Sacramento, CA 95621 1-877-Don't Yell (366-8935) (916) 484-6738

Classes located at: 3101 Sunset Blvd. #6C, Rocklin

Court-approved 52 week batterers treatment program. Classes in Auburn and Roseville. WomanAlive program also available.

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**WEAVE (Women Escaping a Violent Environment)**

[www.weaveinc.org](http://www.weaveinc.org)

1900 K Street, Sacramento

7600 Hospital Drive, Sacramento

(916) 920-2952 or Toll-free (866) 920-2952

Crisis intervention services for survivors of domestic violence and sexual assault in Sacramento County. Also provides outreach and services for international and domestic victims of human trafficking. Services for teens and adults. Confidential emergency temporary housing.

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**Well Space Health (Formerly The Effort)**

[www.wellspacehealth.org](http://www.wellspacehealth.org)

Roseville, Folsom, Sacramento (916) 737-5555

Substance abuse treatment and counseling, mental health services, and AIDS education and prevention. Co-ed. Medi-Cal and Medicare accepted.

**VETERAN'S SERVICES**

**A Bridge to Life Center at Mission Solano**  
[www.missionsolano.org/how-we-help/bridge-to-life](http://www.missionsolano.org/how-we-help/bridge-to-life)  
 310 Beck Ave., Farifield (707) 425-3663

Faith-based, non-profit organization. Emergency shelter, housing, food and mental health counseling for veterans and families.

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**CalVet**  
[www.calvet.ca.gov](http://www.calvet.ca.gov)  
 2007 19<sup>th</sup> St, Sacramento (916) 874-6811  
 1000 Sunset Blvd. #115, Rocklin, CA (916) 780-3296  
 988 McCourtney Rd, Grass Valley (530) 273-3396

Information on resources and referrals for veterans including: housing, employment, education, healthcare, benefits and services.

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**Dr. Page Brown**  
 Email: [pbrown@oro.net](mailto:pbrown@oro.net)  
 254 Colfax Ave # B, Grass Valley (530) 274-9509

No cost counseling, psychological services, psychological evaluations and advocacy for combat veterans of any era.

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**Forgotten Soldier** Email: [info@ForgottenSoldierProgram.org](mailto:info@ForgottenSoldierProgram.org)  
[www.theforgottensoldierprogram.org](http://www.theforgottensoldierprogram.org)  
 991 Lincoln Way, Auburn, CA (530) 889-2300

Free program offering services such as mentoring, holistic healing, life skills tools, education, various types of therapy and counseling for all who have served in any branch of the U.S. military, regardless of discharge type.

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**Gold Country Chaplaincy** Email: [goldcountryadmin@gmail.com](mailto:goldcountryadmin@gmail.com)  
[www.goldcountrychaplaincy.org](http://www.goldcountrychaplaincy.org)  
 PO Box 654, Loomis, CA 95650 (916) 259-1001

Christian-based, non-profit organization that provides services such as: grief support, crisis counseling, and spiritual support for first responders, military veterans, and their families.

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**National Call Center for Homeless Vets** (877) 424-3838 24 hours  
**Sacramento Veterans Resource Center** Email: [vcvsac@vetsresource.org](mailto:vcvsac@vetsresource.org)  
[www.vetsresource.org](http://www.vetsresource.org)

7270 East Southgate Drive, Sacramento CA 95823 (916) 393-8387 FAX (916) 393-8389

A multi-function campus with a small business outreach center, employment assistance, training and counseling, housing for homeless veterans (including women and their children), and a residential drug/alcohol treatment center.

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**Social Security – Disability for Wounded Warriors**  
[www.socialsecurity.gov/woundedwarriors](http://www.socialsecurity.gov/woundedwarriors)  
 (800) 772-1213 TTY for hearing impaired (800) 325-0778

Military service members can receive expedited processing of Social Security disability claims. The benefits available are different than those from the Department of Veterans Affairs and require a different



application. For service members who became disabled on or after October 1, 2001, and it doesn't matter where the disability occurred.

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***The Soldier's Project***

[www.thesoldiersproject.org](http://www.thesoldiersproject.org)

(916) 792-3728 or toll-free (877) 576-5343

Private, non-profit independent group of licensed mental health professionals. Free, confidential mental health treatment for veterans and loved ones who served in Iraq and/or Afghanistan since 2003, regardless of discharge or branch of service.

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***Veteran's Affairs (VA)***

[www.placer.ca.gov/departments/veterans](http://www.placer.ca.gov/departments/veterans)      [www.usa.gov](http://www.usa.gov)

Information and referrals for VA: 2995 First Street, Auburn (530) 889-7968

Outpatient services: 3123 Professional Drive #25, Auburn (530) 889-0872

Sierra Foothills Outpatient Clinic – 11985 Heritage Oak Place, Auburn (530) 889-0872

1000 Sunset Blvd. #115, Rocklin (916) 780-3290

10535 Hospital Way, Mather AFB, Sacramento (916) 366-5366

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***Vietnam Veterans of America, Sacramento Valley Chapter 500***

[www.sacvva500.org](http://www.sacvva500.org)

7909 Walerga Rd. #112, Antelope (916) 481-6020

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***Volunteers of America – Northern California & Northern Nevada***

[www.voanncnn.org](http://www.voanncnn.org)

1900 Point West Way #270, Sacramento, CA 95815 (916) 228-3153

Housing and temporary financial assistance available for low-income veterans and their families. Other services available include substance abuse treatment, youth and senior services.

## OTHER SERVICES AND PROGRAMS

***Alta California Regional Center***

[www.altaregional.org](http://www.altaregional.org)

Main office: 2241 Harvard Street #100, Sacramento (916) 978-6400

Assists with coordinating services and support for individuals with developmental disabilities, including: mental retardation, cerebral palsy, epilepsy, autism. To qualify for services, the onset of the disability had to occur prior to the age of 18 and be expected to continue indefinitely.

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***California Victim Compensation Program***

[www.victimcompensation.ca.gov](http://www.victimcompensation.ca.gov)      email [info@vcgcb.ca.gov](mailto:info@vcgcb.ca.gov)

(800) 777-9229

A program that can help victims pay bills and expenses that result from certain violent crimes. The VCP can help victims of crimes and their families such as domestic violence, child abuse, assault, drunk driving, robbery, homicide and sexual assault. Related expenses can be medical/dental bills, counseling, income loss, funeral expenses, home or vehicle modifications, relocation, crime scene clean-up, etc.

Placer County Victim/Witness Program is operated through the Placer County District Attorney's Office – (916) 543-8000 10810 Justice Center Drive, Roseville, CA

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***Connections Workforce Development (Golden Sierra)***

[www.goldensierra.com/jobs/](http://www.goldensierra.com/jobs/)

1919 Grass Valley Hwy #100, Auburn (530) 823-4631

115 Ascot Drive #180, Roseville (916) 746-7722

Free services include job search assistance, “How-To” sessions and workshops. Computers and various information available. Must have a current ID card or Driver’s License and a social security card.

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**Department of Rehabilitation (Vocational rehabilitation services)**

[www.dor.ca.gov/](http://www.dor.ca.gov/)

11641 Blocker Dr. #125, Auburn, CA (530) 823-4040  
151 N. Sunrise #601, Roseville, CA (916) 774-4400

Service for individuals who have a mental or physical disability and who have a desire to be gainfully employed. Services include career training and assistance to obtain employment. Free of charge.

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**The Eternity Challenge**

[www.TheEternityChallenge.com](http://www.TheEternityChallenge.com)

4200 Rocklin Rd #1, Rocklin CA 95677 (916) 624-4428

Christian-based, non-profit organization offers programs and services including: housing, re-entry, employment assistance, addiction recovery, life skills, homeless assistance, veterans assistance, children’s services and more.

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**Goodwill Industries**

[www.goodwill.org](http://www.goodwill.org)

(800) Goodwill

Customized job training, employment placement, and other services for individuals who have disabilities, lack education or job experience, or face employment challenges. Also do other community programs.

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**Health Express**

[www.seniorsfirst.org/health-express/](http://www.seniorsfirst.org/health-express/)

c/o Seniors First 11566 D Ave., Auburn (530) 887-7433 or toll-free (800) 655-7433

A transportation service for western Placer County residents that provides rides to and from medically related appointment for those struggling to find affordable transportation. Donation based. No age or ability restrictions, oxygen and wheelchairs OK. Monday-Friday 8:00 a.m. – 5:00 p.m. Two day notice requested.

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**Helping Hearts**

[www.helping-hearts.org/](http://www.helping-hearts.org/)

(916) 368-7200

Non-profit organization. Free assisted and independent living placement, in-home care services, board and care homes, financial and insurance services, power of attorney/trusts, conservatorships, and more for elderly and disabled individuals.

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**Legal Services of Northern California**

<https://lsnc.info/>

190 Reamer Street, Auburn (530) 823-7560  
515 12th Street, Sacramento (916) 551-2150

Provides free legal assistance to individuals and groups who meet income-eligibility requirements. Services range from referrals to representation, depending upon the client’s needs. LSNC can provide legal assistance with housing, health rights, income maintenance, and civil rights. LSNC cannot assist with criminal defense, accident, child support, divorce, bankruptcy, personal injury, traffic, estates, or will preparation. Can provide limited assistance for Pro Per litigants in civil cases including family law, landlord/tenant, small claims, guardianship and debt collections.

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**MHSA TAY Level 1**

Contact: Victoria Salas (916) 786-3750 ext. 2117

Email: [victoriasalas@tpcp.org](mailto:victoriasalas@tpcp.org)

A voluntary program collaboration between Whole Person Learning, Turning Point and Placer County ASOC. Peer support for transitional age youth (ages 18-25) with mental health challenges. Transition



support areas include: education, employment, housing, transportation, health and safety, financial management, connections to community resources, etc.

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**Mothers Against Drunk Driving (MADD)**

[www.madd.org/ca](http://www.madd.org/ca)

4629 Whitney Ave., Sacramento, CA (916) 481-6233

Victim support groups, advocacy program to reduce drunk driving. Victim Impact Panel (required for DUI offenders). For the Victim Impact Panel, call (800) 426-6233 or [www.maddcalifornia.org/vip](http://www.maddcalifornia.org/vip)

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**Placer Adult Literacy Program**

Email: [pals@placerlibrary.org](mailto:pals@placerlibrary.org)

Main Officer - Placer County Library, 350 Nevada Street, Auburn, CA (530) 886-4530

Free service for Placer County residents who want help with their reading and writing skills. Free of charge, available throughout the county.

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**Placer County Department of Child Support Services**

[www.placer.ca.gov/departments/childsupport](http://www.placer.ca.gov/departments/childsupport)

1000 Sunset Blvd. #200, Rocklin, CA  
5225 N. Lake Blvd. Carnelian Bay, CA (Tahoe)  
Toll free (866) 901-3212

Can assist with establishing a court order for child support, modify a current support order, release of a driver's license hold due to non-payment of child support, requesting a Compromise of Arrears (past due support).

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**Placer County Family Court and Legal Help Center**

[www.courtinfo.ca.gov/selfhelp](http://www.courtinfo.ca.gov/selfhelp)

Bill Santucci Justice Center, 10820 Justice Center Drive, Roseville  
Hours: Monday – Friday 9:00 a.m. – 3:00 p.m.

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**Placer School for Adults**

[www.ed2go.com/placer](http://www.ed2go.com/placer) and <http://placeronline.org/>

390 Finley Street, Auburn, CA (530) 885-8585

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**PRIDE Industries Youth Services Program**

Email: [info@prideindustries.com](mailto:info@prideindustries.com)

Placer County (916) 788-2149

Qualifying Placer County residents ages 17–21 years old can receive assistance with enrolling in school/classes, tutoring, build employment skills, individualized support, paid work intern experience. Transportation assistance.

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**Red Cross**

(530) 885-9392

Hours: Mon-Thurs, 9am – 3pm

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**Roseville Adult School**

[www.rjuhsd.com/rosevilleadult](http://www.rjuhsd.com/rosevilleadult)

200 Branstetter Street, Roseville, CA 95678 (916) 782-3952 FAX (916) 782-4361

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**Women's Empowerment**

1590 N. A Street, Sacramento, CA (916) 669-2307

A non-profit organization that works with homeless women to help them build the skills they need to go back to work and maintain stable housing. 8 week free program. Daycare and transportation assistance provided. Women receive health education, nutrition, smoking cessation, and relapse prevention. Access to healthcare including eye exams, dental visits, access to care from a private physician, child development assessments, yoga, fitness, and more.

## Appendix H Public Outreach

### INCORPORATION OF COMMENTS

The City reviewed all of the comments received and incorporated changes within the text and the policies of the draft Housing Element to respond to comments. The City received comments on the First Draft Housing Element (December 2020), Second Draft Housing Element (May/June 2021), and Adoption Draft Housing Element (July 2021). The comment letters received are included in this Appendix, but a summary of key comments (*italics*) and responsive Housing Element changes (standard text) is included below.

#### **First Draft (December 2020)**

**Clarity:** *Various changes are recommended to improve understanding for the layperson, including a glossary and additional maps, cross-references, and explanatory text.* The requested glossary, maps, and cross-references were added. Additional explanatory text has been added in a variety of places.

**Accessory Dwelling Units:** *More specifically describe the affordability of ADUs.* Explanatory text has been added in the Realistic Capacity evaluation for ADUs and the Sacramento Area Council of Government's regional affordability analysis for ADUs has been included as an Appendix.

**Jobs-Housing:** *Many service-sector jobs in Roseville do not pay enough to live in Roseville. Commercial development should be required to pay an affordable housing impact fee.* The Housing Element includes a program, the nexus study for which is already ongoing, to evaluate a new affordable housing impact fee for commercial development.

**Equity-Earning Housing:** *Rental housing does not allow a resident to earn equity. The City should provide more equity-earning housing options.*

**Housing Distribution:** *All Districts in Roseville should be required to maintain their fair share of affordable housing.* Districts are political boundaries which are redrawn after each census, which makes it difficult to use District boundaries for planning purposes. However, the City's 10% affordable housing goal is applied to each new Planning Area in the City, and units are required to be distributed within those planning areas. This ensures that each new community area in Roseville maintains its fair share of the City's affordable housing needs.

**Housing Location:** *Affordable housing should be located between major transit locations along routes to job centers, retail, healthcare, and justice/law enforcement.* Throughout the City, all sites designated for future affordable housing are located along major transportation routes with access to existing or planned transit, are adjacent to an existing or planned commercial center, and are adjacent to or within ¼-mile of a park or open space trail area.

**Prior Housing Element – Data:** *Provide additional data to back up the text analysis.* Additional data has been included in the review of the prior housing element, including a breakdown of affordability in the Specific Plan Areas program accomplishments, the total fees collected and how they were used in the In Lieu Fees program accomplishments, information on funding amounts and awards in the description of the Roseville Community Grant funds, and more information on the City's Process and Fee Structure Review.

**Quantify:** *In the current housing programs, make sure objectives are quantified whenever possible.* The City added additional programs with quantified objectives (Program 20, 26, and 27) and in response to a specific comment added a new evaluation component to the City's Public Education Program (Program 30).

**Specific Plan Process:** *The City's Specific Plan, Public-Private Partnership, and Affordable Housing Plan Programs all appear to be the same, and the Element does not describe the actual affordability and terms, the impact of the precise density/unit allocation, or how well the 10% affordability goal has worked.* The City's Specific Plan process is unusual, and staff realized substantial additional explanation was needed in order to clarify how the process worked. Multiple sections have been expanded significantly to address the questions raised, including the three programs listed, the Governmental Constraints section, and the Realistic Capacity analysis of vacant land. The inventory in the body of



the Housing Element includes footnotes identifying which parcels including affordable housing obligations and the level of affordability.

**Pandemic Housing Issues:** *Specifically address housing issues related to the pandemic.* Program 20 (Address Significant Disparities and Increase Opportunities) has been added which addresses housing issues related to the pandemic.

**Preservation of Housing:** *Add more analysis and identify specific actions the City will take to protect units at risk of conversion.* The program formerly-titled At-Risk Housing has been deleted and replaced with a new program titled Preservation of Housing (Program 11). This program identifies a Preservation Coordinator as a response to the substantial new analysis provided in the Analysis of At-Risk Housing section.

**Fair Housing:** *While the City's analysis of historic and present fair housing issues is thorough, the Housing Element should be augmented to include more programs addressing fair housing. The fair housing analysis should specifically indicate what actions are being taken or proposed in response to the issues identified in the fair housing analysis. The City should also evaluate its existing and proposed inventory in light of the fair housing issues identified.* The City added or modified several programs, including Program 20, Address Significant Disparities and Increase Opportunities; Program 25, Fair Housing and Housing Legal Discrimination Services; Program 26, Support for Housing for Persons with Disabilities; and Program 27, Allow Shared Housing Under Housing Choice Voucher for Persons with Disabilities. The fair housing analysis was also slightly restructured and where relevant each section discusses the specific City programs which address the identified issue. An analysis of the City's inventory is also provided to demonstrate that the inventory affirmatively furthers fair housing.

**Overpayment and Special Needs:** *Additional detail should be added to these sections, as they are not clearly described.* Substantial additional text was added to these sections, including new data tables.

**Governmental Constraints:** *Provide more description and analysis of certain constraints (such as standards for approval) and more completely address supportive housing and emergency shelters.* As indicated previously, much of this was addressed by providing greater explanation of the City's Specific Plan process.

### **Second Draft (May/June 2021)**

**Program Changes – Fair Housing:** *Changes were recommended to add a fair housing focus to multiple programs.* Programs which were modified to include a fair housing lens include Programs 1, 6, 9, 12, 16, 19, 20, 22, 23, and 27. The City also added a new chart to the end of the Fair Housing Assessment which summarizes each fair housing issue identified in the analysis and describes the programs which are responsive to that issue, to more clearly tie the conclusions of the Fair Housing Assessment to program commitments.

**Program Changes – Other Programs:** *Various changes were recommended to improve programs, including adding more details and commitments in the large sites program, changing the requirements for community care homes, adding extremely low income program commitments, adding data on affordable housing production, indicating when the residential capacity monitoring program would be in place, and an estimate of the number of people who would be assisted by the Homeless Prevention and Rapid Rehousing Program.* All of the requested program modifications were made. The program addressing large sites (Program 16 Prioritize Affordable Housing) was modified to specifically commit to ministerial lot line adjustments, voluntary mergers, and parcel maps. The program was also modified to include monitoring of effectiveness. The program addressing persons with disabilities (Program 28 Support for Housing for Persons with Disabilities) was modified to include a commitment to modify the approval requirements for large community care homes to a staff-level approval. Various programs were amended to more specifically direct funding, vouchers, and focus to the production of extremely low income housing, including Program 19 (Federal and State Programs). Program 6 (Specific Plan Areas) was modified with data on how much affordable housing has been produced by the City's 10% affordable housing policy. Program 13 (Residential Capacity Monitoring) was modified to state that the procedure is currently in place. Program 20 (Homeless Prevention and Rapid Rehousing) was modified to include an estimate of the number of people helped annually by the funding.

**Fair Housing Assessment:** *Comments recommended the Fair Housing Assessment be modified to include an assessment of transportation, environmental quality, farmworkers, homelessness, and housing conditions.* The City added two new maps displaying local and regional trends related to access to transportation and the quality of the environment, with accompanying analysis. The section on Homelessness was updated to include data from the 2020 Point in Time County for Placer County and Roseville and an analysis of demographics to determine whether certain racial or ethnic populations were disproportionately impacted by homelessness, and whether they were underrepresented in shelter services. The section on Farmworkers was updated to include data from Placer County and Roseville and analysis was added. A new section on Housing Condition was added to the Disproportionate Housing Needs section that compared the location of poor housing conditions to the location of other housing disadvantage or special needs in the City.

**Table X-1:** *Augment Table X-1 with all activities which help to preserve affordable housing, rather than only those activities that preserve affordable housing agreements.* Table X-1 has been revised as requested.

**Commercial Mixed Use Capacity:** *Additional analysis and justification for the inclusion of commercial mixed use sites was requested, since these sites allow but do not require housing.* The City only has one commercial mixed use site in its vacant land inventory, with 40 units allocated. Instead of providing a detailed analysis and justification, the City elected to remove these 40 units from the inventory capacity total.

**Nonvacant Sites Capacity:** *Additional analysis and justification for the inclusion of nonvacant sites was requested.* The City added substantial additional analysis to the Realistic Capacity evaluation for nonvacant (underutilized) sites, including modifications to the inventory table of underutilized sites to include detailed descriptions of each site's uses and potential for redevelopment.

**Large Households:** *Also called large families, the comment requested an analysis of large families by tenure.* The Large Families analysis was updated with tenure data and an analysis of supply by tenure.

**Farmworkers:** *Additional analysis of regional and local data on farmworkers was requested.* The Farmworkers section was modified to include data on Placer County and Roseville farmworker populations and supporting analysis.

**2020 Census:** *A request was made to add an Appendix with 2020 census data.* The comment acknowledged that complete data was not yet available, so could not currently be relied upon, but the commenter noted that it was important to use updated data. While adding an Appendix to the Housing Element after adoption is not possible, the City recognizes and agrees with the importance of using the 2020 census data. In response to this concern the City has modified all programs which call for monitoring based on demographics to specify that the best available data should be used.

**Childcare:** *The ability to access affordable childcare is relevant to affordable housing, and should be taken into account.* The City agrees with this statement. Access to affordable childcare is vital for families in general and for single-parent households in particular. In the context of the Housing Element, the key factor to consider is whether the City's regulations pose barriers to the development of childcare, and they do not. In-home daycare is a by-right residential use, is permitted in commercial zones, and is permitted as an accessory use to a school or church. This information has been added to the Female-Headed Households section.

**Homeownership:** *People who own their homes outright, and no longer have a mortgage, have substantially reduced housing costs. Is there a way to take this into account when calculating cost burden and income?* This is a good observation, and the census data does take this into account. The census asks three questions in order to generate data on cost burden: Question one is whether the home is owned with a mortgage, owned free and clear, or rented; question two is the amount of the mortgage or rent; and question three is how much the home is worth. Other questions and data are used to calculate a final cost burden, because factors such as utility rates and other costs are considered, but the data on cost burden does take into account homes that are owned free and clear. The Cost Burden section has been modified to reflect this.



### **Adoption Draft (July 2021)**

**Program Changes – Timeframes:** *Changes were recommended to clarify program timeframes and add more explicit timeframes.* Programs which were modified include Programs 11, 22, 25, and 27. The City also added text at the beginning of the Housing Plan section (where the programs begin) to explain program organization, including the timelines, objectives, implementing agency, and funding sources sections.

**Program Changes – Program 1, 19, and 27:** *Changes were recommended to include additional geographic targeting for these programs, as well as an analysis of program beneficiaries to ensure programs are being accessed equitably.* The City modified the programs as requested.

**Program Changes – Program 10:** *Changes were recommended to include language from Program 9 regarding program targeting into this program.* The City modified the program as requested.

**Program Changes – Targeting, Metrics, and Milestones:** *Changes were recommended to include specific metrics and milestones for implementation, and also requested that programs more directly commit to targeting resources.* Changes were made to program timeframes, as described previously. The City also included additional geographic and issue-based targeting to Program 1 and Program 16.

[Skip navigation](#)



[City of Roseville](#) / [News](#) / [What's happening in Roseville](#) / Roseville's future housing blueprint needs your input

## ☰ Roseville's future housing blueprint needs your input

Updated August 18, 2020

### Featured Stories



The City is starting to update the housing blueprint for the City, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

While some of the City's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing.

**Your input and participation is key to the success of this process. [Learn more, provide your comments and sign up for updates here.](#)**

The City will need to plan for approximately 12,066 new housing units for all income groups during the 8-year life of the Housing Element, from 2021–2029. This target is based on a regional allocation by the state, and then to member jurisdictions by the Sacramento Area Council of Governments. The total housing goal represents the addition of 1,508 housing units every year.

While the City already has land use capacity to meet the goal for market-rate housing, the City does not have the capacity to meet the goal for lower income housing. The lower income target is 6,178 units, which makes up more than half of our overall target. Meeting the goal for lower income housing will be especially important and challenging.

In the coming months, the City will be reaching out to residents and stakeholders through social media, workshops, and other outreach events to receive feedback on how best to meet our required housing targets and shape the vision for housing in the City.

After conducting this outreach, City planners will complete a first draft of the Housing Element and release it for public review. Ultimately, the updated Housing Element will be submitted to City Council for adoption and to the California Department of Housing and Community Development for approval.



New tool provides real-time outage information



Apply for Small Business Assistance Loans

[https://www.roseville.ca.us/news/what\\_s\\_happening\\_in\\_roseville/roseville\\_future\\_housing\\_blueprint](https://www.roseville.ca.us/news/what_s_happening_in_roseville/roseville_future_housing_blueprint)

# ROSEVILLE SEEKS PUBLIC INPUT ON LOCAL HOUSING

► Staff - August 19, 2020



## FUTURE HOUSING BLUEPRINT NEEDS YOUR INPUT

Roseville,CA- The City of Roseville is starting to update the housing blueprint for the City, known as the Housing Element. The Housing Element considers Roseville's needs for housing access, inventory, affordability, and quality. It is a critical part of

the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

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Your input and participation is key to the success of this process. Learn more, provide your comments and sign up for updates at [Roseville.ca.us/Housing\\_Element\\_Update](https://Roseville.ca.us/Housing_Element_Update)

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## **CAPACITY LACKING FOR LOW INCOME HOUSING**

While Roseville already has land use capacity to meet the goal for market-rate housing, the City does not have the capacity to meet the goal for lower income housing. The lower income target is 6,178 units, which makes up more than half of our overall target.

**Meeting the goal for lower income housing will be especially important and challenging.**

In the coming months, the City will be reaching out to residents and stakeholders through social media, workshops, and other outreach events to receive feedback on how best to meet our required housing targets and shape the vision for housing in the City.

After conducting this outreach, City planners will complete a first draft of the Housing Element and release it for public review. Ultimately, the updated Housing Element will be submitted to City Council for adoption and to the California Department of Housing and Community Development for approval.

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**From:** City of Roseville <Roseville@public.govdelivery.com>  
**Sent:** Thursday, August 20, 2020 12:02 PM  
**To:**  
**Subject:** Business Matters



## Placer falls off state COVID-19 monitoring list but restrictions remain for now

Placer County yesterday fell off the state's County Data Monitoring List for COVID-19, with the rate of new positive cases in the county now dipping below that state monitoring metric.

If Placer County remains off the list for at least 14 days, K-12 schools could potentially reopen for in-person instruction. However, no other businesses would be allowed to modify their operations until the state modifies the state order.

The Placer County Board of Supervisors and Health Officer Dr. Aimee Sisson have made requests that the state order be revised to allow affected businesses to resume indoor operations once a county has been off the monitoring list for two weeks, consistent with school guidance.

[Learn more.](#)



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Visit [placer.ca.gov/reopen](https://placer.ca.gov/reopen) for tools and resources to help reopen.

[Frequently asked questions](#)

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## How the City is supporting businesses during COVID-19

In the latest issue of the Chamber of Commerce's Insight Newsletter, we share how the City of Roseville has been working to improve the local economic environment.



## **Roseville's future housing blueprint needs your input**

The City is starting to update the housing blueprint for the City, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

[Learn more.](#)

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## **Historic Old Town businesses: Receive assistance with outdoor dining**

To support Historic Old Town restaurants and help safely increase outdoor occupancy, the City of Roseville is assisting in funding expanded patio areas.

[Learn more.](#)





City of Roseville, California Government

August 24 at 9:41 AM · 🌐



Roseville's future housing blueprint needs your input.

The City is starting to update the housing blueprint for Roseville, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

While some of the City's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing.

Your input and participation is key to the success of this process. Learn more, provide your comments and sign up for updates at [www.roseville.ca.us/Housing\\_Element\\_Update](http://www.roseville.ca.us/Housing_Element_Update)



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Digest

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Help Map

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Lost & Found

General

Groups

All Groups

Topics



City of Roseville, California

City Hall • 24 Aug



**Roseville's future housing blueprint needs your input.** The City is starting to update the housing blueprint for Roseville, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community.

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[City of Roseville, California City Hall](#) • 8/24/2020

[Roseville's future housing blueprint needs your input.](#) The City is starting to update the housing blueprint for Roseville, known as the Housing Element. The Housing Element considers the City's needs for housing access, inventory, affordability, and quality. It is a critical part of the City's efforts to preserve, improve, and develop housing accessible to everyone in our community. While some of the City's housing goals are likely to remain the same, such as enabling the construction of high-quality housing, improving the existing housing stock, and providing new affordable housing opportunities, the City wants to make sure the update enhances the quality of life for all residents and provides opportunities for sustainable and affordable housing. Your input and participation is key to the success of this process. Learn more, provide your comments and sign up for updates at

[www.roseville.ca.us/Housing\\_Element\\_Update](http://www.roseville.ca.us/Housing_Element_Update) The City will need to plan for approximately 12,066 new housing units for all income groups during the 8-year life of the Housing Element, from 2021–2029. This target is based on a regional allocation by the state, and then to member jurisdictions by the Sacramento Area Council of Governments. The total housing goal represents the addition of 1,508 housing units every year. While the City already has land use capacity to meet the goal for market-rate housing, the City does not have the capacity to meet the goal for lower income housing. The lower income target is 6,178 units, which makes up more than half of our overall target. Meeting the goal for lower income housing will be especially important and challenging.

[Michael Y.](#) – 8/24/2020

Vineyard

How about providing low income based apartments for low income Seniors depending on what they earn on a fixed income

[Terri Frechou](#) - 8/24/2020

Junction West

Quality retail (not a Walmart !) Quality grocer and Quality restaurant near Fiddyment and Baseline.

[Barbara H.](#) - 8/24/2020

Roseville Heights

How about we slow the roll...think about your current loyal residents...think about...even actually do something constructive about our homeless issue...what does the City consider 'low income' for new additions? Look at traffic in Roseville and come up with cohesive plans to relieve stress for your City's drivers...instead of looking to add more people and traffic...why not address current issues in the City? Barbara Harmon

Response to Barbara H.

[Mark McKibben](#)

Diamond Oaks

You are so right, this city is getting to crowded as it is. I also wish they would not build homes so close together.

[Pat Oberlander](#) - 8/24/2020

Sun City

We need some retail, Costco, gas station and fast food places on baseline and fiddyment. That has been promised for the 9 years we've been here

Response to Pat Oberlander

[Terri Frechou](#) - 8/24/2020

Junction West

Costco considered baseline/ fiddyment but soil could not support their gas station (?) so their looking at Loomis

[Roni Hartley](#) - 8/24/2020

Pleasant Grove

What I find disappointing about the current governance in the City is they don't know when to stop! We have horrible traffic on our current streets. It has been rumored that City of Roseville electrical rates are going to skyrocket because of existing demand. I can't even fathom what the draw will be during the continued development of West Park and the huge apartment multifamily living complex that's going in at Blue Oaks and Woodcreek. STOP planning for expansion and take care of existing problematic areas and resources.

Response to Roni Hartley

[Kelly Peck](#)

Woodcreek Oaks

Agreed!! Our infrastructure needs to be put in place BEFORE we continue to build.

[Dan Rastler](#) - 8/24/2020

Pleasant Grove

I grew up in Roseville; then worked in Si Valley for 35 years where I saw the huge and not well planned build out of Santa Clara Valley. Seems like the same is going on here. The West Side could have been much more smartly planned and executed; like creating small little neighborhoods with combination of small homes and retail, parks for enjoying the out doors with neighbors. This area is attracting retired and senior couples- yet i do not see any future plans for accomadintg this sector - other than nursing homes and managed care facilities. I am not talking about more Sun City or Del webs- just smaller homes with parks and small retail with potential for out door activity. There are plenty of multi dwelling apartments now for low income and small families starting out. Seems like the Blue Oaks/Woodcreek plan was adjusted significantly for more multi dwellings/apartments. Traffic/congestion is very bad now and only going to be much worse.

[Nancy G.](#) - 8/24/2020

Folsom Road

Agree! As a senior, my perfect downsized home would be a well designed 1000 sq ft home, single story, nice walkable neighborhood. Where is THAT being built?

[Penni Swanson](#) -8/24/2020

Foothills Junction

I prefer we stop building houses. We already have too many being built at the moment. The small town atmosphere is getting completely lost. There is too much traffic and too many people.

[Louie Mele](#) - 8/24/2020

Blue Oaks

All about \$\$\$\$. Speaking of which, any word on the Sierra College extension breaking ground of that Ranch land by the Landfill/Casino?

[John Urrutia](#) - 8/24/2020

Blue Oaks  
STOP BUILDING!

[Laurel Manzola](#) - 8/24/2020

Kaseberg-Kingswood

I agree that we could use smaller affordable homes for seniors... Obviously, those who say "stop building" already have what they want, and apparently they aren't looking to share! Shame on them!

Response to Laurel Manzola

[Penni Swanson](#) - 8/24/2020

Foothills Junction

I am a senior citizen. I don't care for all the traffic. People race down Foothills and Pleasant Grove.

[Terri Frechou](#) - 8/24/2020

Junction West

Yes stop building homes when we can't support current residents with traffic! Not enough quality retail near residents.

[renee fisher](#) - 8/24/2020

Blue Oaks

Stop building until you can provide better roads and assist with traffic issues!!

[Kevin Hyland](#) - 8/24/2020

Woodcreek Oaks

So anybody who was raised in Roseville raise your hand other don't say not in my backyard if you invaded someone else's backyard. By the way way I've been here 12 years. People can move where they want

[Veronica Seballos](#) - 8/24/2020

Long Meadow

I agree they should build an apartment complex for our senior citizens and stop building more homes. We should focus on building more roads and easing up the freeway. This will just cause more congestion and take away the nice things Roseville has to offer. I feel it is important we hear our senior citizens. They are the loyal ones and you should be asking them.

[Gary Adams](#) - 8/25/2020

Cresthaven

Last year i was told by a contractor, that he was told that the city was going to issue a 1000 building permits a year for the next 20 [years](#). It's all about the money that drives the city, especially now with the pandemic. Just wait and see.

[Jeff Murray](#) - 8/25/2020

Fiddymment Farm

Infrastructure needs to be addressed. Traffic is horrible. Also, in the current remote work environment the cell reception, and internet options are poor.

[Elizabeth Ohara](#) - 8/25/2020

Reserve

Seniors need 1,000-1,200 sq foot single story homes with small yards in walkable neighborhoods please.

[Mr Chips](#) - 8/25/2020

Highland Reserve

Only from personal experience , I find Comcast high speed to be excellent, and TMobile to be excellent. Both are fast, reliable, and of decent value. My understanding is that the population of Roseville will double in 10 years. Infrastructure needs to keep pace. I only pay \$4000.00 per year in property taxes, which is too low. We need more revenue from all, especially the rich, and corporations, in order to improve our schools and infrastructure.

Response to Mr. Chips

[Gene P.](#) - 8/25/2020

Vineyard

What?! This must be a joke right?

[carol seifert](#) - 8/25/2020

Sun City

Mr chips you must be wealthy or?

[Mark McKibben](#) – 8/27/2020

Diamond Oaks

You are always welcome to pay more property taxes if you want!

[Ellen Tresidder](#) - 8/26/2020

Sierra Vista

So, in reading the documents from the link in the above post, it shows how Roseville has worked very hard to add in housing of all levels to the best of its ability, but in calculations for a required goal by the state, has not been given fair credit for these housing additions. Planning department has to adhere to requirements, but those requirements have to be calculated correctly, not arbitrarily, and this is a big problem going forward. Roseville doesn't get to necessarily make the rules for accepting or denying new housing projects, but must work carefully in deciding what is or is not in the best interest to the community, residents, and the many requirements to the state. None of us would like Roseville to grow unchecked (or grow at all), but grow it must. Reusing vacant/stagnant land, changing the use of the existing acreage, deciding to create new housing on never-used land all has to be considered carefully and in the best interest future needs and requirements of doing so; its not a simple decision.

Response to Ellen Tresidder

[renee fisher](#) – 8/26/20

Blue Oaks

Roseville doesn't NEED to grow. Its a money thing and city counsel trying to make us like Sacramento. This is why your property taxes are up, crime is up and traffic is horrible. We dont need to put a building or low income apt complex on every bit of unused land!! we need to start the change with electing officials who understand the issues

[Ellen Tresidder](#) – 8/26/20

Sierra Vista

[renee fisher](#) , I get it as I would like it if Roseville didn't grow any further either BUT, its not up to our likes or dislikes. Roseville has to provide more housing of different types to get the certain amount of funding provided by the gas tax AND to not be fined an exorbitant amount that would be disastrous to our city economy. Read the paperwork, its all there. We don't get to decide, we "get" to help our planners work out the best way possible to accommodate the necessary. They are asking for input, here's your chance. Do not grow isn't one of the options, unfortunately.

[Adrienne Milbradt](#) – 8/26/20

Diamond Oaks

Would like to see smaller homes with yards for children! Huge homes are being constructed with no yards—pathetic when they are touted as being family homes!

Response to Adrienne Milbradt

[Sharon Perry](#) – 8/26/20

West Park

I agree completely, but there are a lot of parks available.

[Carl Panico](#) – 8/26/20

Blue Oaks

Roads should be expanded before more homes are built. It always seems the roads come last and they take a while to catch up. Meanwhile we're impacted by traffic density. My only other comment is I would support affordable housing for seniors. I don't see a need to scatter adorable housing for all to change the community unfairly.

Response to Carol Panico

[Ellen Tresidder](#) – 8/26/20

Sierra Vista

And I wish the state would also consider the water situation. We need to get some reservoirs/dams built as we don't have enough water as it is, much less for more and more residents.

[Sharon Perry](#) – 8/26/20

It would be nice if they at least had a grocery store close by and maybe a gas station.

Response to Sharon Perry

[Merle Torrato](#) – 8/26/20

I agree 100%

[Vikki Blondin](#) – 8/26/20

Kaseberg-Kingswood

Hey. You all need to provide low income housing as a priority. So many seniors are on 3 year waiting lists and section 8 housing is CLOSED! Shame. Shame on us.

[Kelly Peck](#) – 8/27/2020

Woodcreek Oaks

I have to agree. My mom lives with me because she can not afford to live on her own. She would much rather have her own place.

[Margaret B.](#) – 8/27/20

Cirby Ranch

If Placer and the surrounding counties would follow suit with San Diego, Los Angeles and others and allow Accessory Dwellings to be built without permanent foundations, we could have many more dwellings for people that need them.

[Mark McKibben](#) – 8/27/2020

Diamond Oaks

I would like to see more Luxurious homes in Roseville. Homes that are at least 25' away from the house next door and that are ranch style homes with big backyards, big enough for a large swimming pool and hot tub. They need to have at least a 3 car garage. so I can park my boat and room for all my toys and junk. Maybe like 5k to 7k square feet. Who is with me?

45 comments so far as of 8/28



**City of Roseville CA** @CityofRoseville

Aug 24

Roseville's future housing blueprint needs your input as we consider the needs for housing access, inventory, affordability, and quality.

It is a critical to preserve, improve, & develop housing accessible to everyone in our community.

Learn more at  
[roseville.ca.us/housing\\_element...](https://roseville.ca.us/housing_element...)



▼ 1



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Housing Element Update banner



The City of Roseville is in the process of updating the Housing Element which identifies housing needs and establishes programs and policies to define how the needs will be met over the next 8 years.

Learn more about the project, how the City's development process works, and how affordable housing gets constructed through a **virtual workshop, 6 p.m., Tuesday, October 20.**

[Sign up for the workshop.](#)

For those not able to attend the virtual workshop, a [recording of the meeting will be posted here.](#)

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The following week we'll be holding two virtual community meetings to hear from you - your comments on the project, your housing needs, and your ideas to help us shape the Housing Element.

- **6 p.m., Tuesday, October 27 - [sign up](#)**
- **noon, Thursday, October 29 - [sign up](#)**

We look forward to hearing from you.

Information about the City of Roseville's Housing Element Update can be found at [Roseville.ca.us/Housing\\_Element\\_Update.](http://Roseville.ca.us/Housing_Element_Update)

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311 Vernon Street, Roseville, CA 95678

(916) 774-5200 | [www.roseville.ca.us](http://www.roseville.ca.us)



**From:** [City of Roseville](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Watch the City of Roseville's Housing Element Update Workshop  
**Date:** Wednesday, October 21, 2020 7:50:57 PM

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Housing Element Update banner



The City of Roseville is in the process of updating the Housing Element which identifies housing needs and establishes programs and policies to define how the needs will be met over the next 8 years.

**If you missed the virtual workshop last evening, you can view it [here](#). Learn how new housing development and affordable housing happens in Roseville.**

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# Affordable Housing Virtual Tour

The City of Roseville has a General Plan goal that 10% of all new housing be developed as affordable housing units to serve households at very low (50% of Area Median Income), low (80% of Area Median Income) and middle/median (100% of Area Median Income) income levels. This range of affordability is provided in both rental and ownership units within new housing developments. The breakdown of the affordable units will be, at a minimum 40% for rental to very low and 40% for rental to low-income households. The remaining 20% may be reserved for middle income purchase or distributed among the rental obligations.

Since 1989, the City's affordable housing policies have produced over 3,000 affordable housing units and currently boasts 28 communities that provide 2,083 affordable rental units. Affordable housing communities are attractive and well-built, and may be 100 percent affordable or may include affordable units integrated with market-rate units. The City has provided this virtual walking tour of three types of affordable communities—100 percent affordable, integrated affordable/market-rate, and senior—to help our residents understand what affordable housing in the City of Roseville looks like.



**Lohse Apartments**, at 623 Vernon Street, is made up of 58 affordable 1, 2 & 3 bedroom apartments in Downtown Roseville. Amenities include an outdoor play structure in a central courtyard, a community kitchen/room and computer area. This 100% affordable community opened in late 2018 and provides housing for extremely low to low-income households in the community.

[Google Maps street view](#)  
[Mercy Housing website](#)



**Pearl Creek Apartments** is a mixed income development in the north central area of Roseville at 1298 Antelope Creek Drive. The community was developed in 2014 and has 224 apartments, 23 of which are reserved for low-income households. This community boasts 1, 2 & 3 bedroom units, a 24-hour fitness center, saltwater pool, game room, and outdoor fire pits. This is a prime location for outdoor enthusiasts as well as those who enjoy retail therapy. Located close to both a 25-mile long bike trail as well as the Roseville Galleria and The Fountains shopping centers, residents can enjoy scenic views as well as a variety of local retail and dining.

[Google Maps street view](#)  
[Pearl Creek website](#)



**Silver Ridge** is a 100% affordable senior community for independent adults, 55 and older, built in 2002. The community has 155 one and two bedroom apartments and is located at 1101 Stone Canyon Drive in the Stoneridge neighborhood. In addition to providing affordable housing for those on a fixed income, residents can enjoy the spacious clubhouse complete with social areas, TV room, and library. Outside, enjoy the walking paths, resident garden, lighted sidewalks, sparkling pool and relaxing spa. The three-story complex is also serviced by elevators making it convenient to navigate through the community.

[Google Map street view](#)



## FIRST DRAFT 2021 HOUSING ELEMENT AVAILABLE FOR REVIEW

**Date:** December 18, 2020

**Subject:** Release of a First Draft of the City of Roseville 2021 Housing Element for Review

**Review Period:** December 18, 2020 to January 22, 2021

**Materials Available at:** [www.roseville.ca.us/Housing\\_Element\\_Update](http://www.roseville.ca.us/Housing_Element_Update)

**Contact Information:** City of Roseville Development Services - Planning Division  
Lauren Hocker, Senior Planner  
311 Vernon Street  
Roseville, CA 95678  
Telephone: (916) 774-5272  
E-mail: [HousingElement@roseville.ca.us](mailto:HousingElement@roseville.ca.us)

*Please be advised that due to stay-at-home orders, City staff are not in the office and are working remotely. While comments may be physically mailed, there will be a delay in receipt by staff. It is recommended that comments be e-mailed.*

Since 1969, California has required that all cities and counties adequately plan to meet the housing needs of everyone in the community. This is accomplished through a Housing Element, which is a required element of a local government's General Plan. The purpose of a Housing Element is to identify current and projected housing needs, and set goals, policies, and programs to address those needs. Compliant Housing Elements are updated on eight-year cycles, which are defined by the California Housing and Community Development Department (HCD). The current Housing Element was adopted by the City Council in 2013 and covers the period from 2013 to 2021. The City is in the process of preparing the sixth cycle Housing Element, which covers the period from 2021 to 2029.

Throughout the fall of 2020 the City has been updating the Housing Element and conducting outreach to the community, service providers, and stakeholders. To ensure the community has an opportunity for meaningful input, the City indicated that a first and second draft of the 2021 Housing Element would be circulated for review, with the first draft released this year and the revised second draft released in the spring. This first partial draft includes the updated introduction and summary, review of prior Housing Element programs, proposed 2021 Housing Element policies and programs (shown in redlines), supporting data, updated tables and graphics, and evaluation of constraints (including a new fair housing analysis). This first partial draft does not include the residential land inventory because this section is under review by the California Department of Housing and Community Development (HCD) and is not ready for public release. The appendices to the Housing Element are also not included.

The City is releasing this first draft of the Housing Element for review and comment in order to check in with the community and ensure that the update is progressing in a direction that meets the community's

needs. We welcome your comments on the Housing Element, and would ask that reviewers consider the following questions:

- Was the Housing Element easy to navigate? If not, what would help?
- Excluding the sections not included in this partial draft, was there any information you were expecting to find which was not present?
- Are there any goals or policies you would recommend be included or revised?

As staff continues the process of updating the Housing Element, staff will review and consider comments as they are received. A second, complete draft of the Housing Element will be released for review and comment in the spring. The City would like to thank the community for all of your participation and valuable input thus far and we look forward to receiving further comments to help guide this process.



## SECOND DRAFT 2021 HOUSING ELEMENT AVAILABLE FOR REVIEW

**Date:** May 26, 2021

**Subject:** Release of a Second Draft of the City of Roseville 2021 Housing Element for Review

**Review Period End:** July 1, 2021

**Materials Available at:** [www.roseville.ca.us/HousingElementUpdate](http://www.roseville.ca.us/HousingElementUpdate)

**Contact Information:** City of Roseville Development Services - Planning Division  
Lauren Hocker, Senior Planner  
311 Vernon Street  
Roseville, CA 95678  
Telephone: (916) 774-5272  
E-mail: [HousingElement@roseville.ca.us](mailto:HousingElement@roseville.ca.us)

Throughout the winter and spring of 2021 the City has been updating the Housing Element in response to comments from the public and from the California Department of Housing and Community Development (HCD) on the first draft (released in December 2020). The City has completed the second draft of the 2021 Housing Element, which includes all comments from the public received on the first draft and a section describing the revisions made in response to comments. The City submitted this spring draft to HCD and has received preliminary comments. The City is completing further revisions based on information from HCD and to ensure the adequate sites inventory—a listing of all vacant or underdeveloped sites that can accommodate housing—is current. The City continues to receive development proposals on sites designated for housing, which must be reflected in the inventory.

To ensure the community has an opportunity for meaningful input the City is publishing both the spring draft and the revised second draft of the 2021 Housing Element. This notice is to inform the public that the second draft completed in the spring will be published today (May 26, 2021) and the current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021. The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft.

Reviewers are encouraged to provide comments electronically but comments will also be accepted in hard copy. The City would like to thank the community for all of your participation and valuable input thus far and we look forward to receiving further comments to help guide this process.

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City of Roseville CA 

@CityofRoseville



We have released of the second draft of the 2021 Housing Element for review. The current (revised) second draft of the 2021 Housing Element will be published on June 1. Comments are requested by July 1, 2021.

Visit [roseville.ca.us/HousingElement...](https://roseville.ca.us/HousingElement...) for details.

2:50 PM · May 26, 2021 · Hootsuite Inc.



## City of Roseville, California Government

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The City is pleased to announce the release of the second draft of the 2021 Housing Element for review.

As described in the notice the City is publishing both a spring draft and the revised second draft of the 2021 Housing Element. This notice is to inform the public that the second draft completed in the spring will be published today (May 26, 2021) and the current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021.

The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft. Comments are requested by July 1, 2021. Please refer to the City's project website at [www.roseville.ca.us/housingelementupdate](http://www.roseville.ca.us/housingelementupdate) for details.



✓ City of Roseville, California



City Hall • 5 days ago

**2021 Housing Element available for review.** The City is pleased to announce the release of the second draft of the 2021 Housing Element for review.

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**Housing Element Update**

[roseville.ca.us](http://roseville.ca.us)



Posted to **Subscribers of City of Roseville, California**



Like



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· 1789 Impressions

**759 recipients**

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**From:** City of Roseville <Roseville@public.govdelivery.com>  
**Sent:** Thursday, May 27, 2021 3:49 PM  
**To:**  
**Subject:** Housing Element Update



## **Second Draft of the 2021 Housing Element available for review**

Following months of review and input from the public and the California Department of Housing and Community Development, the second draft of the 2021 Housing Element is currently available for review.

Both a spring draft and the revised second draft of the 2021 Housing Element will be published. The spring draft is now available. The current (revised) second draft of the 2021 Housing Element will be published on June 1, 2021.

The revised second draft will include an explanation of changes to the text and inventory. This will allow reviewers to compare changes to each draft.

[\*\*View the Second Draft of the 2021 Housing Element.\*\*](#)

[\*\*View the official notice of release.\*\*](#)

**Comments are requested by July 1, 2021.**

Please visit [roseville.ca.us/HousingElementUpdate](https://www.roseville.ca.us/HousingElementUpdate) for more details and to submit a comment.

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311 Vernon Street, Roseville, CA 95678

(916) 774-5200 | [www.roseville.ca.us](https://www.roseville.ca.us)

**From:** [City of Roseville](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Housing Element Update  
**Date:** Friday, July 9, 2021 8:42:53 AM

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Housing Element Update banner



## Public Hearing for the 2021 Housing Element

A public hearing is scheduled for **6:30 p.m. on Thursday, July 22** where the Planning Commission will consider the 2021 Housing Element. The meeting will be held

[in the City Council Chambers](#) at 311 Vernon Street in Roseville. [View upcoming meeting agendas.](#)

The Adoption Draft of the Housing Element, which includes revisions in response to public comments received on the second draft of the Housing Element, has been published. To help with review, you'll find the following documents on the project website:

- Clean version of the Housing Element;
- Redlined version;
- Companion document of only the goal, policy, and program revisions; and

- Companion document of only the 2013 Housing Element tables compared to the 2021 Housing Element tables.

The Planning Commission will review the Housing Element, which includes copies of comments received to-date, and hear public comments before making their recommendation to City Council.

The City will then prepare and publish the Final Draft 2021 Housing Element prior to the City Council hearing tentatively scheduled for August 18, 2021.

[View the Adoption Draft of the 2021 Housing Element.](#)

[View the official hearing notice.](#)

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[roseville.ca.us/HousingElementUpdate](https://roseville.ca.us/HousingElementUpdate)

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311 Vernon Street, Roseville, CA 95678

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This email was sent to lhocker@roseville.ca.us using GovDelivery Communications Cloud on behalf of: City of Roseville · 311 Vernon St. Roseville · CA 95678





## PUBLIC HEARING NOTICE

**Notice** is hereby given that on **July 22, 2021 at 6:30 pm**, or as soon thereafter as the matter may be heard, the **Planning Commission** of the City of Roseville will hold a Public Hearing at the **City Council Chambers located at 311 Vernon street, Roseville, CA** for the purpose of considering the below project. Members of the public may attend the meeting in-person, or view the meeting on Comcast Channel 14, Consolidated Communications Channel 73 and AT&T U-verse. Planning Commission meetings are also video streamed live and are available on the City's website and YouTube channel. During the Public Hearing, members of the public may offer public comment in-person or via the telephone at 916-774-5353.

**Request:** The project is an update to the City's General Plan Housing Element. The Housing Element identifies Roseville's housing needs and establishes programs and policies to define how those needs will be met. State law requires Housing Elements be updated on eight-year cycles, and the Element must be reviewed and approved by the California Housing and Community Development Department. The current Housing Element was adopted by City Council in 2013 and expires in 2021, and the updated Housing Element will cover the period from 2021 to 2029. The foundation of the Housing Element is the Regional Housing Needs Allocation, which is the amount of housing the state determines a given region must accommodate. The City's Housing Element is required to demonstrate the City has sufficient capacity to accommodate 12,066 total housing units and 6,178 lower income housing units.

The updated Housing Element includes analysis required by state law, including the following: 1) goals, policies, and programs; 2) existing demographics and housing characteristics; 3) constraints on housing production; 4) a fair housing assessment; 5) a review of the effectiveness of the 2013 Housing Element; and 5) an inventory of sites available to accommodate housing. The City's inventory demonstrates the City does not have sufficient capacity to accommodate the lower income allocation, so the Housing Element includes a Rezone Program to identify means to add lower income housing capacity.

**Project Title/Name and File #:** 2021 Housing Element, File# PL20-0178

**Project Address:** 311 Vernon Street

**Owner/Applicant:** City of Roseville

**Project Planner:** Lauren Hocker, Senior Planner, (916) 774-5272

**Environmental Determination:** An Addendum to the 2035 General Plan Update Environmental Impact Report (SCH#2019080418) has been prepared consistent with California Environmental Quality Act Section 15164. The Planning Commission will consider the Addendum prior to taking action on the project.

Interested persons are invited to contact the Project Planner with questions and/or comments prior to the Public Hearing by phone at (916) 774-5272, e-mail at [lhocker@roseville.ca.us](mailto:lhocker@roseville.ca.us), or in writing to Lauren Hocker, Planning Division, 311 Vernon Street, Roseville, CA 95678, and are also invited to testify at the Public Hearing. If the matter is continued to a later date, comments and public testimony will be accepted until the close of the final Public Hearing. All comments will be considered by the Approving Authority.

Following the Public Hearing, the **Planning Commission** may take such action on the project as it deems appropriate. The **Planning Commission's** action on the project may be appealed by any interested person to the City Council by filing a written appeal with the applicable fee with the City Clerk within 10 days following the **Planning Commission's** final action on the project. If the City Council is the final Approving Authority, or if the project is appealed to the Council, the Council's action is final. If you challenge the action of the **Planning Commission** on this matter in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice, or in written correspondence delivered to the Planning Division at, or prior to the Public Hearing.

Greg Bitter  
Planning Manager

Dated: June 28, 2021

Publish: July 9, 2021

FlashVote helps you make a difference in your community

# Survey Results: Housing Types

Survey Info - This survey was sent on behalf of City of Roseville to the FlashVote community for Roseville, CA.

**These FlashVote results are shared with local officials**

## 1080

**Total Participants**

1000 of 2312 initially invited (43%)  
80 others  
Margin of error: ± 3%

Applied Filter:  
**Locals only**

Participants for filter:  
**908**

**Response Time (ho...**

Started:  
**Sep 23, 2020 11:09am PDT**

Ended:  
**Sep 25, 2020 11:00am PDT**

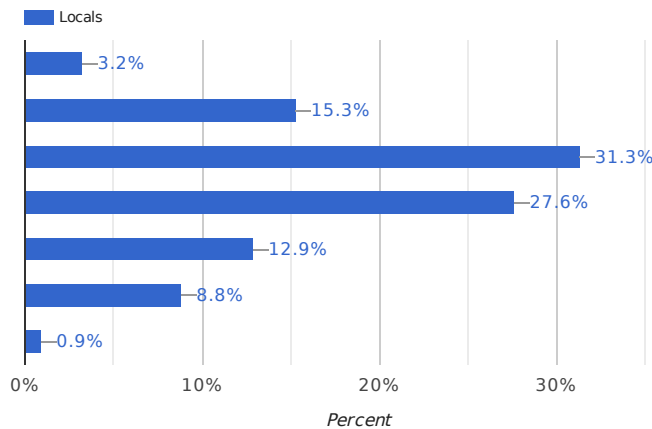
Target Participants:  
**All Roseville**

**Q1** The City of Roseville is required to update its housing plan every 8 years and needs your input to help preserve, improve, and develop housing accessible to everyone in our community.

Thinking about your lifestyle and budget, which of the following is the ideal home size for your household?

(908 responses by locals)

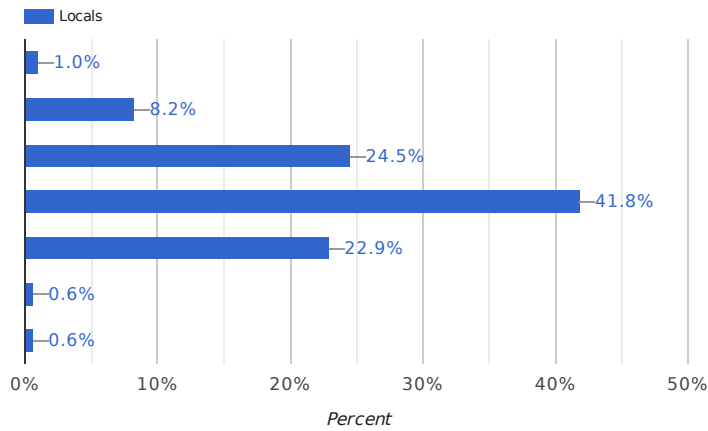
Options	Locals (908)
Less than 1,000 square feet	3.2% (29)
1,000 to 1,499 square feet	15.3% (139)
1,500 to 1,999 square feet	31.3% (284)
2,000 to 2,499 square feet	27.6% (251)
2,500 to 3,000 square feet	12.9% (117)
More than 3,000 square feet	8.8% (80)
Not Sure	0.9% (8)



**Q2** For you and your household, which of the following would be your ideal yard space?

(902 responses by locals)

Options	Locals (902)
No yard (outdoor space in a common area)	1.0% (9)
Courtyard (a private courtyard space with little to no need for landscape maintenance)	8.2% (74)
Small backyard (enough for a patio and play area for children and pets)	24.5% (221)
Medium backyard (enough room for a pool)	41.8% (377)
Large backyard (large open grass or forested area)	22.9% (207)
Not Sure	0.6% (5)
Other:	0.6% (5)



# private space

Space out further than 8 ft apart so I don't see my neighbor's backyard

Big enough for RV access.

small backyard area like a private courtyard space with little to no need for landscape but private

Medium to large

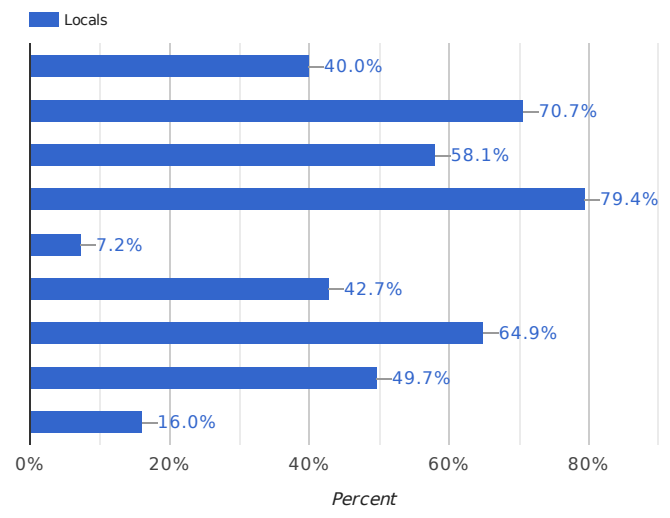
patio and place for a good sized garden

## Q3 Which of the following are your top considerations when considering where to live? (You can choose up to FIVE)

(885 responses by locals)

Options	Locals (885)
Distance to job	40.0% (354)
Size of home	70.7% (626)
Size of yard	58.1% (514)
Cost of housing	79.4% (703)

Options	Locals (885)
Near public transportation	7.2% (64)
Quality of schools	42.7% (378)
Distance to shopping, dining and services (stores, restaurants, entertainment, medical services, etc)	64.9% (574)
Access to outdoor recreation (parks, trails, open space, etc.)	49.7% (440)
Other:	16.0% (142)



hoa home area access less  
 low like family  
 property crime quality golf  
 proximity etc safe rv care traffic value  
 utility neighborhood tax  
 roos city  
 55 distance mello safety active  
 Proximity to neighbors  
 Far away from subsidized housing  
 community close rate walk senior  
 neighbor near diverse medical houses natural  
 Diversity of the community

- Distance to church
- distance to church
- Crime Rate
- Quality of neighborhood
- We need shopping in w Roseville
- Safety
- Comfort and accessibility
- quality of neighborhood/neighbors.
- Market Value Potential
- Garage size
- Freeway access/distance

traditional or neo-traditional neighborhood - walkable with trees, diverse custom architecture

Senior activities

Safety

Non HOA

Taxes added to property tax bill such as SD, LLD, Mello Roos

Safe neighborhood

mature landscaping

Neighborhood appearance where property owners 'keep up' the appearance of their property

Strict code enforcement. Like get the campers and crap off the residential streets!

distance to airport

Safe neighborhood

No HOA

Distance to family

Gated and/or retirement facility.

Active senior community

Quality of City

Walkability! So nice to not be car-dependent.

crime rate/safety

Able to walk places rather than always use vehicle as is current need

Quiet street/neighborhood.

Active community, people are involved

Good internet availability

Amenities in the development, i.e. pool, tennis courts, rv parking, gym

Neighborhood

Crime

City services

Quality police and fire departments

Excellent Internet access

Close to family

No Mello Roos

Safety, noise (flyover), location (old or new part of area)

Safe and friendly for Intellectually disabled adult

Low Crime

Layout and usability of home

Safety

A stable neighborhood, with minimal "affordable housing".

No crime. No low income apartments nearby. No halfway houses mixed in.

Three car garage on a one-Stoney

Natural disaster history

Whether or not there are HOA dues or fees.

Safety of neighborhood

55+ community

Not bordering on a major roadway.

Having 12 wide RV driveway and RV pad behind the fence.

Close to adult relatives

Low crime rates

Low crime

What the neighborhood is like.

Home flow and layout, floor plan

Traffic in surrounding area, how congested are the roads

Rural development.

Noise

crime rate

View

Safety, Quality/Reliability of Utilities

55 and older active community with golf course and pools.

Property taxes!

Socio economic group, condition of neighborhood

Privacy in a high quality area that wont be sold out to surrounding low income housing like Rosevil

close to family - friends

Some place where there are not a lot of people.

quality of the neighborhood

Excellent medical services

Proximity to medical

Style and quality of the neighborhood

Traffic

Safe and secure neighborhood

closeness to family

Low crime rate, reliable utilities (electricity, natural gas, water)

Closeness to extended family (daughter's family).

Crime Rate - Weather - Distance to Health Care - Distance to Whole Foods/comparable grocery stores

Crime rate, access to cultural events,

Walkability

Near a volunteer fire department so I can volunteer

"Walking" communities where I can walk to shops, eateries, etc but not in a high density setting

Crime factor

Proximity to family.

little amount of traffic

Culture

Valuation of properties in the neighborhood.

less traffic

less dense population

#1, the neighborhood. Location is everything. Less/no rentals, trees, community.

as a senior layout would be important, one story

Retired

near the coast

Available entertainment

Is the leadership of local government effective? What are the visions, goals for the community

Quality of law enforcement. Quality of city government.

Safety

Safety/ crime rate/homeless population

distance from heavy traffic.

It's important to me that we live in a nice area of homes.

Quality of the home construction. Quality of the neighborhood. Quality of the area planning.

Proximity to family that can help take care of children (regular babysitting/in case of emergency)

No Mello Roos

I live in Sun City and prefer that type at this time.

over 55

Safety

characteristics of the community

safety, low crime

Distance to church

Near my elderly Mother to help her

Being near family, which I currently am not

55-plus development

Quality of the neighborhood

Close to children/grandchildren

Senior community with activities

Community political ideology, is it a relatively conservative or progressive community

Safety of neighborhood

I am retired so most do not apply.

No Mello Roos tax

Safety

If they accept housing vouchers and condition of home (roaches etc)

Low crime

Public transportation

safety, low crime rate

Stability of home values in area

Distance to family

Police patrols

A diverse neighborhood (age, gender, ethnic, faith tradition, etc).

Surrounding neighbor homes not close to my home and cannot see down or into my backyard or home.

No stairs

Security, low crime rate.

Bus

Proximity to medical care. Proximity to family.

fiber internet, racially diverse neighborhood, solar panels, no HOA, low Mello Roos

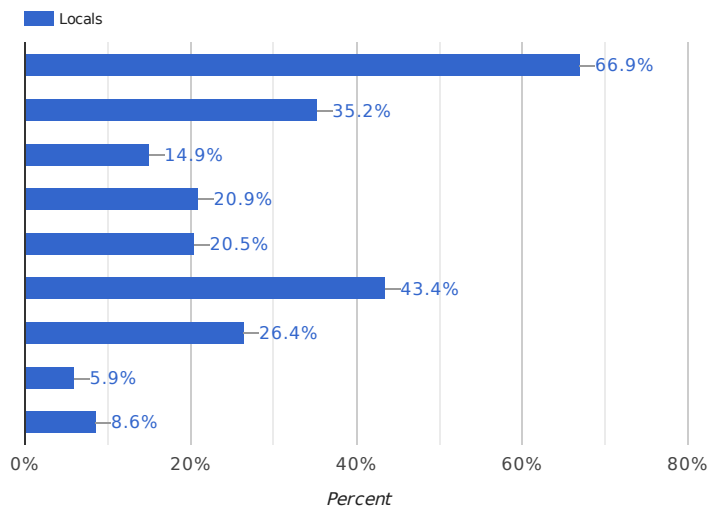
SAFETY of neighborhood

Landlord willing to take Section 8 certificate

#### Q4 Which of the following are TRUE for you, if any? (Choose all that apply)

(874 responses by locals)

Options	Locals (874)
I'm living in something pretty close to my ideal home now	66.9% (585)
I'd like to move to something more ideal, but it would cost too much	35.2% (308)
I have a good understanding of how the City's development process works	14.9% (130)
I know how to find out if a project is being proposed near me	20.9% (183)
I know how to provide input to the City if I have concerns about a development proposal	20.5% (179)
I would like to learn more about how the city plans for growth	43.4% (379)
I would like to learn more about affordable housing and how it gets built	26.4% (231)
I'm not really that interested in housing plans or development	5.9% (52)
I'd like to know more about:	8.6% (75)



Effects of low income tax on crime rate values

tax income roseville city senior proposed

Plans to ensure equal access to housing and lending sources  
access small transportation better

New retail projects.

how the city will protect home values by minimizing "affordable housing" and the resulting issues

Wonder why the city hasn't capped new builds yet. We are getting overpopulated.

How can I help limit building in the city to help control traffic

I'd really like to leave California but our grandchildren are here for now. When they move we move.

Westpark Developments and nearby Developments on Fiddymont and Baseline Roads.

Removing homeless camps.

How Roseville plans to be sustainable and reduce its climate impact

Activities for seniors.

Easy access to learn about my areas of interest

getting enough from sale of house to cover what owed

New 55+ development with golf cart access to grocery shopping

smaller "single level" dwelling 1100-1500sqft, small private yard low maintenance \$200K-\$350K

Plans to add more Transportation routes to surrounding areas in Placer County and to the railway th

Low income senior housing. A 2 year wait is too much.

Projects near me

How A project gets approved near me.

Traffic mitigation

Why the city doesn't listen to its citizens when we complain about all the medium/high density hous

water supply, solar energy

Sustainable housing/building, strawbale in particular, and how these techniques are being supported

Subsidized housing for Intellectually disabled adults

How residential density housing is zoned

development proposals, development progress, plans for growth, affordable housing

More amenities in my area 95747

projects being proposed near me

how to keep halfway homes out of my neighborhood

Why developers are allowed to build housing so close to each other.

small homes (500 - 900 square feet), patio, tiny yard, able to walk to shopping area and a park,

How to set a limit on people per acres of land

How the city has studied other parts of the world for most successful ways to fix homeless issues

City projects and home builder maps

I really think there needs to be less Condos (apt). More townhouse and duplex housing.

Why businesses and transportation seems to lag in newer areas

That new developments should have solar on them to reduce the load on the grid

Rosevilles' plans re: Affirmatively Furthering Fair Housing

Would like to see more 4 bedroom 3 bath single story homes

Adding a room to my house

Moving out of California

Opportunities to develop an ADU on my lot, the costs involved, the process and how to start.

How the city can better support and serve folks who are homeless or at-risk

smaller homes for those looking to downsize.

I would like to find a house with a larger property, up to an acre. my current lot is 5569 SQ feet.

commercial growth, stores and restaurants on the west side of Roseville

Public safety

Why roseville wants to grow so much. Stop growing.

Finding out if a project is being proposed near me and learn about the City's development process

I pay alot to live out here and commute a long way to do so. Stop bringing in poor people

Section 8

Affordable housing placement decisions and the rumor that it can take away our parks (like Weber)

senior homes or cottages

Plans for more public transportation, particularly building more rail service and inter urban lines

does the city even care what neighbors think of development projects? i dont think they do.

how green space is developed in older neighborhoods

Plans for more town homes

Crime stats

I would like to learn how to provide input if I have concerns about development proposals.

tax incentives for older people to move to a smaller house but maintain their former tax rates

new construction plans

I would like to better understand how our tax dollars are spent on a granular level.

Fed and state govt mandates on the coty

Housing options where I feel safer better condition and sense of pride even while on voucher

Low income or senior housing

How affordable housing is financed.

What is going to be done to keep prices down including property taxes so we can afford to live here

Independent living houses for elderly seniors

What the city is doing to fight climate change.

How many sworn police officers are being hired to deal with new residential expansion

Proposed shopping in west Roseville

Any new senior or small independent living communities near me.

How is the City attracting a racially diverse demographic?

## Q5 Any other comments or suggestions about housing needs or planning processes?

(222 responses by locals)

road neighborhood built lot space access  
 low see area develop west school  
 senior need area develop west school  
 yard plan also roseville make public  
 want build house like please  
 family new home high live traffic  
 How do affordable housing get funded? much city community  
 More affordable housing. small price  
 park homeless residents less people move  
 Easy access to land development plans.

Remove the homeless people in Roseville. I work very hard to provide for my family and I starting to feel unsafe because people chose not to work or do drugs. They need consequences.

Don't build "affordable housing." I would rather not have Roseville turn into a tent city like Oakland or Sacramento.

Needs more public input.

Your strategic growth plan is just a Ponzi Scheme. You need the revenue from new housing to pay your current bills. So what happens when the growth stops?

Stop condensing population in the downtown and historic districts. Enough already!

Too much growth and traffic and dwindling water resources!

During the pandemic, the need for outdoor, personal space needs are greater than ever. Newer housing development within the city seems to reduce backyard space to a minimum, forfeiting the benefit of trees, plants and nature. Consideration of the human need to access nature, as close as your own home, should be a factor in future development planning.

Please, please encourage the building of smaller 1k-1.5k sq. ft. housing with a moderately/larger sized yard. NOT low income, but smaller options similar to the older homes by Roseville HS, where folks who don't want a monstrous 'keeping up with the Joneses' house can live.

How about reducing the excessive fees for building?

I'm a realtor. As the home prices and area grow, we will need ADU approvals to follow suit. I would like to make sure that current homeowners have a clear path to adding accessory dwelling units to their properties without a ton of bureaucratic red tape.

Can we get more shopping in W Roseville and less housing . It's too impacted . Whomever planned this did a horrible job. We have limited everything out here and it's been promised we could get something. Right now we have nothing but houses and parks.,lots of room for growth but we are stalled .

i love this area. pricing is getting a bit more expensive. i would love to move into a house close to my daughters current school but the pricing is just above what i feel i could afford as a single mom.

Rent even for a 2 bedroom apt is over 1800.00 which is not affordable for people living on retirement income. You should be able to get a 3/2 house for under 1800 per month but that's impossible in this area

Simple access to information

I have a large double lot that could accommodate a 2nd unit. The very high City costs for new utility hooks ups and permits are preventing me from adding this smaller "granny-flat" unit.

I realize it creates spacing issues, but when looking at houses, it's unreal how many have tiny back yards and basically no side yards. I have 5 kids and a yard was one of the most important issues when we were in the market for a house. There aren't enough houses in Roseville with decent-sized back yards.

I am deeply concerned that the push for affordable housing will result in unacceptable traffic and crime development particularly in areas that were initially planned for single family residences. This negatively affects our home value.

I heard that properties were being purchased in Rocklin and then used as halfway houses. I do not want that in my neighborhood nor would I want it in the neighborhood of people living in Rocklin.

Don't build more low income housing in Roseville. We are already seeing an uptick in crime and homeless people in the area. If you want to keep Roseville as one of the most desirable cities to live in, don't pander to the foodstamp crowd. Stop building all these massive apartment complexes and concentrate on large lot single family homes.

I believe the increased housing is or will not be justified. It will put a strain on our resources and infrastructure.

I'd like to learn more about plans for helping the homeless and about plans for more low income housing

Love having Roseville Electric instead of all P.G. & E.

Cap the new builds. The area is already overpopulated. Traffic is getting worse, there aren't enough schools for existing residents, cost of living has skyrocketed since the bay area moved in, parks don't even have bathrooms or shade, taxes have increased. We are creating the same issue people are fleeing from in other places. Roseville won't stay nice for more than a few years if this keeps up and I plan to move when I can if it does.

Don't put the City logo on the large brown wooden signs featuring new home developments. It looks like the City is endorsing those developers and is likely the source of some confusion for the public.

Focus on infrastructure before making problems with traffic. How many accidents are occurring on overpasses at Blue Oaks and Pleasant grove. I drive these regularly and witness frequent near miss accidents due to traffic backing up

There should be a place for tiny homes.

Affordable housing needs to be more affordable. The prices I've seen are awfully high for the truly low income needs.

Make sure to include plenty of parking for residents and guests at all the new complexes going in downtown and old town

Yes, post a large sign 3 months before any construction starts

I would like to feel confident that those making decisions about growth are not swayed by entities that contribute in some way to their office, campaigns, etc. It sometimes feels as though many projects are approved to the benefit of businesses and developers even when the public at large is against them. It would be nice to believe that the voice of the actual residents of Roseville were being listen to and used to make decisions, instead of just disregarded.

No.

We moved to Roseville in 2011, in a historic neighborhood. While we love Roseville, we see more traffic problems and crime than in the past, and are concerned about the increase of homeless individuals living in parks and riparian areas and blocking sidewalks and similar public spaces. While we still use parks, we have friends who refuse to meet us in Roseville parks due to homeless groups making them nervous for child safety.

Love Suinj City Roseville...

It would be nice if there were moderate sized homes (2,500 - 3,000 sqft) on larger lots. Affordable housing should be dispersed evenly through the community to prevent "pockets" of lower income neighborhoods.

I live within a mile of both a supermarket and a major superdrug store. But I cannot reach them in a golf cart. The City should consider rather modest improvements for Sun City residents on the west side, via Pleasantgrove bounded by Fiddymment and Woodcreek Oaks. More opportunities will appear in the future at Blue Oaks and Fiddymment.

Please plan for making the Holmes sustainable (catch rainwater, use gray water, solar, sustainable materials,etc)

Need to take care of infrastructure before allowing more housing!!!

We need more turf parks. Playgrounds only have either mulch or gravel which is not ideal for active kids.

Keep open space, parks, trees, bike trails as top priority to connect and enhance our neighborhoods.

More businesses in west park would be nice

New Active Adult community with golf cart access to grocery shopping!

Again, it would be nice to see some strict code enforcement. So not cool that the city thinks it's okay for the neighbourhood streets to used as an RV parking lot. They are a severe safety hazard, they block the side walks, you can't see around them when backing out of the driveway... can't you just come fine them? Just mail it to the morons.

Mitigation is NOT the same as cutting down healthy vegetation.

Need more green space around housing developments

Please consider TRAFFIC when planning!!!

look into what is called "patio homes" atrium style... all plants no grass

18-30 y.o. afford to live in Roseville? Limit age to this age group, you can for 55+ why not younger?

When developing in the older areas, please consider using fitting architecture so the new buildings don't stick out like a sore thumb. For example, the Sierra College building on Vernon. That could easily have been plopped along Douglas. Also, the new housing on Main St in Old Roseville. That thing is massive and the "mixed media" look doesn't fit in with the original buildings. Choose architects who care about preserving the historic feel.

We should aim for decent housing for all budgets, not just cater to the people with lots of money.

I work with affordable buyers and would like to learn more about affordable homes projects.

As I am of the senior category and have given up driving I have more concern about public transportation to outlying areas and with in town. It's also imperative that everyone is carbon footprint be reduced. What is the city doing to facilitate more and better public transportation?

Please review how any plans made today will impact the city in the future.

We need more low income housing for seniors

My number 1 priority in housing is a safe neighborhood with an active police force-- not a choice in your survey. Also, for the last question, the last choice was cut off, so i don't know what it was.

Roseville has done a good job of planning for parkways that provide curves to break up long streets, with trees and shrubbery and grass that provides beauty for the city. It has also done a great job of planning and building parks that are accessible throughout nearly every neighborhood of the city. Simply put, this city looks good and people want to be here.

Infill. Mixed use in older neighborhoods and to the west. Have commercial built when people start moving in to new development. No more growth outside current Roseville boundaries. Lots of open space please.

There are too many high density apartments being built along roads that will not be able to handle the traffic.

Adequate street parking. Either bigger driveways or wider lots. If you have a 4 bedroom house and everybody drives where does everybody park?

Fewer seas of houses, please. Build less dependence on cars into new development. Being able to walk, exercise and run errands within easy distance of your house is an excellent amenity.

Where are homes for first time buyers under \$400k? Need more of these homes, with priority for owner-occupied, instead of them all being snapped up by speculators, and wannabe landlords.

half acre lots and more one story options would be preferable.

Better planning is needed, as the new developments are too close together, and look trashy less than a year after the developer leaves. Congested streets, yards of bark not maintained. Look at the Mayhill - Village Green developments in West Roseville.

Keep building affordable units! It makes for an inclusive, vibrant community.

Too many mega apartment projects being built. Campus Oaks as an example. Inadequate planning when it comes to supporting roads and shopping. example: congested 2 lane Baseline/Riego, and (0) shopping or gas stations anywhere west of Fiddymt, meaning many additional car miles on Blue Oaks & Pleasant Grove. VERY POOR PLANNING.

This city council is in jeopardy of being completely overthrown. Your citizens are VERY unhappy with how you have handled the development of the city. You are clearly in bed with special interest builders and the medium/high density housing you are putting in is driving out the long term residents. As a realtor, I have had 4 clients just this year that were long term residents of Roseville and not only were fed up with the state but also the city; they have all moved to another state.

The new homes being built are a little pricey and the mello roos are also very expensive, so it makes it difficult to move. In Lincoln the new builders are buying down the mello roos and taking them from \$400 per month to \$85 per month. It would be nice if the Roseville builders did this too. Also I have noticed that there is a part of Roseville by Baseline that is not on a Roseville school district. I am hoping that changes as I would not buy there just for that reason.

I feel like Roseville has enough housing. I don't want the city to get any larger.

Change the rule that only residents within 300 feet of a proposed change or development are notified. This is why no one in the neighborhoods affected by the 4-story townhomes crammed into 2 lots with no reasonable driveway.

\$2500 for rent for a single person is a lot. This is Sun City 1600sq ft

mandate solar energy and water friendly landscaping on new construction

It's too hard and too expensive to get any development plans through the City of Roseville or Placer County.

More "decent" affordable housing for seniors (other than Section 8 options).

Accessible housing is needed, too.

More attention placed on houseless populations is necessary. More access to public spaces and trails is a must.

I think Mello Roos should not be forced on 55 and older neighborhoods.

Wish there were more 1 acre lots, with room for a trailer.

I work with the disabled who have limited income and have difficulty getting into affordable housing because wait lists are so long. I have one client who got on the interest list early for Main St. Plaza Apartments for a 1 Br. then was sent an application. Found out then that the 1 Br. apartments are only for veterans, homeless or mentally ill so she did not qualify. Very misleading from the start and disappointing in the end.

There are too many houses being built without services being in close proximity, adding to the traffic problems which in turn pollutes our air.

I am a parent of an intellectually disabled adult. She lives in an apartment close by. I would like to know more about subsidized housing for my daughter.

Roseville seems to lack availability of condos

I hope the cost of homes becomes more affordable and the supply of homes increase.

We do not care for housing that means you hear your neighbors and vice versa. All new houses are seriously too close to there neighbors. Developers want to squeeze as many structures together as codes (created by the city of Roseville) they can "get away with". More money to them. . We would never buy a new home in Roseville.

Being retired and living in an over 55 community is fine for me, but I do know there appears to be a shortage of affordable housing in my general area.

Are the housing updates only available on Facebook or Twitter? What about seniors or others who may not have this kind of access?

Lower Mello roos and less apartments

Please do not concentrate all "affordable" housing in a small area!

Affordable, functional, access to public transportation are important features.

We lived in West Roseville for 10 years before moving to the eastern border near Rocklin. When we purchased in 2010 we were sold on the idea that shopping centers, coffee shops and good grocery stores would be built nearby. We were there for 10 years and there STILL isn't anything other than the CVS, a dental office and the new Sutter Urgent Care. It is so frustrating to hear rumors of large shopping centers but then nothing happens for a decade. You see the toll it takes on the stores along Blue Oaks and Pleasant Grove because they are serving way more people than they were intended to. It was really frustrating and a major reason why we will never move back to West Roseville again.

City seems more interested in the developers then the voters.

We need more affordable housing. I would assume that requires housing to be smaller and denser and I'm okay with that. I'm a big believer in in-fill projects as well.

WHAT ABOUT THE HOMELESS?

Need more single story homes for older residents.

No more Row Housing. It's okay to use this type of housing to accent a project center but you need conventional subdivisions surrounding the center that includes parks to make it attractor all.

Let the market (builders) determine what houses and developments look like. The government should stay out of deciding what consumers should get.

There is a huge need in the region for affordable senior housing. Not \$1800+ a month - that's not affordable for anyone living on social security! My mother, my mother-in-law and uncle all live on just social security. Housing makes up more then 60% of their monthly expenses. They have no place to go. Wait lists for affordable places are years and year long. They have no hope of having access while they are alive.

It would be ideal to NOT feed off of the federal government to make affordable housing or homeless housing crammed into neighborhoods that are already built out or in suburban neighborhoods. Money should not speak for our community and how we live.

Let's work on a community plan that has housing for all income levels and ethnicities. Let's diversify Roseville and encourage other races and cultures!

Although there are approved specific plans, I would like the city to be more pro-active in pushing for smart growth, affordable housing and environmental concerns whenever the developer wants approval of a modification.

The developers seem to own the city planners. Big houses on tiny lots do not appeal to us. People need RV/boat/trailer/utility trailer storage on the garage side of the house behind a gate.

I live in 1,675 square foot house, too big for me, would like to know if less square footage homes are available in my area or surrounding areas. Homes under 900 square feet, with small patio and yard.

Way too much growth in Roseville! The vast fields and small town I've grown up with are all but gone... too much asphalt, not enough green space and horrible building designs. City Council is all about the \$\$ and developers and not concerning themselves with how their decisions impact all of its residents.

With our aging population yard maintenance is an issue. Want a single story with alley loaded garage and low exterior/landscape maintenance.

Would like low income housing to be more public and how to vote. Not liking Roseville to be building low income housing. There are enough apartments people can rent. Need to keep crime down. We already have homeless problem and there

people are not going to be renting or buying there low income housing. Most I see have drug or mental problems.

The city does not integrate housing and retail well. Most shopping requires a significant drive. Retail is all grouped away from houses.

stop building high density residential units and only zone low density developments. Set up minimum sq ft parcels to allow for better traffic and minimal impact to resources

City of Roseville does a superior job with housing and planning. Would be nice to have more affordable homes, this area's home prices are skyrocketing!

Would like to see less sprawl of houses and more with some services within community without driving through heavy traffic to get to things like grocery store or essential household items and services. Support housing also for lower income families as well.

Less zero lot line house and more housing choices with larger backyards

Like I said before...the condos are glorified apartments. Not very pleasant. We need more townhomes and duplexes. Townhomes of up/down stairs with small yards. Duplex developments with shared garage walls that provide a more single family feeling with backyards.

More affordable homes are needed. There seems to be more either to high and out of priced homes or to low in a not desirable area.

Senior low cost housing is my big concern as so many boomers are now aging and have not prepared or could not save for housing needs and taxes push them out of homes to apartments

Solar is standard in all new construction

No more Low-income Housing! It will bring Roseville down and continue to raise crime etc

Not a good survey, folks! Maybe give it another try in 6 months.

A broad diversity of quality housing in terms of types and price is critical to creating a diverse, healthy community that is a community of choice for individuals, families and businesses to live and invest.

No matter the cost of the home, maintaining open space, parks and bike trails is extremely important.

Thanks for asking.

I believe solar should be installed on all the new homes being built to help reduce the strain on the grid in the future. I also wish they would build new houses on WAY bigger lots and more one stories. It is so hard to find a big one story in Roseville.

Major roads like Westbrook or Santucci Blvds. should be extended ASAP to Baseline; a trip to the airport from PG/Westbrook is an additional 5 miles because of the travel to/from Fiddymt. (Not for me, I live in east Roseville, but my mother-in-law lives out that way.)

Great job on the surveys!

It seems to me there are way too many apartment projects currently being build in west Roseville. Traffic congestion is going to become worse than it is already.

NA

The city needs to stop allowing low income housing units from being built. What made this city unique was how hard working people were rewarded with a clean crime free area for their hard work. But the city of Roseville has sold homeowners down the river by allowing all these low income housing "projects" to be built thus bringing in all the riff-raff and making our incentive town no different than north highlands or any other ghetto area in Sacramento. I could have purchased my home in a different city and paid less in property taxes had I known Roseville was only laying out plans to turn it into what it is unfortunately become. It's very sad what this city has turned into. Soon my family will be selling and leaving this area.

Roseville is getting so crowded. It takes less time to visit friends/family in Sacramento than to travel within Roseville.

As a single mom with 1 child, most houses are too large for us, and the payment is proportionate with the size, too large for my budget. I have a relatively good job but there are very few housing options for my budget. I would like to see more smaller 2 and 3 bedroom homes. These would be appropriate for many groups of people: small families, seniors, single parents, 1st time home buyers, etc. Thank you :)

I am not happy with the thousands of new homes being built in W Roseville with major impacts on infrastructure. I also hate to see more land covered over with concrete.

Quit building. Too many people are mucking up the beauty of Roseville.

New housing needs to be dispersed throughout the city, not just concentrated in certain parts of town such as affordable housing being concentrated in historic downtown area.

Less traffic please - cars crashing all over!

Would like to see more single story 4 bed 3 bath homes around 2000-2400

Unlimited growth is not good for our citizens

Less high density housing developments providing more offset between housing. There are plenty of housing developments in other states in major cities that offer 1/4, 1/2 and 1 acre lots. It seems like a challenge accepted by developers to pack as many houses into the smallest space available to maximize profit. It's not that I don't like neighbors it's that I don't like neighbors 10' apart.

I think the city should stop building and instead try to slow growth. There are already far more people here than our infrastructure can support. Traffic congestion, classroom overcrowding and long waits for essential services do not improve the lives of your current constituency. Roseville is becoming less and less enjoyable to live in every year as you continue to add to the problems caused by overpopulation.

My responses on the size home and yard I like are not what I think the city needs to plan for. Homes and yards need to be smaller with more parks, trails, amenities.

Don't separate housing by price, but have stringent rules for property upkeep and owner behavior

In the current system, the need for adequate, affordable housing and securing income for city services, schools and infrastructure seem to be in direct conflict. A tax structure based on property values does not promote smaller, basic housing close to business and services.

I am not impressed with the small lot sizes that are now the norm because they want to get as many houses as possible in a community. I used to think that Roseville did a good job of planning ahead for traffic flow and number of lanes on major roads but I don't think that's the case anymore. I believe the city is just interested in growing as much as it can at any cost and the amount of crime now in Roseville is showing just that.

It doesn't seem that access and road development is considered until after the development is built and gridlock occurs.

yes I am in Historic old town roseville, off washington, any plans to make it a bit more appealing from main to Elefa?

I hope I can stay in Roseville/California. The radical politics and taxes ever increasing are forcing me to look to move out of California.

Thanks!

Please don't turn Roseville into a concrete jungle. I love the open spaces and it breaks my heart to see them being filled with more building.

I'd like to see higher densities of low income housing spread out more throughout the city. I'm concerned that the vast majority is being forced into the downtown area without improving the aging roads and utilities enough for that amount of expansion. I think traffic in the area is going to become painful when the current projects complete. Thank you.

Build up near the downtown core! Create a bustling downtown with small businesses and apartments.

Stop making the hard working people pay For affordable housing. Have city or County or Federal. Pay for it. No more increased Development impact fees to pay for SFD development.

The city needs to pay more attention to parking when creating low income housing. The housing being build in Old Town will not have enough parking for those housing there and if they have visitors. We do not have enough transportation options to assume residents will not need cars. Also no grocery close enough to walk to (can't count 7/11). There will be issues once this rental starts.

I do believe that Placer Co. needs to provide more affordable housing, but most people say "not in my back yard". I do see many apts. being built that are now 3 story. Not sure that's an answer to lower housing costs, and they are not very visually appealing.

More racial and ethnic diversity. My area is almost entirely white (including me). That's a bad thing.

We moved to West Roseville 16 months ago. We had no restrictions on where to live. We picked Roseville because of the cost of housing. It turns out that we love it here. We would like shopping closer to us. The closet retail store is 2 miles away. A small parcel on Pleasant Grove is now being built that is about 1.5 miles but like to see other retail stores to open us.

Would love more businesses out here on way West Roseville! Literally ready to patron ANY business I can walk to lol!

I am definitely interested in the planning process.

infrastructure for new construction areas

Homeless is a problem for cities like Roseville. The climate attracts people because it is moderate. Consideration must be given for lower cost homes that low income people can afford.

I live in a 700 sq ft apartment, which is more space than I need for just me and the cat. I would not consider buying a home that was bigger than this. I don't really want to buy a condo, which is just an apartment that I am stuck in if I get bad upstairs neighbors.

We go through droughts and water restrictions almost every summer, but there is no plan to build more reservoirs in our state even though more housing is planned. Why is this allowed and at when do we reach the breaking point???

it maybe already be a code, but ev charging stations at any new apt built etc

---

We need more affordable housing in the area, and not just for the lowest of incomes.

---

more land for homes. more family oriented

---

Sun City is wonderful except for the "cut through, speeding trucks & cars." I realize our streets are public streets but it's annoying. Mainly due to the speeding.

---

Quit bowing to developers - we NEED more open space.... if a developer buys land, write into the City Charter BEFOREHAND that 50% needs to be open space.

---

Roseville is the best place to live but expensive

---

We were lucky to buy a nice home in Roseville when it was still affordable. I'd like to see rents come down for lower-income families and young people getting started.

---

I am not a fan of housing the homeless in our neighborhoods.

---

Please no more multi-family, low income housing.

---

The human race needs to go back to living in caves and hunting and Gathering.

---

Roseville is getting too densely populated. The reason we moved here from Sacramento was because there was a little breathing room.

---

Housing prices are too much!

---

I'm concerned about main roadways around Roseville becoming congested with additional residents.

---

I appreciate elected officials who respond to my many questions

---

Bigger lot sizes would attract higher end buyers to the area. Cookie cutter houses on small lots don't give an area much personality. Maybe offering up lots for custom homes in am certain area could be a fun idea.

---

Planning should include adequate education, shopping and most importantly roads to prevent gridlock. It is not necessary to build on every available space.

---

Commitments on school building need to be kept.

---

Roseville needs to get control of the homeless population. They are a major contributor to crime and drug abuse in our area

---

Stop trying to make our city accessable to homless and poor people. Keep them OUT

---

We need more housing options for Seniors.

---

Roseville is getting too crowded with new homes, people and cars!

---

Please be smart about planning for growth and ensure that the infrastructure (particularly road infrastructure) is in place before development takes place. We are seeing now where that did not happen before all of the additional development in Westpark and now we are being asked for yet another tax to retrofit that infrastructure.

---

The city's dependency on Mello Roos has me concerned that there is no concrete plan for managing future fiscal needs beyond that taxation strategy. Ultimately as my costs escalate it may mean relocating outside the city.

---

Thank you for being open to creative things like Home-Share and please make sure that information about your programs and plans is accessible to low income neighborhoods such as Roseville Heights and along Vernon on the other side of the railroad tracks. Also, please make your surveys accessible in Spanish because some of our neighbors couldn't answer this questions. Please give enough proactive notice of plans to the neighborhoods most affected so they can share feedback

---

I prefer to live in a city with more single family houses than have many apartment complexes.

---

None

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There needs to be more housing choices for seniors of all income levels. All there is now is low income or luxury. We don't all fit into that category or have the income necessary to qualify for whichever category. We need more choices!

---

Ugly buildings being built in historic neighborhoods and the current residents have no say in it. if they building must be built, can it at least fit in with the aesthetics of the surrounding neighborhood? we live here because we love the old look and there is too much modern stuff going in.

---

I see low income housing being built in downtown Roseville. However, will grocery stores be built to allow those with no cars to access food etc. easily?

---

as a county worker, I can't afford to live in this county. how sad is that. you are pricing yourself out of your own workers.

---

I live in downtown area. There are lots of affordable housing either already completed or close to completing. It would be nice to have some of the other neighborhoods include affordable housing and not just here. Weber Park is under consideration. I know the State has mandates. How would the City replace that green space if used for affordable housing?

---

I don't mind more higher density residential development. But the ratio of developed areas to parks/open space is excellent, so Roseville should stick with that.

Keep quality at the highest level

Several times I have learned about building projects after the fact. Other citizens expressed the same chagrin. I feel that residents should be able to have knowledge and input BEFORE the city council makes a final decision.

We rent now, but are interested in buying within the next few years and hopefully we can stay in Roseville. I just don't want neighbors lol!

My desire is to move out of Roseville, personally. I really like my yard in an older neighborhood and I like my neighbors. I am waiting for my adult kids to settle somewhere and then move closer. I would love to see Roseville be on the cutting edge of community planning: Common yard space, pools, within walking distance to amenities so the cars can be left at home, more condos than rentals. Preventing big REITs from grabbing up the better priced housing if possible.

The City should allow for more housing along some of the older commercial roadways, like Harding and Douglas.

When property tax bonds are approved for a prescribed reason the residents should expect with some degree of certainty that the project will be completed without further taxes/bonds needing to be approved. West Park HS being the prime example, our property taxes were misused and spent without the residents knowing. We were then lied to and advised that our school age population wasn't sufficient enough to support a HS. The school district then devised a plan to bus our children to the other side of Roseville (passing 2 schools along the way) to attend Oakmont. Very unreasonable and showed a complete disregard for the residents of West Roseville.

Maintaining integrity of individual neighborhoods is important to us.

less apartments instead small affordable homes with yards to encourage responsibility

More space, bigger yards less neighbors on top of each other. Widen roads before more traffic. More nature spaces

I've lived in North Western Roseville for 19 years. I am really concerned that we have massive, high density housing tracts getting approved and built along Blue Oaks and west of Fiddymont with, what appears to be, little or no real consideration for the capacity of our roads and freeways to handle all the additional traffic. Congestion is becoming increasingly like LA or the Bay Area. There needs to be a reasonable road and infrastructure plan that helps maintain the standard of living that made Roseville such an attractive place to live. I don't believe Blue Oaks and Pleasant Grove were designed to handle to volume of cars we see today; and its only going to get worse. Its getting harder to imagine wanting to live in Roseville for too much longer.

You are building condos and apartments where roads can not be widen to accommodate the increase in traffic.

We need more affordable housing so that people who work in Roseville can afford to live here

We use to have moretoriums on building if the infrastructure could not handle the growth. When we have such a water shortage, why are we building more homes. I refuse to turn my beautiful yard i nto an Aeizona desert scape because Roseville is over built

I feel very stuck yet am grateful to have a roof over my head. I'm on Roseville housing program and am too embarrassed to have my son have a friend over. The apt is old with roaches and constant problems including violence in the complex. They are remodeling the vacant units and charging double the rent and I fear they will search for a reason to get me out to get a higher rent. My son and I both have mental health needs and are doing the best we can to rebuild our lives after dv and homelessness. I feel often times those of us in certain situations are looked over. Your home should be your safe place and that should be something more obtainable. We are seen as one person household and the allowable rent amount for the voucher was almost impossible to find.

Bigger units in low income/senior housing

Permit fees are ridiculously high in Placer County. It's almost \$100k just to break ground.

Take a closer look at how much money people are really making and take into consideration the high prices of living here. This will tell you how unaffordable it is to live here without barely scraping by.

Promote "Know your elderly neighbors" to minimize loneliness & isolation. Provide timely assistance for elders who fall and can't get up.

The area NEEDS more affordable housing. Our children & grandchildren aren't able to afford to live in this area, near family.

We have crime exploding, we have vagrants on our trails next to gated communities... put low cost housing outside west Roseville

There is a great need for affordable housing in this area. I have friends in the city whose rent far exceeds my own mortgage payment and many of those people are single parents. I have other friends who rent a nice 3 or 4 bedroom house but then 4 roommates live there. Most of the development of new apartment or condo rentals are very out of price range for the average income in the area. (they are 50% of take home pay) Personally, I think the city should see what other cities are doing, put everything on the table, and then analyze the options. By everything I mean: Tiny homes, mobile homes, senior living (non assisted) for low income seniors, housing above retail (I've seen a lot more of this in San Jose), in-law quarters or guest cottages on existing properties, community land trusts, cooperatives, modular housing, as well as the standard apartments/homes/condos.

The middle class is getting pushed out of Roseville. Homes are either huge and expensive or for low income people.

Allow more green space within developments, perhaps "parkways" between sidewalk and street for trees.

I'm concerned about affordability and would like to see more open space and more public transportation. Thank you!

Nope

As senior citizens we are most interested in comfortable, affordable, safe senior housing.

We need a post office in west Roseville

With all this high-density housing being built, we are experiencing more traffic on the road ways. Are there any discussions about high-speed public transportation like BART? The homeless setting up camp in public parks is dangerous for many reasons, what if anything, is being done to relocate them?

Announcement when new affordable housing is available

Please build more housing developments with NO HOAs!!!!!!

Traffic impact

I want access to the same information the City and the developers have in a centralized location at point of purchase for a new home. If they're looking at income, age, education, traffic, family size, etc. I believe home buyers should have same information in the sales office and/or on the home builders online sales office. I want to see past stats on how the home builder/ lenders selects a geographic location to build a new neighborhood in Placer County and the City of Roseville. I also I want to see to the makeup of the 1st home owners and how the results turned out for their past developments. If facebook collects data on its users I want to see how the developers collect data on their home buyers and how they create the fabric of a neighborhood.

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English

FlashVote helps you make a difference in your community

# Survey Results: Housing Needs

Survey Info - This survey was sent on behalf of City of Roseville to the FlashVote community for Roseville, CA.

**These FlashVote results are shared with local officials**

962

Total Participants

917 of 2301 initially invited (40%)  
45 others

Margin of error: ± 3%

Applied Filter:  
**Locals only**

Participants for filter:  
**842**

Response Time (ho...

Started:  
**Oct 20, 2020 11:11am PDT**

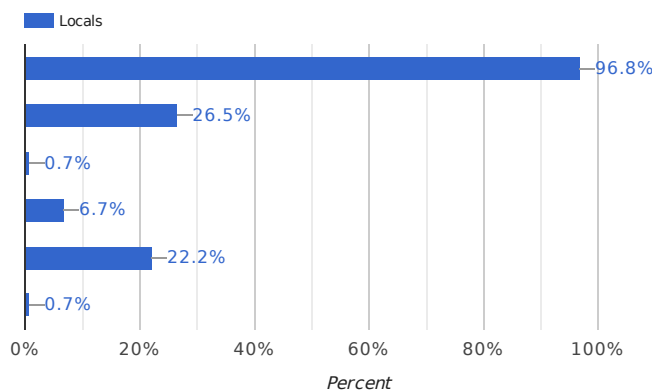
Ended:  
**Oct 22, 2020 11:02am PDT**

Target Participants:  
**All Roseville**

**Q1** Thinking back to the end of January this year, which of the following were TRUE for you, if any? (Choose all that apply)

(819 responses by locals)

Options	Locals (819)
I lived in Roseville	96.8% (793)
I worked in Roseville	26.5% (217)
I did not live in Roseville, but wanted to	0.7% (6)
I did not work in Roseville, but wanted to	6.7% (55)
I did not work for pay (homemaker/unemployed/retired)	22.2% (182)
None of these are true for me	0.7% (6)

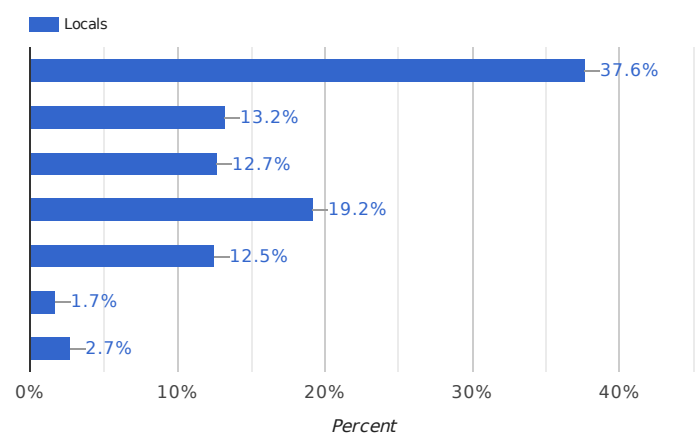


**Q2** Thinking back to the end of January this year, about how far was your work from your home in terms of typical travel time?

(842 responses by locals)

Options	Locals (842)
I wasn't working for pay (homemaker/unemployed/retired)	37.6% (317)
I worked for pay from home	13.2% (111)
Under 10 minutes to work	12.7% (107)

Options	Locals (842)
10 to 30 minutes to work	19.2% (162)
31 to 60 minutes to work	12.5% (105)
More than 60 minutes to work	1.7% (14)
Other:	2.7% (23)



retired  
 home travel office  
 time minutes work  
 located  
 job  
 sales  
 boston  
 roseville

I'm retired

job is located in Boston, MA. Was traveling once or twice a month to Boston.

I work in Roseville and out. My commute ranges from 5 minutes to 120 minutes

Retired

I'm field sales personnel. Some times I work in home office, some times on the road.

I'm retired

I worked from home but also traveled to various locations which were 30 - 90 minutes from my home.

I have 2 jobs. One in the Bay Area, and one in Roseville

Half a home have travel (more than 60 mins)

Am retired

retired

Retired

Retired

retired

sales with a large territory. Office was at home

Depended on meetings throughout Placer County

Retired from USPS

I am retired

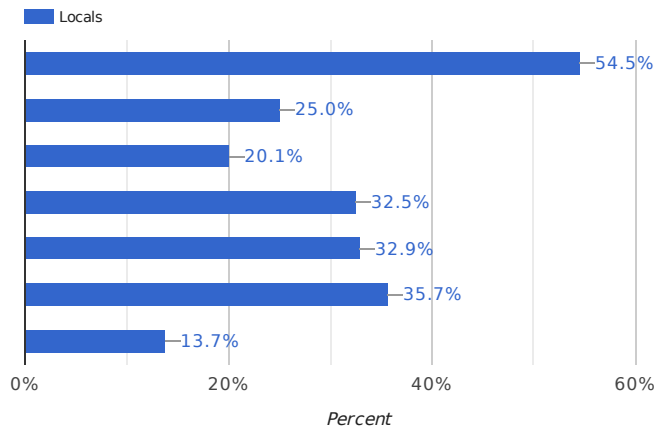
Retired

Option 2 & 3 split time

**Q3** What kind of housing do you think the City needs most, if any? (You can choose up to THREE)

(815 responses by locals)

Options	Locals (815)
Single-family homes	54.5% (444)
Two-family homes (duplex/halfplex)	25.0% (204)
Apartments	20.1% (164)
Townhomes	32.5% (265)
Senior housing	32.9% (268)
Multi-generational homes (where multiple generations of a family live together)	35.7% (291)
Other:	13.7% (112)



commercial senior need build single community planned  
cost priced stop home low tiny ft traffic now  
space know live houses city grow smaller open  
less apart income new mix middle  
Affordable rentals family unit rental afford class  
NO MORE housing!! Water size traffic street need to be 200-300 based on increase population  
neighborhoods multi roseville people large homeless

Slow the grow and give some thought to. The ever growing and embarrassing issue of homelessness!!!

NO MORE APARTMENTS!!!!!! PLEASE STOP!!!!!!

No new homes

None

Low income section 8 housing

I don't know

No more! it is growing too fast, we are going to be just another crowded Bay Area city

Affordable housing

no more

Affordable and near transit lines or better transit lines

I think the city needs to stop sprawling out and stay more compact.

Single family homes under \$400k

tiny homes

NO more! The impact of out of control building is affecting all of us. Traffic is a nightmare.

retail

Affordable apartment housing permanent supportive

High density homes

Affordable rental units

Rural houses with more land

We need a mix of all income levels and sizes

more single story homes

NONE!

We have enough houses, we need retail on the west side of Roseville.

Homes with large garage eg Lennar in Plumas Lake

Low income apartments/townhomes for seniors.

Homes priced for single parents.

None. Roseville is entirely too crowded.

Low income senior

Homeless housing and more Affordable housing for all

low income housing

Mixed use buildings around transportation hubs

innovative housing solutions for homeless individuals

More Affordable

low income housing

Single family homes with larger backyards and no HOA

Affordable housing for our service industry families

Small, zero allotment, single family dwellings — like old school 'Brownstones.'

low income housing

Housing cooperative, limited equity, group equity, zero equity, and market rate co-op's.

None..... we have too many houses not enough roads. Oh that's right...you just want more tax money

Homes with large city lots with RV, boat, trailer access next to the garage and off the street.

Unless it is for low income NONE!!

We need more multi unit homes close to public transportation

smaller sqft homes, so people can buy 2-3 bedroom without being over 1500 sqft

You don't have the infrastructure to start any more housing

Low income

no more housing is needed

Cheap housing for unemployed

None. Too many people here now.

Single family homes (2,500 sq ft or less)

tiny home communities

Some smaller SFR's that give an option to downsize outside of an apt complex or 55+.

No more housing.

Active 55+ Communities

Larger lots with homes farther apart.

tiny homes centered around community courtyards

live / work (homes with a commercial overlay)

More affordable housing if all types

Ability to have tiny homes/mother in law quarters on property

More opportunities for remote work sites open housing possibilities.

Affordable

Affordable

Homes for veterans

Flexible living spaces, homes, that can be easily adapted as needs change.

Low income housing - people that work in Roseville can't afford to live in Roseville.

We have too many now and more being built. Enough is enough.

It seems pretty full.

Zoning for low cost housing in all neighborhoods. Small apartments, small homes, attached homes.

Condos

I don't have enough information to make a selection.

None. Stop building! You are creating too much congestion and the larger we get, the more crime!

NONE! Roseville is over populated as it is. Please STOP BUILDING!!

None

no idea

All types but affordable.

Disabled housing for physically handicapped people

no more. What is planned is enough

Smaller, affordable single family homes in walkable planned neighborhoods

Community Garden Homes like Singapore builds!

SMALL multi unit complexes mixed into the neighborhoods, no multi-story apartment building "cities"

none

Accessible units (ADA)

Build high end luxury housing.

none

affordable homes for seniors, working poor and veterans

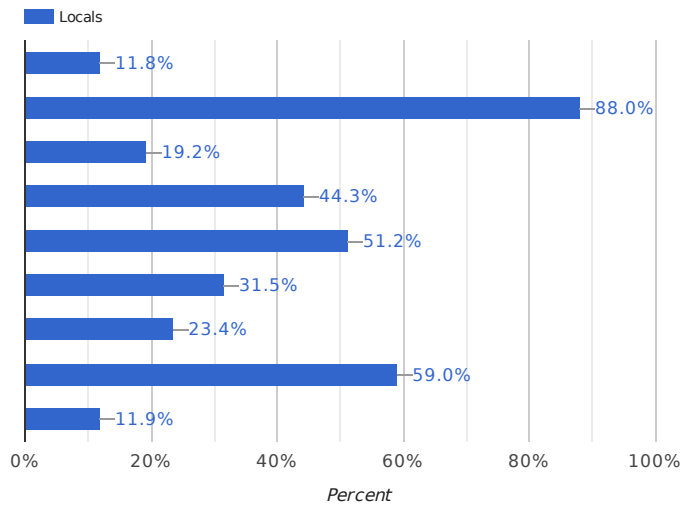
Tiny home villages

higher acreage homes
Affordable housing options in general.
low income
low income housing
Downtown housing
Affordable housing
No more building
Modestly sized homes (1900-2100sq. ft)on decent sized lots (10-15k sq. ft)
I don't know
Reasonably priced housing not Roseville prices
Not apartments,
I think we have enough homes already.
Affordable rental properties
Stop building new homes. The traffic is horrendous. Little services in West Park, barely infrastr
ADUs, cohousing, RV parks for visitors and month long stays
Roseville is already overbuilding.....stop these huge developments!
The city doesn't need more homes.
Affordable senior and disabled housing
I don't really know
Sober Living Environments
More affordable housing for young families and singles
Single family low density

**Q4** Which of the following, if any, are your biggest concerns about future growth in Roseville?  
(You can choose up to FOUR, if any)

(817 responses by locals)

<b>Options</b>	<b>Locals (817)</b>
Sewer capacity	11.8% (96)
Traffic	88.0% (719)
School capacity	19.2% (157)
Water supply	44.3% (362)
The natural environment (trees, animals, etc.)	51.2% (418)
Noise	31.5% (257)
Changing my neighborhood	23.4% (191)
Public Safety	59.0% (482)
Other:	11.9% (97)



growth become area alternate state city low  
 like **homeless** affordable quality price electric  
 enough cost utility **roseville** population  
 income lack **house** road density  
 change run **crime** tax service already  
 high retail **infrastructure** much  
 affordable housing neighborhood  
 public air transportation commercial need west  
 Change in Industrial zoning to residential has lost potential tax base/jobs out of Roseville.

Providing adequate services for homeless

Crime

Cost of housing

People moving in and changing our city historic and political values

Roseville's planned growth is beneficial to our community, residents and businesses.

Appropriate internet service

No more low income or subsidized housing

Shopping

retail

Alternative transportation

The lack of a sense of smaller neighborhood or place with housing looking so similar

Enough convenient retail

Quality of life

Price and availability

not enough retail out in west roseville

Cost of all utilities

Lack of public transportation like trains and trolley cars.

Changing from a well run prosperous conservative community to a liberal crime ridden run down one.

The power grid

Landfill capacity

Over development i.e. Elk Grove

Trend towards too many ugly strip malls. Lack of effort to revitalize downtown

raising the cost of housing

Uncontrolled urban sprawl. Houses keep getting built with little or no infrastructure. Look at 65

Letting poorly planned county development annex without paying their freight. Also fear believe in

increase of homeless, and crime

Air pollution

Creating adequate density to allow transportation alternatives

Very concerned that the State of California is mandating creating very high density projects

Shopping in west Roseville

Homeless coming in

too many Liberals moving in

Access to parks and trails

Traffic

Anti-democratic and non-inclusive policies

politically divided neighborhoods

There are too many poorly kept rental houses running life for us homeowners. This needs to stop.

Roseville PD does not properly address the racial and privileged bias they have when on the job

Homelessness We need pod type housing in a secure setting

Homeless

Electrical costs

Cost of housing

More taxes to pay for the infrastructure

Financial housing availability

Air pollution, loss of open space, over population, infrastructure insufficiency, more crime.

Taxes

Public transportation

Bigger is often not better. Maintaining a quality community in all aspects vs. revenue.

road infrastructure

having so much affordable housing in the downtown Roseville area

More homeless and druggies

Too much uncontrolled growth

Crime

homeless

homeless & crime

Congestion at areas other than just traffic

Affordability

Affordability

Cost of living in Roseville

Infrastructure to support larger populations.

Fires

Electric cost

Even greater income disparity

Electricity

More Bonds added to my property taxes. It's ridiculous already

High density low income becoming slums

That City Planners/Council will continue to care more about developers and their profits than people

Losing the small town feel of Roseville. I don't want to live in a "destination".

I worry that the city is not planning dense growth and continues to sprawl far from services.

I'm worried that the bigger Roseville becomes, the more it will become like the City of Sacramento

Not enough stores to support all the houses being built in west roseville.

Population growth re: graffiti, roadside trash, etc...lack of pride in neighborhood.....

loss of history and historical buildings

Roseville Electric's ability to support current and new customers to the current level of service

over crowding

to many people

Increasing utility prices

Safety of residents who are minorities (hate crimes)

Too much section 8

Too many houses as it is already.

Pricing out housing options for service industry workers and young adults

Old Roseville is bearing the brunt of low income housing w/out widening roads, improving services.

Covid-19 control

Retail and Commercial Services in Westpark Area. The closest retail and gas is 5+ Miles away.

Transit

Crime

ALL of the above

Commercial

Bike trails

Lack of mass transit/Lack economically diverse neighborhoods/Racism toward those who are different

the multi units going in central/downtown rsvl and traffic parking accommodations

Taxes

Overbearing regulations coming from the state level

integration of high density housing causes crime problems. proven in my neighborhood.

**Q5** Any other comments or suggestions about growth and housing needs?

(290 responses by locals)

work stop etc growth family  
 develop afford live public  
 use less city need people keep  
 lot like see house build plan  
 space area road neighborhood year  
 low home roseville please  
 water think traffic place west new cost  
 income traffic place west new make  
 We need less dense housing with larger lots for homes  
 move apart community park

Traffic is a major factor which must be considered. New roads to connect freeways and across the railroad tracks need to be constructed. Green space should be maintained along with walkways for families and seniors.

Responsible - holistic growth and no caving into developers needs for profit maximization

No more low income housing. I have seen more homeless people now more than ever before. Don't ruin this beautiful city.

Stop concentrating housing in the downtown and historic districts. Enough is enough.

We need housing for people who cannot afford \$450k homes. We need smaller, more affordable homes to buy, we need more affordable rental homes. We need more programs to help first time buyers compete with cash offers from the bay area converting owner occupied to rentals.

More NEV lanes/roads - like in Lincoln. Folks in Seniors communities might use them rather than cars for certain errands.

Add more Section 8 housing for seniors

Housing is too expensive and if we do not make changes then the youth will never be able to afford to move out on their own

Stop spending our tax dollars on 'new'. Face and work on homeless issue and fix current roads, schools, etc! Really listen to your taxpayers....that would be different!!

Stop spending crazy money. Make developers pay the cost to integrate. Don't sell off Roseville's resources such as water and power to the developers. Plan for the future, don't be nearsighted.

Please stop low income housing, halfway houses in Roseville, and apartments. This just adds to higher density and higher crime rates, and more traffic!

Please build more affordable housing and invest in homeless services and housing first options for homeless individuals.

Too much development with unbalanced open space throughout neighborhoods. Roseville is far too car centric and does not encourage safe walking or biking paths to businesses from neighborhoods.

Roseville needs to cap growth at some point rather than focusing on revenue. This area is growing less and less desirable to live in.

Keep up the great work!!

Roseville is a wonderful place to live, nature, walking trails, community, but if we keep building it will be like living in the City of Sacramento or any other large city.

City taking over tearing down historical buildings. siding with the big developers over the citizens and quality of live in Roseville.

Medium to large lots for single family homes. Stop with the zero lot lines and small lots.

I would appreciate more multi use. Apartments over commercial sort of thing

Stop building apartments and low income housing! Owning a home is not a right it is a privilege. Everything that Sacramento is doing do the opposite.

Affordable housing is always an issue. We need to find a way to deal with the homeless population along our streams in Roseville. Also need to provide affordable housing for Veterans. We are increasing expensive assisted living for our seniors but now we need to deal with those less fortunate.

Traffic is the biggest problem for Roseville and 2nd problem is high school capacity.

There seems to be a substantial uptick in crime. But that's to be expected with Newsom emptying the jails!

Suburban sprawl with no walkability to shopping (grocery, neighborhood retail)

Need more custom homes on bigger lots.

#1 concern far and away with new housing is traffic and roads to handle increased housing. Baseline, Pleasant Grove, and Blue Oaks are getting noticeably more crowded (and Blue Oaks keeps adding traffic lights) and drive times are taking longer.

If a person has Any ties to Roseville, lets get them into a home. Even if it is a Tiny Home. Or could there be some provision for m-i-l cottages or accessory dwellings? I was a transit bus driver in Santa Clara County. I can tell toy stories about folks who "lived on the buses".

it's too expensive to live in Roseville anymore.

We have seen the overflow of the homeless locating here from Sacramento. Senior housing/ low income has 3 year waiting lists and 1 week a year to fill out application for housing. This is shameful

To many apartment complexes.

Commercial developments have not kept pace with residential ones in west Roseville causing many problems (traffic, pollution, commute times, etc.)

Development in newer parts of town seems to be focused on bigger, more expensive houses set off on their own. I think good housing will be more affordable here when we put more focus on building smaller homes (even tiny houses) that are well-integrated with the trail and public transit system. Everyone doesn't need a McMansion, and more people can be supported when the individual footprint of each is smaller.

Slow it down

I think we already have too much high density homes :(

Low cost housing for low income is more than welcome in our stressed economy.

I don't understand how we are implored to conserve on water/electricity yet thousands of new homes are being built! It doesn't make sense to build more "resource users" without new resources to use!

I'd love to see more natural trails and open space in development planning

Limit growth. Improve traffic and ease stress on current infrastructure.

Housing is being built apparently without consideration for expanding roadways, both highway 65 as well a major streets such as Pleasant Grove and Blue Oaks.

We need to impose a tax on any new resident from outside placer county to pay for infrastructure rather than our locals. Also stop the multi unit housing and set a minimum lot size to 9000 sq ft single resident only

"Neighborhood Pride" seems to be lacking among rental units compared to owner occupied homes.

While there is a need for some affordable housing, I do not believe in rent control. The new apartments on Vernon are a good example of how to help those needing housing assistance. There needs to be more enforcement of illegal homeless camps.

Houses with bigger lots of land.

It is extremely important Roseville grow in a way that is sustainable: better public transportation, being able to walk places, housing that is sustainable (solar, gray water, etc.).

We need more single family homes with big yards.

single family homes should have land/property Townhomes should not.

Need to look at needs for houseless communities. Need to look at ways to protect our open spaces and trails.

Build within current boundaries. Infill. Re-build older neighborhoods. Less cookie cutter houses. More attractive design.

Maintaining the high level of quality that we put into our neighborhood infrastructure is essential. Clean and well maintained streets and surrounding areas are critical Roseville's beauty and allure. I am willing to pay additional tax's to support this on the assumption that fiscal responsibility is occurring within our budget. I am none too excited to grow Roseville beyond its existing size and risk over extending our ability to maintain what we have.

Roseville's growth over the past 40 years has been well planned and has served our community, our neighbors and our businesses very well. We have been successful in maintaining a small town feel as our community has grown into a large city. Our focus needs to continue to be on encouraging strong neighborhoods and working together so Roseville provides opportunities for all who live and work here. A critical component of strong, healthy neighborhoods and city is a diverse stock of housing types and levels of affordability providing housing choices that fit into the housing budgets of all our families.

Transportation and roads don't meet the demand for the amount of people moving to the area. Taking 20-25 years to build public transportation system is ridiculous we need solutions now! Within 1-5 years to get cars off the roads and electric cars are not the solution. Hybrid buses are! Trams light rail expansion why are we not doing this ?

West Roseville needs no more housing we need shopping . Can we get this moving . It's ridiculous. No shopping, gas etc.

More services in western part of Roseville, like gas stations, hardware stores, are needed.

Enough of the high density building and uncontrolled growth. Is your goal to turn this place into another bay area?

Roseville needs to strengthen the infrastructure to handle the growth definitely!!!!

Good public transportation to link housing with jobs. It could also cut traffic and pollution.

Make sure infrastructure is strongly considered - roads, etc...

More consideration needs to be given to the impact of all these high density apartments on traffic flow.

Seriously need some code enforcement and cat animal control.

We need one floor houses for those who can't do stairs

I believe it is time for the City of Roseville to really develop a long term, comprehensive plan that will address the future of our water supply, our ability to afford housing, the cleanliness of our shared space, the environment, traffic, our mental health, etc. and really change our behaviors. Why not lead through these changes and truly be progressive? Be a pillar that other cities look to when they are planning for their future.

Let's not allow too much high density housing in Roseville.

at least once a year free garbage pickup of everything

With global warming & less rain, we need to stop building structures we don't have the water to support. We just need to make better use of what is already available & cut the price to make it affordable.

You need infrastructure that included internet fiber, public art or gathering spaces, bigger lot sizes or more pocket parks in addition to neighborhood parks.

Living in Sun City Roseville I've seen the unprecedented growth West of Fiddymont. I fear for the traffic issues on both Blue Oak and Pleasant Grove/already even in a pandemic both roads are very busy. Also in all the years since we moved here (1996) no gas station has even been built in this area. Has the city not allowed that or is it the issue of permits? Something for your Planning Department to look at and study.

I am terrified that as new housing goes up, we will see a deterioration in other areas in Roseville. People follow the "shiny new thing," which means every new strip mall that goes up near a newer enclave will mean a downward spiral near where I live at 65 and Pleasant Grove. I already see it becoming rougher with people panhandling at the Sam's Club. We live by an open field where I think they are putting up a retirement community, but it still has open space, and if apartments go there, you will destroy the values of homes all around us. Our home is our principal retirement vehicle, so this would be devastating. It's easy for people to go, "Oh, we need more affordable housing," except they never build apartments next to where they live.

I am concerned about crime and utilities being over used by large companies in Roseville. City government should be cognizant of bringing in too many large companies into Roseville. I hate the thought I have to conserve when city government has allowed big business to suck all the utilities for residents. The residents should be more important than any company

Build a variety of housing, closer to transit, repurpose existing unused land in established areas and establish bike lands to these homes and shopping, transit.

not enough stores, grocery, gas stations, etc, out in west Roseville (Pleasant Grove and Fiddymont area)

It seems like rents are going up way too fast and it's difficult to make enough money to qualify to rent an apartment.

Don't change Old Town. Roseville needs its history!

Too much crime moving in from Sacramento.

Our seniors are being priced out of the area. Some depend solely on SS. There is no place for them to live. And wait lists are too long.

We need affordable, low-income housing.

We need less expensive options with more space between neighbors

More affordable housing is good!

Need better planning on roads. Pleasant Grove Blvd. from west end is already crowded and there is still massive building going on.

Need new housing to be affordable.

There seems to be a lot of apartment building out in West Roseville compared to the rest of Roseville. It makes our streets more crowded as well as shopping.

If we get more homes we need better ways to get to the west side of town. The traffic is ridiculous.

West Roseville seems to only build houses and small neighborhood parks. We need services like gas stations, POST OFFICES, restaurants, etc. built within walking distance from our community. So many seniors live within West Park, they are dependent upon a car to get anywhere, like the rest of the residents. Build community shopping spots to encourage local interaction and walking. Also please connect the bicycle paths together. Many people ride bikes, but busy streets such as Pleasant Grove and Blue Oaks are not safe for cyclists. If the cycling paths connected, more riders could get out of West Roseville and bike to nearby services.

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Roseville is growing way to fast the infrastructure can not keep up

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Stop trying to dictate how I live! I am a rational individual and I should be able to decide how I live, independent of communist authorities or anybody else. Just like in Austin, TX, let me build whatever I want or dream about.

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We don't need anymore growth!

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Homes with larger garages and RV options.

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I think there is too much high density housing which creates way more congestion. We don't have a public transportation system that is efficient enough to support the density of housing that we're heading toward. I think we need an investment in reliable, sophisticated, public transportation to decrease traffic and congestion

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I hope bike / pedestrian paths are being built into expanding parts of Roseville.

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I am supportive of growth and believe it can lead to a vibrant city with a lot of good job opportunities. However, living in the Crocker Ranch in the northwest Roseville and seeing all the growth west of Fiddymont I am shocked at how little grocery stores, restaurants and retail establishments are planned and/or under construction. We need more of this in West Roseville or traffic along 65 and 80 is going to be unreal.

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Green spaces are timeless!

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There's already too many apartment buildings under construction, very concerned about how this will impact traffic. If the city can't keep up with the adequate infrastructure that's necessary, then slow down the growth.

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We should be planning for the majority of people and have separate specific targeted programs to help those less fortunate. We should not turn the community upside down to deal with bad public policy, but rather change the policy to encourage better outcomes for all!

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More trees out in the Westend.

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Slow the growth of Roseville

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infrastructure for traffic

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Better public transportation. Encourage services near where people live so can ease traffic on major corridors and lessen pollution.

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We need more parks and green spaces.

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Let's pause on over-developing! West RV is practically Elverta. Enough! RV is a wonderful small town -we don't need endless housing or college campus satellites or more strip malls. Let's not encourage Dominic Casey in ruining our city - over development will morph us into Elk Grove - a disaster riddled w/crime, traffic & too many housing project. Leave open spaces & honor our native oaks.

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there are enough big mini-mansion homes. what about the rest of us who love living in roseville but can't afford those homes? but we also aren't low enough income to be "low-income" qualified?

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Land is increasingly rare and expensive. Multi-family housing may be necessary to meet the needs.

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I think it's a shame that all of the homes that are now being built have no property to call their own. The City feels as long as there is a park nearby, that should suffice, but it doesn't. People need to have a space of their own that they can escape to. It seems as if the most important thing is to see how many homes can be placed on a single piece of property.

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We need to plan better. There are way too many houses and people have to commute to work. The infrastructure with all the new construction is horrible. We need to have the jobs to support the housing. Between Roseville, Rocklin and Lincoln, houses everywhere. No jobs. And how are our children ever going to be able to afford even a starter house in the area.

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Affordable housing is a real problem. Even low income housing is too expensive for some people. I wish the housing program (section 8) could be better funded so that more people could take advantage and the stigma of being a section 8 renter could be eliminated

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The city planners and engineers will decide we'll for our future growth and infrastructure needs. They should be listened to, not smiling developers, especially those who chose to accelerate their entitlements ahead of demand.

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We need more diversity so we need more diverse housing.

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I work with high functioning autistic and disabled adults. It's difficult for them to find affordable housing without a long waitlist.

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No more apartments or section 8 housing. It's too crowded already.

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I think we've "grown" quite enough. The only thing we need is a stronger, better funded police force.

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Keep Roseville nice. Low income housing devalues our homes and brings in more safety concerns.

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My children will be starting out on their own in the next 2-5 years and we all are afraid they will not be able to afford housing. Also we need to try 'cleanup' the homeless camps either with specified camp locations or converting motels or apts for that

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need

please make sure that affordable housing is blended into the rest of the community and looks good.

It is completely irresponsible to add tens of thousands of single-family homes to our community when we have ongoing water supply issues. Let these people live in some other community! Those of us who have lived here for decades should not have to ration water because developers and the city council are greedy. Simply put, a moratorium on single-family homes is long overdue. But it is obvious that developers run this town.

The world is getting too crowded!

Affordable housing is greatly needed - 2-3 bedroom apartments, small condos for purchase to begin gaining housing equity OR to downsize for seniors. Growth needs to accommodate environmental concerns as well as open space.

Affordable housing that is truly affordable to those in need is essential. Many funding sources provide subsidies that relate to income levels of 40-60% of Placer County median income are NOT low enough! We have seniors who are trying to subsist on less than \$1,000. per month, and they cannot afford rents at 40-60% AMI (i.e. \$800-900/mo). Subsidies to reduce the cost of development have assisted in the past, but there are not enough subsidies available to truly reduce the rents to levels that are really affordable.

Creating higher density "nodes" (like downtown is becoming) to make public transportation more feasible and reduce traffic impacts of growth.

enough with all the condo type places make roseville home to families in houses that have yards

Shopping keeping pace with housing

Stop building houses so close together. Bigger lots please!

Houses are being built too close together. A family needs a backyard to enjoy. More single story houses and senior neighborhoods without common amenities. Sometimes you just want a neighborhood without kids.

All developments for housing should be done in such a way as to continue the open space, boulevard and parkway designs that give the city an open and appealing environment. Developments jammed close together is very unappealing. Thanks.

The traffic on Main Street will increase with the addition of new high-density housing and other developments in the area. In my opinion, the street has been at maximum capacity for years and should be reconfigured to service neighborhood residents only. The city of Sacramento modified some streets in Mid-Town to allow one-way traffic only, with the exception of mass transit, bicycles, and emergency vehicles to increase neighborhood cohesion and reduce traffic. I initially thought that the change was a really bad idea, mostly since the change inconvenienced me on my commute home in the evening, but I noticed that the vibe of the neighborhoods improved dramatically with the reduction in traffic volume. Maybe something similar could be effective to divert traffic from Main Street to other more modern streets with more capacity.

Roseville has maintained a good quality of life so far. The increasing traffic can impact that. If we continue to have reduced rainfall, water supply could quickly become a serious issue.

All the open spaces are being taken up with new houses

We need affordable low income housing for the low income working poor

Please no low income housing. I moved here to get away from low income housing.

How about we get more business space (especially in West Roseville) to help alleviate congestion instead of building more houses.

I am concerned about property value. Will all of the new construction cause a decrease in value to existing properties?

Please re-think, re-consider the notice that "growth is good" The non-stop focus on expanding the city limits and building huge single family homes that essentially require residents to use private vehicles to commute is very short-sighted. I live in Sun City Roseville. In order to use public transportation I must first walk about 55 minutes to a bus stop, for example. The city has miles of grass between roads and sidewalks which might have o.k. many years ago but do not fit our environment, do not fit our scarce water conditions, do not fit our true climate location.

mandate solar panels and low water landscaping on new homes

Rent control. Rent is becoming too expensive for people to afford to live in roseville

Too much growth and changing zoning.

Roseville has great community developments and does a wonderful job adding parks, walking trails and schools. It would be great to see more neighborhoods that are a 50/50 split of single and double story homes. The neighborhoods with all two story homes look packed and impersonal. Also there should be plans for shopping centers, restaurants etc to be put in close to when the housing is finished. We lived in West Park for 10 years with NOTHING added like that and a big factor to us moved out of WP was the proximity to super markets, restaurants etc. For a time, DoorDash and pizza places wouldn't deliver past Fiddyment.

Zero growth

West roseville is a traffic nightmare stop building west and north until you can get firm commitments to Placer Parkway bypass

The traffic is horrendous already. The more clogged the streets, the more aggressive the drivers get. The backups at red lights and scary drivers intimidate me and prevent me from going to stores unless I absolutely have to. The quality of life has already dropped, and even more growth while ignoring traffic problems is frightening.

To generate a vibrant city center you need a dedicated plan for infilling within that area.

When doing infill think about the traffic impact and well-being, quality of life of long term residents. Giant 3 story building next to small one-story residential is disappointing. I'd be furious if I lived near one under development and I was a long term resident.

Traffic - as west Roseville continues to grow, we need more freeway access to the homes out in that area.

How about active concern and involvement with and for the Maidu natives. Things have not been handled well at this point. How much longer?

We're known for our open spaces so housing developments that uses less spaces but cost as much give the appears of short-changing how Roseville came to be.

Appreciate the request for possibilities. All new homes need shower water controls that let you easily turn off and then back on during your shower. Ours does in our 25 year old roseville home. Otherwise, find locations downtown to help the homeless. Tnx, dk

Accommodate more multi-homes near bus stops, as many of these people may not have a car and rely on transit. Single family homes often have cars and don't use transit.

I'd like to be mortgage free, but moving to a different home in roseville is too expensive as it would just increase my payments and property taxes, so i'd be more incline to sell my house and move outside where my money goes further and i get closer to a mortgage free live. You'd need to make cheaper half plexes and multi generational houses that are less expensive then my current house to stay in roseville.

Getting so big that the State of California starts imposing rules and tries to impose itself on the City. State of CA gives funds to Roseville but then demands that Roseville follow its mandates. We would be more on the radar screen of the city.

West Roseville has been impacted tremendously over the last 10 years. No more homes until review the changes brought on by our warming climate on infrastructure. Please consider adding more traffic enforcement on Fiddymont and Pleasant Grove. Speeds averaging 55 mph on any given weekday morning and evening. Friday and Saturday nights are similar to a race track.

Fix the 72 hour parking ordinance, it does not make sense. Limit how many vehicles can be parked on public streets. One neighbor has 12 vehicles. Another 4, another 4, another 8, another rental house 9.

Too much traffic and pollution!

I already put this, but for emphasis :) New developments in Roseville are huge! Literally. The square footage of the homes are so large that they become difficult for single income families to afford. This creates a larger division between the haves and the have nots. I would love smaller homes that people can buy (adding stability) without needing 2 or 3 income salaries.

Build Large arterie Parkkways to direct traffic needs well in the future. Promote work at home into the housing stock.

We need services and grocery stores in Westpark.

Moved here in 2001 and I feel Roseville has over grown and over developed with little thought to traffic, crime, etc. The many reasons I left the Bay Area now exist here. Disappointing.

We should slow down on growth and try to stop housing inflation caused by migration from bay area

I would like to see smaller single family homes and duplexes, etc.

Need more small, affordable single family housing.

There is way too much traffic in Roseville! And we need low income housing as so many have been impacted by this pandemic and have lost their capacity to rent or own property.

More low income housing would be good.

Need more residential patrol units in the neighborhoods of Roseville, especially east Roseville in and around Cirby Sunrise area.

Baseline needs to be widened. Now there is another light but is is only 2 lanes in either direction for a short distance. Many commuters use that to get to 99 and it is very congested. The lack of shoulder causes major delays any time there is an accident.

Please make sure new areas have plenty of green space And that lots of trees are planted, especially in West Roseville area

need affordable housing for people who work here in service industries but can't afford Roseville prices.

We need to have housing options that are in the \$300,000-400,000 range--smaller but nice for starting families and older folks who don't want to live at Del Webb.

Really need more affordable housing, especially for young families and people working here. The prices of homes in Roseville are very unaffordable. And we need better management of traffic. Would love another freeway. I know Roseville is not in charge of freeways but could Roseville talk to the government about getting another one? There are going to be a lot more people living in these areas and it is going to congest roads and freeways more which will be very challenging for residents. Let's keep this area not so congested please!

I believe we need more affordable housing for all age groups and family sizes.

I cannot seem to justify any further need to grow as a city. There are more cons than pros at this point.

The city needs to figure out the homeless problem in downtown and old town before we build more affordable housing.

I am unemployed and can't find a place cheap enough to rent

I am already witnessing an increase in speeding vehicles, as much as 10-15 miles over the posted limit. Unless we can control this as a growing concern, I am leery of any great increase in population. Growth is important, however, for many reasons, so we must find a way to control this problem and ensure the safety of all on the streets of Roseville.

No comment

No choice to have more mobile home parks!?!? The most cost effective for lower income folks to live in Roseville but for snobbery

More housing, less two story \$500,000 Homes

Slow growth. Control traffic congestion. I like the the Roseville of 10 years ago.

Need to build what people can afford

We need more affordable housing!!

Roseville is already too crowded. We are planning to move after 30 years here.

Roseville feels less safe, more noisy, and harder to get around than when we moved here 9 years ago. I know the city works within a difficult state government environment. Hoping that we can continue to push back on California's problems with a more business friendly environment which treats homelessness as the public safety (fire, pollution, waste, sewage) problem that it does have.

We have an abundance of large, fill it up with Costco homes, and lots of apartments. What about some smaller homes for people and families who want to be intentional about simplicity, don't want to have to live in an apartment for smaller space, and don't want to have to live in a 50+ year old home to do so?

Cost of all utilities. All infrastructure.

Crime is number one concern. Want more safety for kids

Future growth needs to be subject mello-roos tax.

put housing in other parts of Roseville that are considered "affordable" housing.

The city should help owners of infill sites acquire entitlements allowing for the property's highest and best use.

We need housing for the homeless and unhoused.

I suggest the city do more educating the public on helping the environment by taking care of their yards. Many yards have little vegetation which is crucial to our environment

Traffic is the WORST in West Roseville, with no hope in sight!!!

I think we need to look at the capability of building granny flats in some of the areas where this is feasible. Maybe incentives for this type of housing.

Too much dense housing being built

Hoping we grow out, not up.

I think i will need to move out of roseville soon because the housing is growing and the traffic accidents and crazy drivers are unbearable

Building low income housing and affecting property values and existing neighborhoods

We are starting to look like Bay Area We need controlled growth or moratorium on building

We need to create programs to lift homeless out of the streets and into housing and "back to work" programs-and yes, I WILL put my "\$ where my mouth is" helping create such programs.

Yes, include infrastructure costs to any new housing development to pay for the upgrade to accommodate the new incoming population

Too many grass lawns given water shortages?

Too many homes going in and planned to build in West Roseville.

The master plan looks balanced and well organized. Would like to see that Mello Roos continues to fund important city services.

Please keep Roseville's natural habitat alive!!

Develop places that better accommodate working from home. Connectivity with shared facility for meeting space and business office support

Roseville is a beautiful place, don't turn it into a seepool like Sacramento

Ensuring buildings are far enough apart that a fire cannot jump from structure to structure.

Don't bring lower income housing into middle class neighborhoods

More granny flats could help with affordable housing.

I am concerned about the growing homeless population (mainly drug-addicted people) showing erratic and disturbing behavior, amongst law abiding citizens who have no recourse.

Please stop building.

I'd love to see some more condos in the city. That's a great entry point for first-time home buyers in an expensive city for single-family homes. But let's make sure we aren't building them all on Gibson where traffic is already bad by the Galleria.

Nice but smaller and affordable housing would be awesome! This would also help Roseville maximize its fine public amenities like trails and libraries, public transit, etc.!

Traffic is horrible, too much medium and high density housing, would like to see more low density with larger backyards

Roseville overall has done an excellent job with city planning. However, there does not seem to be a cohesive plan for connecting the unconnected multi use paved trails that exist in each neighborhood together to allow safer commuting.

Improve transportation

Violence seems to be escalating. Kids are spray painting, stealing, and verbally abusive. There's no accountability for criminal activity. We need more cameras and police follow up. More housing requires more police back up to keep Roseville a safe place. It's starting to get a reputation as not safe.

I would like to see more affordable single story family homes for those who will be downsizing as their nests empty but don't want to go into apartment living.

It seems that every year we're in drought or near-drought conditions, but every year the growth keeps happening. Growth is understood if we're adding more than just homes and schools. We need more water holding reservoirs in California to be equipped for growth (and perhaps other infrastructures I'm not aware of). This is a state issue, not a Roseville Issue I understand, but can't regions come together to urge the state to do what's needed?

Bike paths to Roseville High School and bike parking. I would like if Roseville as bike friendly as Davis.

No halfway housing.

We are seeing the "affordable housing projects" result in more police activity/crime. Gates won't stop these criminals. If the city is bent on pursuing affordable housing, can you locate these projects far away from single family neighborhoods?

Affordable housing is necessary!!!!

Would prefer to see less sprawl

STOP converting apartments to low income housing! The community has already been irreversibly damaged by transplanting all the out of area riff raff. If I wanted to live in a community like antelope, citrus heights, Sacramento etc., I would've bought there but I PAID MORE and CONTINUE TO PAY MORE to live in a community that USED TO BE (isn't any more) a nice safe middle class area. Very sad what has been done to this city.

we will need more police to take care of the roseville area as it is growing leaps and bounds.

I am happy to see that growth is systematically controlled

It's my hope that growth is affordable. Not low-income, but affordable for single families and single people who live here.

Home price valuations are escalating too fast which means there isn't enough demand in growing areas. Inexpensive housing should be a part of the growth instead of more big box cookie cutter homes

Roseville is becoming less and less desirable because of traffic and noise, and out of control growth. Where is the water coming from? Where is the artery that supposed to alleviate traffic between Hwy65 and Hwy 99? No stores of any kind in WetsPark, so everyone has to get in their car to get gas, groceries, well..get anything. Very POOR planning. So what does the city do, building more house out there without any allowance for shopping adding more congestion to Pleasant Grove and Blue Oaks, and now more congestion to Base Line. Insane.

In times like now where homes and rent in our area are high, help with qualifying to meet cost per month is needed. Having a job for long enough, making a good amount isn't helping with qualifying for 3 or 4 times rent. I have a kids and the cost for even a rental with more then 1 room in this area are almost or over 2k per month. That along with then making 6k or 8k to be qualified is extremely hard as a single parent.

The city needs to acknowledge racial and economic disparities and have partnerships in place to explain to the majority how these initiatives make our city stronger.

I commute over one hour each way so I can live somewhere nice. Stop building affordable housing, and bringing in crime

No

I think growth is out of hand. It's ruined the charm of Roseville, and we have been divided into three parts: West Roseville, Old Roseville, and East Roseville. The equitable allocation of resources and services needs to be addressed.

I know Developers don't like it, but see if zoning can be done for detached with lots at least 8,000 square feet. Not all but a percentage of homes. Kids need room to play

I moved to Roseville for the nature and for how common it is compared to other surrounding cities. I'm not interested more housing or even more industry for that matter. I'm interested in keeping Roseville a clean, quiet and peaceful town with more nature than other cities. I hope the city protects all of our investments by maintaining the benefits of roseville.

I think growth needs to be better planned with respect to connectivity among various parts of the city. Now, it's like there are four or five cities that are geographically disconnected. That impacts services, roads, commercial development, and the feeling of the city being one community.

I've talked to neighbors who have added a "granny flat" sort of 2nd unit to their property, something I am considering. They said the City fees were exorbitant, on average \$25,000 for sewer, water, power connections. That kind of fee hikes will kill legal expansion and lead to non-permitted add ons. I haven't looked into the fees myself, got scared off

Making it possible for West Roseville Sun City residents to use golf carts to get to shopping would be really nice. Pleasant Grove Blvd and Blue Oaks are ideal for golf cart lanes to Raleys and Safeway and the new Nugget, plus CVS and Walgreens.

We need - have for ages - low cost housing for young families - and old families for that matter. The cost of housing here is absurd - I raised my children here in the 80's and knew that after graduation they couldn't afford to stay in the community where they grew up.

Distribute affordable housing evenly throughout ALL parts of the city, not concentrated in one area

Roads, roads, roads! If you get that right ... the other decisions can fall into place. Roseville has a long (including very recent) history of stupidly-bad road design and inaccurate future projections. These are very, very costly mistakes. Let's not make them again.

Roseville needs to build more walk & bike friendly communities and stop being so car centric

The desperate need for more lower cost units. Homelessness is the result of soaring rental costs

Stop with the affordable housing needs. Not everyone can afford to own a house unless you believe in the Unicorn tale that every job should be a living wage.

stop growing the city if you cant build a freeway to the homes in east or west roseville

The hand-in-glove relationship between City.County planners/leaders and developers is appalling. Citizens have virtually no power, with well thought out concerns about environment, traffic, and pedestrian safety are virtually ignored. I am ashamed of those who put themselves forward as community guardians but continue to act in a way that promotes only their own power and profit.

STOP IT!!

If it is not affordable or accessible it will not suffice the current needs of low income families. Please place future growth in areas other than old Roseville. If there is a need to increase transportation or services in other parts of Roseville to make those areas better equipped to fulfill the requirements of low income/affordable housing, then pursue that wholistic approach. It feels like otherwise there is gentrifying the going on OR segregation of folks by income levels systemically pushed by city planning.

the growth needs to slow down.

Keep housing standards high. People can buy starter homes elsewhere and work up to being able to afford to live in Roseville.

Slow down.

I think growth is necessary and can be done well if planned appropriately.

Please no more low income housing

There is so much potential for repurposing/redeveloping existing structures, apartment complexes, and vacant lots within the current city limits, especially in central Roseville and along the Douglas corridor. Lots of empty and available office space that could be converted to multiuse business and housing with increased walkability. Why does everything planned require a car?? I would like to see limits on paving over yet more open/farm lands.

I have lived in Roseville for over 30 years. There is a lot of growth. We need more accommodations/stores on the west side where all the growth is taking place. More restaurants, a Costco would be nice.

We need more environmentally friendly construction. Plan communities around existing foliage, as trees and indigenous plants and existing waterways and ponds.

roseville doing great job

Keep up the good work adding parks and trails to your developments.

I moved here, many, many years ago from Silicon Valley where I saw firsthand what unchecked population growth does...it brings gangs, graffiti, roadside trash, etc...even in the most affluent neighborhoods because city services cannot keep up, job growth becomes inadequate, and income inequality becomes a local problem.....

Too many large single family homes being built & planned for. Roseville is sprawling, causing traffic, noise, burden on infrastructures. Where is the water to come from for these large homes, many with pools??????

In addition to housing and roads we need parks and trails to continue to be built. Sports fields need to be considered and a survey should be conducted for park amenities desired.

Despite noises on places like NextDoor, I like what is being done re: houses in neighborhoods for helping the less fortunate in our community (homeless, endangered, reintegrating ex-cons back into society, etc). As Americans, we need to improve our social safety net. While this is difficult from the local level up, it's not being done at the state or national level so someone has to lead.

So many ppl

Low income housing that enforces rules with authority to evict.

I think that limiting high density housing would be for the benefit if our community as we face growth currently, and in the future.

We need more infill projects. Why are our roads so bad? Rocklin always seems to be paving existing roads but Roseville does not.

Need high speed rail to the Bay Area.

We need low income housing for disabled.

I want the Roseville Police Department to be more proactive and compassionate to Roseville residents of all ethnic/racial groups. Too many longtime residents who happen to be people of color are made to feel like "outsiders" by the police. Hard demeanor from officers. They should listen more.

I think the City of Roseville needs to stop building more homes. We are starting to look like the Bay Area. This can't be just about money! I hear more sirens, there is more traffic and crime is starting to occur more. I think we should focus on freshening up the look of Roseville. Downtown is great but we need more restaurants that are chains, I think we should build a man made lake somewhere out towards the Casino and build restaurants, breweries etc around it. It would be a huge hit! We don't need more people but I am not sure how you stop that....

Keep and or add more fire and police to ensure public safety. Find appropriate housing to keep homeless off the streets

I think any new housing development must take on the burden of widening surrounding streets and intersections. They must pay for all new service lines. I do not think current residents should pay higher taxes to make up for the cost of these projects.

Roseville is beyond sprawl....too many people using too many resources

I would like to see more efficient public transportation and walking/bike trails.

More effort should be made to preserve/re-use historic buildings. Also, while I understand the need for growth, it should be for the benefit, not at the expense, of it's long-time residents. Before long, the current generation will be priced out and forced to move.

Please stop building new homes. There are little services in WP, infrastructure isn't there, yet you just keep building. There used to be so many trees now all I see is houses. Pretty soon Roseville will become the next bay area and how well did that turn out. Housing prices, property taxes are high. Roseville used to be a nice place to live. I will be moving within the next couple of years since the area is being taken over by the bay area. So sad.

I would like to see Roseville continue to recognize and promote its increasing diversity on every level. The city does a good job and I hope we don't elect polarizing Councilmembers who turn our city into their political step ladder and side show. Our local government is a refreshing break from what's happening at the state and national levels. We've had decades of solid leadership and that needs to continue in order to be a great place to live

I would like to see permanent supportive housing to support our homeless and nice affordable senior housing. Too much of our senior housing is unaffordable for many in private communities.

Low income housing areas (Old Roseville, generally) should be provided offsets to help defray the costs of adding an ADU. Please offer an online YouTube video explaining the process for homeowners in Roseville who are considering an ADU with current considerations and requirements. I know of several families interested but need consolidated information. Thank you for asking.

1) City lack trees in green areas. It is dry city. Every time the area is developed, so many trees are mowed down. But none are added. Due to lack of water, residents are changing to non-grass covers. It is good initiative to save water. But since this has decreased the overall green area, it should be compensated by more tree 2) Trails in city have to be increased. This city is as great and equal to Folsom, but we don't have enough long trails like they have. People from Roseville go to Folsom for biking. 3) Traffic has grown exponentially in West Roseville, but proportionally the roads have not been widened or increased. The jams on highway 65, Blue Oaks, Foothills, Pleasant Grove, Cirby have become nightmare. The long queue at non-HOV lane Signal in every entry to highway has become horrible in last 2 years. City is not doing as much it is suppose to do with the proportional increase in traffic. Highway 65 should had been 4 lanes 5 years ago. It is still 2 lanes until Galleria.

Technology Infrastructures

Too much traffic. Need less population growth. Schools are too full

Yes, with healthcare industry and city/county/state workers being Our biggest work force in Placer County, it would behoove the Cities of PC to develop work/housing partnerships with developers and health industry to retain workers (and their tax base) in the County where they reside.

Consider green space and parking as priorities

We have been Roseville residents for 7 years now. We love it, and like most, I am sure, lets keep the city about the size it is now. I understand there is room for growth in W.Roseville where currently there is construction going on.

Roseville seems to allow builders to build while thinking of street expansion last. We also need proper traffic control, a lot of stop signs are ran in Westpark.

Affordable single family starter homes would be a great thing

I would like to feel safer while riding my bike.

Building houses so close together introduced neighbor problems. Kids need yards to play in. Housing too expensive. Need to be sure we have infrastructure before building more

Sure would be nice to some non-cookie cutter homes being built in the city. I know it's all about the money but building some homes on 1/4 to 1 acre would improve the city.

Make developers pay their fair share and also prioritize hiring people who live in South Placer and greater Sacramento area over people coming from other states who don't invest in our community.

We have enough apartments. We need more single family homes that are affordable. A lot of the new builders are pricing homes too high and the mello roos are out of control...\$400 a month...that is insane. We also need stores in the Fiddymment area. Why hasn't a grocery store been built yet? That area is booming with homes but no shopping. To me that is odd. We have wanted to move to the Fiddymment area but the home prices are rising and the mello roos are crazy.

Distribute the low-income housing throughout the city. Do not segregate low-income people.

we need infrastructure. stores.. gas stations.. restaurants... etc....

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**From:** [LaMills Garrett](#)  
**To:** [Hocker, Lauren](#)  
**Subject:** Questions on Housing Element  
**Date:** Sunday, January 3, 2021 3:37:16 PM

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Hi Lauren,

I've reviewed the content from the Roseville Housing Element. Below are questions I have to further understand the decisions and content within the Housing Element. I'm glad to meet to explain the further clarify the questions and get answers verbally or to accept answers via email.

All the best.

LaMills Garrett  
916.865.6140

### Questions on Roseville Housing Element

1. How is the 2,800 unit shortfall determined?
2. What's the number of affordable housing units proposed by the City of Roseville versus allotment set by SACOG (12,066 with 6,178 lower income units)?
3. It appears the previous 10% Affordable Housing Goal is now being focused only on low income and very low income renters. If correct, why isn't homeownership included in the Affordable Housing Goal for low income and very low income housing?
4. What percentage would be required in order to meet the overall allotment set by SACOG?
5. How many total dwellings are currently under plan to be developed in Roseville?
6. How many affordable housing dwellings (low income and lower income) are currently under plan to be developed in Roseville?
7. The four major transit locations in Roseville are Louis/Orlando, Galleria Mall, Sierra Gardens, and the Civic Center. What affordable housing plans are set to be within walking distance from each of those?
8. What affordable housing plans are set to be between major intersections or transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations? Below are a set of those locations by my assessment.
  - Douglas/Sunrise (Kaiser)
  - Eureka/Sunrise (Sutter)
  - Roseville Parkway/Reserve (Galleria Mall)
  - Blue Oaks and Washington (Thunder Valley/Santucci Justice Center)
  - Washington and Junction (Roseville PD/Fairgrounds)
  - Vernon (Downtown Civic Center)
  - Pleasant Grove and Fiddymont (Gateway to West Roseville)
  - Westbrook and Blue Oaks (Future growth)
9. What is the assessment of jobs in proximity to affordable housing units? Said differently, what's the average distance traveled to work by Roseville residents who qualify for affordable

housing ? And what's the average distance traveled by people who work in Roseville and in careers typically qualifying for affordable housing?

10. Of the principles (bottom of page X-3 under Purpose) that the Housing Element is to reinforce, which demonstrate contribution by the development community, the business/manufacturing community, and The City of Roseville to ensure the success of an affordable housing program?

11. Of the principles (bottom of page X-3 under Purpose) that the Housing Element is to reinforce, which demonstrate meaningful actions to overcome patterns of segregation and foster inclusive communities?

12. In what situations and how many times have affordable housing goals been deferred to a later phase of a project to allow time for the necessary funding to be assembled in a public/private partnership or with affordable housing agreements?

## **CALL TO ACTION**

City of Roseville Housing Policies

### **Current Situation**

1. The City of Roseville has a dearth of affordable housing and it continues developing housing that will worsen that situation.
2. The City of Roseville continues to develop land for businesses with salaries that are insufficient for people to afford housing in Roseville.
3. The City of Roseville has inadequate mass transit systems to reduce traffic on major thoroughfares between nearby cities and inadequate coupling of mass transit and affordable housing to reduce traffic within Roseville.
4. Traffic is added to Interstate 80, Sunrise Blvd, Highway 65, Foothills Boulevard, and Eureka Road because of thousands of people commuting from other towns and cities to work in Roseville where they can't afford to live.
5. The Draft Housing Element currently has no solutions for people with low income and very low incomes to reside in homes that earn equity.

### **Suggested Solutions**

1. Pause approval of all private commercial development that does not pay most employees a salary to afford housing in Roseville.
2. Make approval of building market rate housing contingent upon first meeting and building an allocation of low-income and very low-income affordable housing units.
3. Require all commercial developments to pay fees toward the impact they will have on traffic congestion and housing disparity.
4. Require equity earning housing options be included in low-income and very low-income housing plans.
5. Mandate all districts in Roseville occupy some portion of low-income and very low-income affordable housing.
6. Seek affordable housing plans to be between major transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations.

### **Call to Action**

1. Send emails supporting the above suggested solutions to Planning Division project manager, Lauren Hocker [lhocker@roseville.ca.us](mailto:lhocker@roseville.ca.us) and Housing Manager, Trisha Isom at [tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)
2. Call each City Councilmember and request support for these suggested solutions.

Mayor Krista Bernasconi  
916.223.1060

Tracy Mendonsa  
916.663.7344

Scott Alvord  
916.784.0240

Pauline Roccucci  
916.508.5807

Bruce Houdesheldt  
916.365.5863

**From:** [Lisa Larkin](#)  
**To:** [City Council Mail](#); [Hocker, Lauren](#); [Isom, Trisha](#)  
**Subject:** Housing & Traffic Situation in Roseville  
**Date:** Sunday, January 10, 2021 9:35:26 PM

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## **Hello Council Members,**

I'd like to see you address all the issues listed below, and I would like you to consider the suggested solutions presented. I support these solutions and would request that you take the initiative to really truly address the housing crises and traffic problems, to include protecting our downtown historic district.

### **Current Situation**

1. The City of Roseville has a dearth of affordable housing and it continues developing housing that will worsen that situation.
2. The City of Roseville continues to develop land for businesses with salaries that are insufficient for people to afford housing in Roseville.
3. The City of Roseville has inadequate mass transit systems to reduce traffic on major thoroughfares between nearby cities and inadequate coupling of mass transit and affordable housing to reduce traffic within Roseville.
4. Traffic is added to Interstate 80, Sunrise Blvd, Highway 65, Foothills Boulevard, and Eureka Road because of thousands of people commuting from other towns and cities to work in Roseville where they can't afford to live.
5. The Draft Housing Element currently has no solutions for people with low income and very low incomes to reside in homes that earn equity.
6. Destruction of historic buildings in Roseville.

### **Suggested Solutions**

1. Pause approval of all private commercial development that does not pay most employees a salary to afford housing in Roseville.
2. Make approval of building market rate housing contingent upon first meeting and building an allocation of low-income and very low-income affordable housing units.
3. Require all commercial developments to pay fees toward the impact they will have on traffic congestion and housing disparity.
4. Require equity earning housing options be included in low-income and very low-income housing plans.
5. Mandate all districts in Roseville occupy some portion of low-income and very low-income affordable housing.
6. Seek affordable housing plans to be between major transit locations along the routes to large areas of entry level jobs, major retail outlets, access to healthcare, and roads leading to justice and law enforcement locations.
7. Seek the funds necessary and register historical buildings, to preserve what remains of the historic Roseville district in Downtown Roseville.

Again, I support the above ideas as presented.

Thank you,

Lisa Larkin  
Roseville, CA

X-1 INTRO

...Housing Element, a component of the General Plan that includes analyses of barriers to housing production and strategies for producing the needed housing. *This might be a good place to briefly describe the affordable housing issue.*

x-2 PURPOSE

*Is a revision planned based on the 2020 census?*

*Glossary idea: include RHNA definition*

x-3

*What's the basis for the need to maintain a 5% or less vacancy rate?*

GREAT! Transportation ... proximity of housing to jobs ..

*Glossary idea: define and show examples of median income (and average or mean income)*

GREAT! But how will the city take actions to overcome patterns of segregation! *Might definitions of segregation and inclusion be included in the glossary along with some examples of how that has happened. Might be a good place to show how Roseville has NOT had policies creating segregation.*

x-4

Housing Stock by Unit Type. *Might this be a place to include terms (and thus put in the glossary) like Condo and Four-Plex.*

Rental Prices: *Do you have data on the single family rental price?*

DATA SOURCES

*The acronyms are defined here, but they could also be included in the Glossary*

x-6

*It was great to see what key discussion topics were included.*

x-8 ... A table as part of the EVALUATION OF 2013-2021 HOUSING ELEMENT

*Glossary comment: Please be sure all the Acronyms are also in the Glossary. (After reading The COLOR OF LAW, one could wonder how the Section 8 process is monitored. The percentages are informative and it's good that HUD recognizes the Roseville is a high performing housing authority.*

x-11 First Time Home Buyer

*What are the City's criteria with regard to home selection? Good: Home Buyer's Seminar. How often are these held and how promoted?*

x-12 Great! Density Bonus Program

*What the change needed to be consistent with current state law?*

x-13 Second Unit

*I assume this means Accessory Dwelling Unit (ADU) – needs to be in the glossary. My planning experience with this was the potential problem of sufficient parking area. So, if the street is wide enough, on-street parking would work.*

Condo Conversion

*Interesting, I once lived in a multi-unit rental which had originally been built to condo standards: wall insulation between units which could minimize noise and provide some more fire safety. Also saw this when I inspected (filled in for the building inspector) on condo units.*

x-15 GREAT! Affordable Housing Development Agreement.

*Accomplishment: are the Specific Plans on a Map? Make reference to the location of such.*

*x-16 Accomplishment: are the listed multi-family complexes on a map? (I hope that such maps wouldn't create lack of diversity.)*

*11. In-lieu fees. I found it difficult to read the accomplishments. Perhaps this should be written in more than one sentence.*

x-17 Non-residential Construction Fee

Good points: new employment is a factor in the need for additional housing.

*It's a good idea to establish a non-residential construction fee, but it might be difficult to make fair. How about the mixed uses that could have commercial first floor (parking under structure under and behind) with housing above. Employee, customer, and resident parking needs might create an interesting design challenge, but I've seen it. (Everett, WA)*

x-18 Manufactured units.

*I've seen them built (New York State) as multi-level. I've also vacationed in units that could be moved by tractor or similar. They had a deck – which could be shared with a neighbor, 1 or 2 access doors, bathroom, bedroom and great room which included the kitchen area. They were located in Napa. They were moved because they were located in a flood plain. The flood plain move wasn't good for all year housing, but if another paved area was available might be OK. The flood plain area had green space and trees, as well as a community building.*

x-19 Units at Risk

*How would the projects at affordable risk be made attractive to retain that way? What would be the owner's benefit? A TAX benefit?*

*Again, be sure one can find the accomplishments on a map.*

x-20 Special Housing Needs

HOME Investment Partnership Program (State)

*Displaced homemakers. How do these people learn of this opportunity. Does the City inform attorneys who may be providing divorce help? How about those who need to move because of domestic violence?*

x-20 – 21 Public Services funded since 2013.

*Many of these items seem to have some sort of housing connection. I wasn't sure about the Youth Swim Passport/Sparks. (Include in Glossary?)*

x-22 Local Programs

*I suggest this be entitled: Local Financing Programs.*

*With Roseville General Funds and Salvation Army money, how far will \$3,000 go to help with past due rent, security deposits, first month's rent, past due utility bills and emergency motel vouchers? With these burdens, will those that need money get help on how to choose what to pay?*

x-23

Citizens Benefit Fund. *Suggested clarification:*

*"... serving citizens of Roseville who are eligible ..."*

Auto Mall Fund

*Is there any way to have this again? Has another retail organization considered taking up this service for housing? How about the Chamber of Commerce?*

McKinney-Vento Funds

*HEARTH (add to Glossary) amended the McKinney-Vento Funds. Where is HEARTH described? I may have seen it, but reference to that discussion would be helpful.*

X-24 (part of x-23 Redevelopment w/Mod Income Housing Set Aside Funds)

*...HOME... such as Home Start (insert a colon?) : a transitional ;housing program for families with children.*

Governmental and Non-Governmental Constraints to Housing Program

*This whole section is terrific! ... including the modification of the Public Education Program to “reflect an emphasis on equity”*

x-25

*Again, it’s good to know that the “City will continue to monitor community opposition to affordable housing projects in an effort to remove negative perceptions.”*

*General question on my part: Is it possible that those who have negative perceptions are those who feel that to feel good about themselves they have to try to prove that someone else isn’t as good as they are? Maybe psychologists/psychiatrists ... teachers ... who understand bullying can help with this. Like, asking -- how do you know if a neighbor that looks different, or came from a distant place isn’t as good as you are? If one is alive, respectful, curious, one can care about others.*

x-26 Program: Public Participation

*accomplishments section: tried to see the interactive maps and ended up in Missouri*

*Another Glossary term: RCONA (given here, but would be good in Glossary also. Perhaps a list of RCONA could be included in the document/glossary.*

*GREAT! Housing Choice*

x-28

*Solar requirement: State building code? Has the impact on affordable housing been considered? I support this environmentally, but it would be great if some outside funds became available for those building affordable housing.*

x-29 HOUSING PLAN, Citywide Housing Goals. These are terrific!

*x-30 Goal H-4 looks like planning a mix of housing. Although I’m in a single family home in an RCONA, our home is less than 1,000 square feet, the place across the street is 1100 square feet and the largest may be over 1500 square feet. So, perhaps our 1995 complex is somewhat mixed. However, all of our RCONA is single family. It looks to me like there may be some land along Sun City Boulevard and the 17<sup>th</sup> golf fairway which could support 4-plexes. Not far from school house park there may be some land for similar. The reason I mention a fourplex is that I lived in one and from the street, it looked single family. Some units on a portion of Harding may be 4-plexes or 3-plexes. The design: one unit in front (may be the manager’s unit, but we weren’t managers), one behind and two above. The above units had parking below accessed by an alley.*

Goal H5

*Policy H1.8 How or who would encourage intermix of affordable housing with market-rate units? Back to the 4-plex idea. One of the units behind or up could be maintained (agreed upon) as affordable.*

Policy H1.4 *Why so exact: 5% vacancy rate for both owner and rental units.*

Policy H1.8 *Encourage construction of affordable housing units to be intermixed with market-rate. How? I commented on integrating 3 and 4-plex.*

Policy H1.10. *Again, 3 and 4 plex might fit here. Include in glossary.*

## **Implementation Measures/Programs**

### **FEDERAL AND STATE PROGRAMS**

*Note: all the acronyms in this section need to be in a glossary.*

#### **Section 8**

*After reading **The Color of Law** by Rothstein, this hasn't always worked. Apparently "communities can veto developers' proposals" (p. 190 in the book ...) Does Roseville have any limits on this?*

**HOME** , *a state program*

*The criteria for qualifying looks good, but what are the criteria with regard to home selection?*

x-32

### **ACCESSORY DWELLING UNITS ORDINANCE**

*Suggested edit. ... It also can include efficiency unit. Again: put efficiency unit in the glossary*

### **CONDOMINIUM CONVERSION UNIT**

*I once had the benefit of a rental unit originally built as a condo with insulated separation between units: fire safety and noise limitation. So... if a rental complex could be sold at some time... affordable, the addition of insulation between units might be good. For all I know, all multi units condo or otherwise currently require insulation. (I'm more familiar with New York State building code of the 1980's.)*

### **STREAMLINE PROJECT PROCESSING**

*I suggest reference to Table(s) x-32 ... by page number.*

### **SPECIFIC PLAN AREAS (SPA)**

*I suggest including in the mix: access to employment, education and that there be no limits re: race or ethnicity.*

*...specific parcels... subject to affordable housing ... How selected? Who selects?*

x-34

**Objective. Give page number(s) for Land Use Element Policy LU5.5x.**

x-35 *...in default of the agreement. What are the penalties?*

x-36 UNITS AT RISK

*Please show Colonial Village and Preserve at Creekside on a map.*

*This looks like quite a challenge! Important to include in the Housing Element!*

x-38 *“approved entitlements” This should be included in the glossary.*

x-39 **GREAT! AFFORDABLE HOUSING STREAMLINING. If developers can save time, they save money and thus, makes it easier to develop affordable housing.**

x-40

**HOUSING CHOICE GOALS AND POLICIES**

*Some of these headings might need to be re-arranged.*

*Glossary: FAIR HOUSING as described within the Sacramento Valley Fair Housing Collaborative Analysis of Impediments.*

*GREAT! Along with access to employment, public transportation pick-up points, it’s good to see Child Care facilities. (I enjoyed using a child care facility in a school yard (San Jose).*

**Policy H7.7 What does justice-involved mean? Another glossary item?**

x-41

**Implementation Measures/Programs**

**FEDERAL AND STATE PROGRAMS**

**Section 8 ... Appears earlier. I found some of this on an earlier page.**

x-42

**HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM**

**(Policy h7.5) Time Frame: Ongoing, as funding is available. What sources could become available?**

**HOUSING DISCRIMINATION LEGAL SERVICES Terrific! But how might this be accessed. How would it be done? Once a new Utilities customer makes themselves become known, might they get some information regarding rights and responsibilities? This could include the right to get garbage picked**

*up along with the responsibility of putting out the garbage in the right place. AND ... what to do if discrimination may have occurred.*

x-43

#### HOMELESS OUTREACH

*It's good to see that we have a Social Services Unit. With police "funding" issues getting into the news, does Roseville need another alternative uniformed service unit?*

#### FAMILY REUNIFICATION PROGRAM

*Objective ... reunification of 20 individuals experiencing homeless. Is this per year?*

x-44

#### FAIR HOUSING

*Reference is made to a web-site. Perhaps people needing this info lack a computer. Is there a way to remind people of our library which has computers? (During our Corvid challenge, is a library person required to use computers?)*

x-45

#### GREAT! H8.3

#### REVIEW OF SUBDIVISION IMPROVEMENT STANDARDS AND ZONING ORDINANCE

*Along with the review of Subdivision ... and Zoning ... will there be conformity with the General Plan? Or will the General Plan serve as the control?*

*PUBLIC EDUCATION PROGRAM. Terrific! I don't see the Roseville newspaper, but I do read the Sacramento Bee on line. At one time newspapers included "regional" news, but I'm not sure if the Bee does that. Since Placer County and Roseville are significant with the region, might our city work on getting more news into the Bee? (The LA Times had regional sections. Perhaps social media and non-paper news sources have changed some of this.) Maybe the SACOG could be sure these things are in the Bee. I recently saw a NIMBY article re: east Sacramento. Quite specific. I didn't see any reference to the COG requirements of cities in the region to find a way to have 10% affordable new housing.*

x-48

*Community Solar Program. Somewhere I learned that one could participate in an off-site solar program. Was that a special sale? Our home of less than 1,000 sq. ft. living space might not have enough roof area to make a difference. The cost could overwhelm a couple of 80 year olds. BUT! If we could participate in an off-site solar program with some energy savings and personal savings, it could be tempting. For a solar farm, how close would we have to be?*

x-49

*These tables are informative. ACS needs to be in the glossary.*

x-50

*As part of an SRI study re: earthquake prediction, I learned that parents of kids in elementary school were more interested and aware of the need to know about earthquakes and their impact. I think this parental age group might be 30 – 34 +/- and might be a useful way to reach a portion of the public.*

#### HOUSEHOLD CHARACTERISTICS

*Households Type and Size. This seems to miss an age-restricted HOA like we live in. No children. Few swimming pools, but the Lodge (HOA) facility has a pool as well as rooms for activities that might attract more than would fit in a home.*

x-51 and 52

#### Household Income

*For the over 65 retired, the income doesn't come from active work. Equity comes from previously owned homes. Social security isn't enough to meet needs, pensions help. Could this group have a separate table?*

x-54

#### HOUSING STOCK CHARACTERISTICS

##### Housing Type

*What are single-family attached?*

*Is there a place to include Reverse Mortgages? I'm 80 and if I lose my live-in partner, it's one way I'll be able to afford the utilities, property taxes, homeowners insurance and HOA expense. If I could decide to acquire another home outside an HOA, I don't think I could afford it. Another expense: information and communication.*

x-56

##### Condition of Housing Stock

*Paragraph 2: Reference is made to Figure x-1, so when this is no longer a draft, could a page number be used as well?*

x-57

## Housing Rehabilitation

**Disabled owner-occupied grants for the elderly: to include ramps? Shower holds? Door removal for closets? Lit-up light switches?**

***Will this be included in low income housing support?***

### x-58 2020 Housing Condition Survey Results

***Perhaps it was my printer, but the map was hard to read: couldn't see the lines for the streets. If this could be a 2-page fold-out, it might be more useful.***

### x-60 Housing Cost and Affordability

***The 30% gross income is been the measure I've used throughout my life. It was a good figure for getting a mortgage. Life expenses are more than housing cost, but seem to be key to life in a home: these include homeowners insurance, property taxes, and utilities. If separate, what percent might these typically be? It's good to see that Seniors are included In SPECIAL NEEDS GROUPS: here and on x-63 and x-64.***

### x-65

### Table x-17 Sheltered and Unsheltered Homeless Persons in Placer County, 2012

***Do we have more current data? In my trips to appointments, e-cart, drive through food, and one grocery store, I haven't seen the homeless. On TV, the situation is shown in several major cities in the country. I believe it's a real problem.***

**x-66 and x-67 *Could we have a map showing these locations?***

### x-69

## AVAILABILITY OF LAND

***Key issue, well described through the Benefits of the Specific Plan Process.***

### x-71

### TABLE x-20

***Do the percents of very low income and low income mean % of median income? I'm guessing that Campus Oaks has 42 units at 50% median income. So, the low income 42 are 22.6% of the complex? Or ... roughly one fifth. Do those 42 units have the same access to washer and dryer?***

***Is there a map showing these Apartment Complexes? Will Roseville be getting data by Census Tract once the 2020 Census is complete? Overlaying census tracts over the map that shows affordable apartments made provide interesting info.***

**x-72 ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS**

*Good 1<sup>st</sup> introductory paragraph.*

*Infrastructure. The point that it costs money to provide all that Roseville provides is good.*

*I'd also like to see public transportation pull-outs convenient to multi-family and within an easy walking distance. That could mean more pull outs for busses. With our increasing traffic, some might prefer more public transportation. As a traveler and as a former Seattle resident, I've found busses terrific. However, during COVID, it's hard to recommend right now.*

**x-73 FINANCIAL RESOURCES**

*It's interesting to see how many kinds of resources are available.*

*x-74 under State Programs, the first Time Home Buyers Down Payment Assistance Program looks good, but only 20 over 8 years? How do people learn about this? Would builders, or banks share this information? How would racial equity be established?*

**x-75 - 76 HOUSING CONSTRAINTS**

**Historic and Current Barriers to Housing Access**

*These paragraphs are sadly important and true.*

*x-77 Last paragraph. It looks like Roseville is doing OK. Opportunities for developing equity are essential for more equal access to home ownership.*

**x-78 map: Demographics 2013.**

*Please describe the boundary. If this could be a fold out map 4 x this size, it would be easier to read. Or... include Roseville with a little bit of the area around Roseville. It would be great to have 2020 Census data on a map like this. Even though it's important to meet the deadline, an update when 2020 Census data can be incorporated would be terrific!*

**x-79,80,81**

*These pages are very enlightening.*

*On p. 82, second point, I wasn't sure what "tenant criminal rental" meant. Policy H7.7 helped me understand. It would be useful to know percentages of this category and how those needs are met.*

**x-82**

*First line: ... the City has focused heavily ... Space needed and past tense.*

Land Use Controls for Residential and Commercial Mixed Use

*The commercial mixed use makes sense to me, but near the downtown area, we have a railroad running through. Is noise a consideration? Or ... are there building code standards that help? That's an idea, but when the weather is good, open windows can allow noise. If frequent, that's not good.*

x-83

Zoning Districts

*What page is x-28. In the final version, that reference would be useful.*

Table x-28

Residential Districts

*What zone would include 3- or 4-plex units? (one or two ground floor, one or two second floor)*

Commercial Districts

*Central Business District and Old Town Historic District. Is the Historic District in the area of Church and Washington? Is the Central Business District near the City Hall and the historic building that was once an Arts Center? I think both areas have history, but so is the historic railroad complex.*

x-84

Overlay and Special Purpose Zones

*I suggest including an example overlay zone.*

Residential Development Standards

*Does "the character and integrity of neighborhoods" suggest that the neighborhood is defined by race? If so, not good. Development standards as described are fine.*

x-85

Table x-29 Residential Development Standards

*Shall there be a lot depth? Or is that determined by setback from rear lot line?*

*R3 Might this zone include 3 and/or 4 units a lot? Max number of units could be explaining this, but it looks like more than 3 dwellings would be permitted. I'd like the idea of a separate Zoning District for 3 and/or 4 units a lot.... Alley access for parking would also be good. Question: would the alley be the location for garbage pick up? If so, that might affect width of alley.*

*Front Setback For R1, would 20 or 15 feet limit truck parking or RV parking. If the garage door isn't high enough, this could affect the ability to park certain vehicles. (I see this problem in Roseville Sun City.)*

x-87

Provisions for a Variety of Housing

*Good! By the way, any time a table or map reference is made, I suggest noting the page number. This time, the Table is on the next page.*

x-89

Table x-31 Inventory of MP Zoning Sites AND? Retail – bigger box

*Perhaps unused retail stores could be used. Plumbing is already available for toilet use. Showers would be needed. I've seen several stores standing empty for some time. For example: Toys R Us near Sprouts, Costco and another shopping complex on the other side. If this were made available for housing, it would also provide access to employment. It would be large enough to establish a social services office as well.*

x-90

*The map includes space along Church Street. Might the Railroad create too much noise?*

x-92

Table x-32

*Flood Encroachment Permit Are flood zones an issue in Roseville? I doubt that with our current altitude, having the seas rise might not affect our area? What staff oversees Flood Zones?*

x-93 ENTITLEMENT APPROVAL PROCESS FOR SINGLE-FAMILY AND MULTI-FAMILY PROJECTS

*This page might need to be on a four-sheet fold-out. Difficult to read.*

x-93 LARGE COMMUNITY CARE FACILITIES

*The part about community input for the approval of group housing... was difficult to understand. In that same paragraph, CC&R's are mentioned. Can CC&R's limit use by race?*

x-97 Table x-33 Residential Fee Comparison.

*Interesting that Roseville has some lower fees. Question, for MF is the Total per unit or for the project?*

x-98

Land Costs Lot size Listing Price

*The list looks like it goes from smaller lot sizes to larger ones, but 3.5 acres comes between .22 and .065. Typo?*

x-100

*Last paragraph – thanks for including. In my experience, I felt the down payment basis was 30%. With the price of housing these days, that would be difficult.*

*SENT VIA EMAIL ONLY*

SHA  
Board of Directors

January 26, 2021

Cathy Creswell  
President  
At-large

Trisha Isom  
Housing Manager  
Housing Division, Roseville Housing Authority  
City of Roseville  
316 Vernon Street, Suite 150  
Roseville, CA 95678  
[tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)

Tyrone Buckley  
Vice President  
At-large

Paul Ainger  
Treasurer  
Volunteers of America

Valerie Feldman  
Secretary  
At-large

RE: Public Comments regarding the City of Roseville's Partial Draft Housing Element

LaShawnda Barker  
At-large

Dear Ms. Isom:

Stephan Daues  
Mercy Housing

The Sacramento Housing Alliance submits the following comments regarding the City's draft 2021 Housing Element (DHE). We appreciate Roseville's efforts to address its affordable housing needs and its success in developing sustainable affordable rental homes including the Frederic Lohse Apartments (which received an SHA Excellence award in 2019). Our comments are designed to support and encourage the City's ability to continue and strengthen its successes in addressing the continuing affordable housing crisis. While we appreciate the City released a partial draft housing element to the community, without a land inventory it is not possible to do a complete analysis or review of the element. A comprehensive review of programs and constraints is dependent on a complete land inventory and analysis. As a result, our comments and analyses will likely change (and expand) as more information becomes available. The following represents our comments about the current incomplete draft element.

Tamie Dramer  
Organize Sacramento

Jenn Fleming  
Mercy Housing

John Foley  
Sacramento Self Help  
Housing

Nur Kausar  
At-large

Stanley Keasling  
At-large

Michelle Pariset  
At-large

1. Public Participation (Government Code Section 65583(c)(8)):

The draft element acknowledges that efforts to engage the public are ongoing, so the description is incomplete. We appreciate the efforts the City has made thus far to engage the public and its use of survey's and social media. The element should ultimately describe how the City made a diligent effort to encourage the participation of low and moderate income households and should ensure the

Alicia Sebastian  
California Coalition for  
Rural Housing

Rachel Smith  
Rural Community  
Assistance Corporation

Holly Wunder-Stiles  
Mutual Housing  
California

element describes if and how it has been revised to reflect the comments of the public.

2. Review and Revision of the Element (Government Code Section 65588(a) and (b)):

While the element lists all of the existing programs and in many cases describes the results of the programs (the number of units rehabilitated, for example), a number of the programs should be revised to describe that actual outcomes or the income level of those assisted. This information is critical to effectively evaluate programs and where needed, revising them to be more effective in the coming planning period. Examples of revisions needed include, but are not limited to:

- \* Program 3 Density Bonus indicates that the program/ordinance must be updated to comply with current law, yet the Program in the updated element does not include a revision and indicates the element complies with current state requirements.
- \* Program 8/9/10 Specific Plan Areas: should describe the affordability levels of the affordable units required and the terms of affordability in all referenced developments/plans. This information is important to evaluate the effectiveness of the Affordable Housing Agreements strategy, especially given the growing affordability gap.
- \* Program 11 In Lieu Fees: describe the totals of fees collected and how they were used.
- \* Page X-18: the element indicates the City adopted a reasonable accommodation Ordinance in 2007 and that no reasonable accommodation requests have been processed and the zoning ordinance was amended in 2010 to comply with the requirements to allow emergency shelters by right and that no shelters have been approved. Both programs are critically important to address the needs of vulnerable populations and given that neither has resulted in supports or shelter development, the City should evaluate the ordinances and their implementation to determine whether revisions are needed.
- \* Program 2 Local Programs: the element describes Roseville Community Grant Funds but does not describe how any of the funding provided affordable housing assistance.
- \* Program 1. Process and Fee Structure Review: the element describes the creation and purpose of a new Economic Development Advisory Committee to provide a forum for the public and staff to introduce and discuss suggestions, comments and concerns regarding the development services

function. The use of committees like this can be helpful in providing information, certainty and transparency. It would be helpful to describe any recommendations coming out of the committee and the outcome.

\* Program 3 Public Education Program: the element should describe the outcomes of any education events. How does the City evaluate the effectiveness of this effort—for example, before and after surveys could be taken. This is an important program and the City is commended for prioritizing public education, but given its importance, an effective measure of success is needed.

\* Program 5 Fair Housing: no information is provided to evaluate the success of the City's efforts. Given the new Affirmatively Furthering Fair Housing requirements, it is important the City effectively evaluate its current efforts.

3. Housing Plan (Government Code Section 65583(c)):

The element includes a number of policies and programs, many of which have been successfully implemented over the years. However, many of the programs do not include specific objectives to measure their success and should be modified to demonstrate clear objectives and timing “such as there will be beneficial impacts” within the planning period.

As noted earlier, it is not possible to fully evaluate the programs without a land inventory. As a result, our comments are preliminary and will be revised after the opportunity to review the City's land inventory and program of adequate sites. In addition, the statutory requirements for adequate sites and the site inventory have been significantly revised since the element was last updated. We encourage you to utilize HCD's memorandums of April 23, 2020 AB 686 Summary of Requirements in Housing Element Law and June 10, 2020 Housing Element Site Inventory Guidebook to ensure compliance with the new requirements and for suggestions about how to address them.

Given the continuing impacts of the pandemic and the disproportionate impact on communities of color, the element should describe how it will address or support low and moderate income households and communities of color suffering from the housing impacts of the pandemic (risks of eviction and foreclosure for example).

The following describe questions and recommendations regarding current programs:

- \* Policy H1.3: Has been revised to Indicate the 10% Affordable Housing Goal shall apply “consistent with General Plan Land Use Element Policy LU5.5”. The element should describe Policy LU5.5 and should include a more thorough description of the 10% Goal including tenure, affordability levels and terms and how the negotiation process ensures achievement of the goal.
- \* Program 2 Density Bonus Program: See comment above to clarify whether revision is needed to comply with state law.
- \* Program 3/17 Accessory Dwelling Units: It appears that only 46 ADUs have been approved since 2013, Program 17 should more specifically describe how will the City promote and incentivize additional development of ADUs. The element did not describe the affordability of ADUs, as a result the City should consider strategies to support the development of ADUs by low or moderate income homeowners and to support ADU development affordable to lower income individuals.
- \* Program 4 Condominium Conversion Ordinance: the goal of the program appears to be to support the conversion of rental units to condominiums and describes that the ordinance establishes certain criteria which must be met to convert. However, without a more thorough evaluation of this program and how it has worked in the past, it is not possible to ensure the tenant protections are sufficient.
- \* Programs 7,8,9: these appear to be basically the same program and strategy. The element should clarify and as noted above, it is important to describe the actual affordability goals and terms.
- \* Program 12 Units at Risk: The program identifies Colonial Village and Preserve at Creekside as at risk during the planning period but does not describe specific actions it will take to protect and preserve those units. It describes general actions to monitor and work with nonprofit agencies to dignity funding, but given the City has identified specific units at risk, the element should describe actions specific to those properties.
- \* Program 14 No Net Loss: it is great the City commits to develop and implement an evaluation and tracking procedure to comply with Government Code Section 65863, however the program does not include a specific schedule for when this important action will be completed.
- \* Program 15 Adequate Sites: As noted in the element, it is not possible to evaluate the program and strategies until a compliant land inventory is completed.

\* Program 19 Homeless Prevention and Rapid Rehousing: How many households does the City plan to assist?

\* Programs 21/26 Fair Housing: The element includes a number of laudable goals and policies to promote fair housing but does not appear to include any new actions (beyond the existing programs to fund a fair housing education campaign and funding for legal services assistance). The City should use the HCD guidance on AB 686 to assist in establishing appropriate responses. In addition, SHA would be happy to work with you on strategies.

\* Program 30 Public Participation: the program should also describe how it will ensure the public participation process is not used in a manner to make the development of affordable housing more uncertain or costly.

4. Housing Needs Assessment (Government Code Section 65583(a):

Overpayment: The element should more clearly describe and evaluate overpayment, particularly for renters (including those with severe cost burden (paying over 50% of their income for housing). For example, according to the California Housing Partnership Housing Need Dashboard, 79% of ELI household in Placer County are paying more than half of their income on housing costs (compared to just 5% of moderate income households). The element should more clearly evaluate overpayment by income levels to identify the most vulnerable populations and ensure programs and policies can be targeted to those in greatest need. For example, the element should describe the percentage of total extremely low income renter households, to present a clearer and more accurate perspective of need.

Special Housing Needs:

The element should include an estimate of the number of persons with development disabilities in the City to evaluate the adequacy of existing services and programs. The element should also describe the tenure of large family households as program strategies will vary for renters versus homeowners. Income levels of such households will also help in identifying priority needs.

The element should also provide a more recent assessment of the number and need of persons and families experiencing homelessness in the City.

Units at Risk of Conversion to non-low income units

The element identifies the Colonia Village Apartments and Preserve at Creekside as at risk during the planning period but does not include the necessary assessment pursuant to Government Code Section 65583(a)(9).

5. Affirmatively Furthering Fair Housing:

The element includes a summary of historic patterns of segregation, impact of discriminatory lending patterns and references several important studies of the region, including Roseville. However, the element does not include programs with “meaningful actions” that, when taken together, address significant disparities in housing needs and in access to opportunity for all groups protected by state and federal law. There are other specific requirements related to the City’s land inventory, which should be addressed.

As noted previously, HCD’s April 23, 2020 memorandum on AB 686 includes significant information and resources to comply with the new requirements.

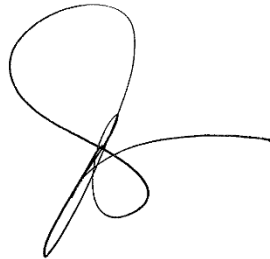
6. Governmental Constraints (Government Code Section 65583(a)(5):

- \* The element should include a description and analysis of parking standards for each zone or planning area.
- \* The element describes land use densities, but should more clearly describe densities for each zone and specific plan area. In addition, the element should provide more information on the impact of the precise density/unit allocation (not a range of densities).
- \* Table X-29 should also describe and analyze the standards and approval process for the CMU zone/District.
- \* The element should describe the impact of only allowing SROs in non-residential zones and the CUP requirement on the feasibility of developing this important housing options (especially important housing option for extremely low-income individuals).
- \* The element should describe High Efficiency Residential Units listed in Table X-30.
- \* Supportive Housing: The element should describe policies or procedures to accommodate AB 2162.
- \* Emergency Shelters: the element should provide more of a description and analysis of parcels identified to accommodate the development of emergency shelters by right, the availability or access to transportation and services, and general City standards for operation of shelters. In addition, the element should describe whether City standards comply with new parking requirements for shelters (pursuant to AB 139, Government Code Section 65583(a)(4)(A)) and compliance with procedures to accommodate Low Barrier Navigation Centers pursuant to AB 101.

- \* Page 99 talks about adding revisions to the zoning ordinance to assist with reasonable accommodations but does not describe the changes. This is particularly important because as noted above, no reasonable accommodate requests have been processed by the City and page X-80 of the element discusses serious housing burdens for people with disabilities.
- \* The element should provide more information about the 10% Affordability Goal, how it has worked, affordability levels achieved, etc.
- \* While the element indicates the Design Standards are clear and objective, it should also generally describe requirements including the checklist referenced.
- \* The element should describe impact of fees on the cost and availability of multifamily development. The City is to be commended for allowing fee deferrals. However, the element notes it does not allow fee waivers for affordable housing, but does reference the City can assist with fee financing. The element should describe how that process encourages and facilitates the feasibility of developments affordable to lower income households.
- \* The element should describe how the City has or will comply with new transparency laws regarding all zoning and development standards for each parcel to be provided on the City's webs (Government Code Section 65940.1(a)(1)(B)) and Roseville's process for complying with SB 35.

Thank you very much for your consideration of our comments. We would welcome the opportunity to discuss these with you at your convenience. Please feel free to contact Kendra Lewis at [kendra@sachousingalliance.org](mailto:kendra@sachousingalliance.org).

Sincerely,

A handwritten signature in black ink, appearing to be 'Kendra Lewis', with a large loop at the top and a horizontal line extending to the right.

Kendra Lewis, Executive Director  
Sacramento Housing Alliance

A handwritten signature in black ink, appearing to be 'Cathy Creswell', written in a cursive style.

Cathy Creswell, Board President  
Sacramento Housing Alliance

Trisha,

I've been able to read/review through page x-118, plus the Riverside plan, and a couple of appendices.

I looked through my comments and have highlighted quite a bit with red ink.

Basically, I am really impressed with the care and detail as the Housing Element Update has been revised.

Two major concerns: I hope those who need the information will read ALL they need to. The other is the suggestion of a Summary Appendix that includes significant changes found in the 2020 Census. I recognize that the timing of this work must be approved before all the 2020 Census is available. However, due to the Covid experience, that additional data could be of great value. I think that the next update should be a period that includes the 2030 census.

I'd be happy to speak at the Planning Commission. Perhaps a printed background showing my source of knowledge (Municipal Planning in California (San Jose), New York (2 towns), and the Seattle Area (King County, and 4 Cities where I also served as a planner on the Puget Sound COG) as well as passing the AICP exam might be useful. I also have quite an interest in child care as I needed it at one time and served on a Community Coordinated Child Care Committee (San Jose). I have also lived in many housing types as an owner and a renter: Single Family, Condo, Apartments (including a 3-story built in the 1930's), and a four-plex.

Thank you for the opportunity to see what City Planning can do!!

Pam Wilkinson

ps: My updated computer made it difficult to "attach" my comments, so I pasted them here.

Comments on the Revised Second Draft Housing Element (June 2021)

*Example of a potential problem: Will developers have workshops to help them understand changes? As a planner in one community, I ran into two developer issues. In one, the radius of the cul-de-sac was an issue and even though the Public Works Director was at the table, the developer or his representative said: I'll have to ask the engineer. In another case, a subdivision had been approved. In comes another developer who must have bought the site and asks for an entirely different subdivision in terms of street design, number of lots, and their sizes and thinks we'll just give him building permits.)*

**HOUSING PLAN: CityWide Housing**

**The 5 goals make sense to me.**

**Note:** Although it doesn't appear as a housing goal, opportunities for employment are important in order to afford housing. This could include child care. I feel child care can be done in residential neighborhoods, included in major business sites, and in larger retail complexes.

## **AFFORDABLE HOUSING**

These goals could consider the above note.

Goal H.4 Integrate the community in terms of income levels is good. This, I hope, will help with fair and good education opportunities for families with children.

Policy H1.2. can be an efficient way to provide affordable housing. However, 4-plexes could include units of a good size for all, or very-low income households.

Policy H1.5. I hope that federal, state, and local subsidies will help with these subsidies. If there's a problem, please be sure it's in the news: press and safe social media.

Policy H1.7 Here's a place where business communities can participate in the affordable housing goal – including space and support for child care for employees or nearby residents.

## **Implementation Measures/Programs**

Housing Choice Vouchers (Federal) and Community Development Block Grant (Federal)

Question: How will those who need and can use these vouchers and grants learn about them?

Same question for Owner Occupied Housing Rehabilitation Program and the Home Investment Partnership Program (HOME) (State)

In later sections, these questions may be answered.

## **DENSITY BONUS PROGRAM**

Looks good. **Might there be a problem with traffic congestion and water supply?**

## **ACCESSORY DWELLING UNITS ORDINANCE**

In some municipalities, sometimes parking can be an issue. Will on-site parking be needed or will street design handle it?

Pages x-16 – x-20 Looks OK

## **RESIDENTIAL LAND INVENTORY GOALS AND POLICIES**

Policy H6.4 Voluntary Rezones looks interesting. If you have a list of developers who could handle this well, make sure to let them know.

#### 15. AFFORDABLE HOUSING STREAMLINING

I hope the developer will EASILY agree to enter into an affordable housing agreement ensuring a minimum of 20% of the unites to low, very low, or extremely low income households. The saving for some of the fees should help.

GREAT! Prioritize Affordable Housing

#### EQUITABLE AND INCLUSIVE HOUSING CHOICE

The Goals and Policies here make a lot of sense.

How will Policy H7.8 re: housing discrimination protection work? I assume if Roseville ever had red-lining, the red-line areas have been erased. I have no idea how that might be done, but I hear it's still a problem in Palo Alto where a very successful multi-millionaire who owned a substantial business couldn't buy a home because of his color and that was fairly recently.

#### 20. HOMELESS PREVENTION AND RAPID REHOUSING PROGRAM

Time Frame: So, how will anyone know funding is available?

#### 22.ADDRESS SIGNIFICANT DISPARITIES AND INCREASE OPPORTUNITIES

"off the street" Who or what agency or organization finds people in this situation? I can see homelessness when I head to Sutter Health Field when go through Sacramento County and City, but haven't seen it in Roseville. JUST FOUND THE ANSWER: #23 HOMELESS OUTREACH. I'm glad our Roseville Police Department has a Social Services Unit.

#### 26. REGIONAL HOUSING PROGRAMS

I hope the other agencies will be responsive and helpful.

#### 27. FAIR HOUSING AND HOUSING DISCRIMINATION LEGAL SERVICES

This whole section makes sense. Perhaps more often than annually makes sense. Re: Fair Housing Workshop. There may be 'seasons' for relocating housing. For example, Spring may be a time when people look for another place to live, or in August as the school year approaches.

SECTIONS 28 AND 29 MAKE SENSE. If a problem arises, provide news.

#### GOVERNMENTAL AND NON-GOVERNMENTAL CONSTRAINTS TO HOUSING PRODUCTION

**Policy H8.3. Yes, support job growth. This may also mean improve access to child care so a parent may work. Child care can be on a residential site with appropriate design, on elementary school grounds, and as part of a major company or a significant retail site. (Note: I was on the Community Coordinated Child development Council (aka 4 C's) in San Jose/Santa Clara County when I was an officer of AAUW, divorced with a 4 year old child, and I had child care in a building located on an elementary school site. The SJSU had established these facilities during WWII so women could work. I used it in ~1970-71.)**

#### **Implementation Measures/Programs**

**Terrific! The Economic Development Advisory Committee can do a lot. Could this committee be part of workshops to help implement the new Housing Element?**

#### **32. PUBLIC EDUCATION PROGRAM**

**SUPER! Please include the Sacramento Bee in addition to the local newspaper and the City's newsletter. I know the "press" is having financial issues, but when I worked at the LA Times, there were Regional Issues once a week. Might Roseville or Roseville/Rocklin/Lincoln be such a Region – especially for land development and perhaps highschool sports?**

#### **33. PUBLIC PARTICIPATION**

**Yes, with the cost of mailing, it may be costly to mail hearing notices and notices of intent to approve a project to properties within 300 feet of the project. However, I think hearing notices should reach a larger area. (As a planner, I remember needing to meet newspaper deadlines for published hearing dates which included some information about the project. Signs posted on the site for development proposals (not just General Plan amendments) is another way to reach the public. True, another cost. However, public comment can help avoid difficult design issues. And, yes, there can be negative behavior.**

#### **RESIDENTIAL ENERGY EFFICIENCY AND CONSERVATION**

**Looks good. The Community Solar Program looks reasonable. For some reason, I had thought that every new house had to have solar. ( Our home is small, but if we could participate with a field of solar and save money, that might be great.)**

#### **QUANTIFIED OBJECTIVES, COMMUNITY PROFILE, Age Characteristics, Race and Ethnicity.**

**These tables are useful. Once the 2020 Census date is available, it would be good to provide a 2020 Census Appendix with this information. Perhaps a Summary document could be part of this.**

#### **HOUSEHOLD CHARACTERISTICS.**

**Another feature for the 2020 Census Appendix.**

When it comes to income, retired people may have a moderate to low income, but they may have had equity in their housing, so don't have to pay a lot for owned housing. If they owned a home with substantial equity, the purchase in Roseville may have used a lot of this equity, so the mortgage may be modest. This can be true for those with reverse mortgages as well. Is there a way to gather this information? (I live in a 55 and over community and my equity from a previous home helped a lot!)

## **EMPLOYMENT CHARACTERISTICS**

Useful tables.

## **HOUSING STOCK CHARACTERISTICS**

It's good to know so few units needed substantial rehabilitation or were dilapidated. The cost of moderate improvements could be quite expensive: roof and window repairs. Painting costs can vary.

## **HOUSING REHABILITATION**

It's good to know that Roseville has such a program. *As time goes on, will the ages of homes play a role in deciding how many units will be helped? Sun City Roseville just turned 25 years old. With the exception of some roofing problems, I believe many homes are OK. Our Foundation Volunteers who help with replacing light bulbs too high to reach, and smoke and fire alarms, safety in our HOA is helped. However, during the pandemic, that volunteer program didn't take place. Our other problem is with fencing during windstorms. Neighbors are supposed to work together to pay for replacing fences (share the cost). Are fences one of the issues considered Housing Rehabilitation?*

## **HOUSING COST AND AFFORDABILITY**

Yes, sales prices in this neighborhood are really high and in many cases, the homes are sold the first weekend they are on the market – with several offers OVER the asking price.

The RENTAL PRICES have a huge range?

**The Housing Affordability Table really emphasizes the difficulty for lower income households.**

## **SPECIAL NEEDS GROUPS**

**It's good to see that Roseville has an Annual Action Plan to help these people.**

**AND... Placer County's program has a lot for Persons with Disabilities. It's good to read that some of these people are employed: 40%!**

**AND ... the Reasonable Accommodation Ordinance helps a lot!**

It's interesting to see that Roseville has included details for those with developmental disabilities and what they need. *The Alta California Regional Center has provided good information. Based on some of my many experiences, autism has a huge range from the constantly angry and frightening behavior to*

the inability to pay attention to being somewhat social and very, very intelligent. Parents and helpers for these people have a huge challenge.

### **Female Heads of Household**

I've been in this category. Child care while working was quite a challenge – especially when the governor (Reagan) said that there should be no sliding scale relative to income for public child care. I was within \$4 of deciding to go on AFDC. (1970-72... San Jose) Actually, I can't remember whether I made the more expensive choice, but the care my son was getting and the benefits of my being employed helped me make the decision. I had to drive him to child care (on an elementary school ground) and then turn around and go past our rental to go to work. Also, I had to pick him up by or before 6 PM and there were times when my work demands could cause me to be late. If I was late too often, I would lose the child care.

### **Seniors**

I'm a **Senior**. I live with another Senior. **We're "independent"**. Our home is all at one level. Our "assistance" is monthly cleaning, and mailed medication. We pay for these. We also pay for Genworth insurance: Long Term Care. We independently save for and pay annually. My last payment was about \$2,300. So, when we see that full time care can currently cost more than \$8,000 a month, the insurance cost makes sense. Besides homeowners and car insurance, that's the only insurance we buy. So, considering the cost per month, the insurance makes sense. Our policy cost goes on hold if we need LTC up to 4 years.

It's good to see that there's Electric Rate Assistance and Medical Support Rate Reduction. Surely, our use of a CPAP might fall into this category. Our combined income level may be too much to seek this help.

### **Large Families**

It's good to see we have enough units for this category. I hope the programs to help will be sufficient along with the 10% affordable housing goal.

### **Farmworkers**

Doesn't Roseville have some open space used for herds of cows?

### **Homelessness**

It's good to see that there is a lot of coordination between agencies, medical services, and non-profits.

I've seen one interesting idea on the news (I don't think it was Roseville) where parking areas were provided for the homeless staying in their cars. The parking areas were supplied with porta-potties and, I believe, a hand-washing facility. I've seen highway rest-stops where the restrooms were being renovated. Those seemed to have more facilities – perhaps a way to do more personal bathing.

See the issues listed in the Bob Erlenbusch Special to the Sacramento Bee in the June 16, 2021 edition.

Based on what I've read in the Roseville Second Draft Housing Element, a lot of these items have been addressed. The articles re: homeless in this edition of the Bee have included the need for Sacramento County to work with the City of Sacramento. In the Roseville Element, that is included. Use of Covid funds is also mentioned. However, the commitment to use the funds for housing needs seems sparse at this point.

### **ANALYSIS OF AT-RISK HOUSING**

Good details. At-risk housing – expirations of affordable units may become an issue. It's good to know these will be monitored and that tenants will be notified.

The approaches described: Transfer of Ownership, Purchase of Affordability Covenants and Rent Subsidy are reasonable, but will they be feasible when needed? In the 10-year period, the difficult years will be 2024 & 2025 and then 2029 & 2030. 2024 is three years away. It's possible that the tools will be available then. **Eight years from now, a lot of policy and our financial lives can change.**

### **Construction of Replacement Units**

**As described, it's clear that this could be challenging to achieve. Current costs of construction have changed substantially. Will it level off? Can new, different methods and materials be developed to make replacement units suitable at a lesser cost?**

### **PUBLIC AND PRIVATE NONPROFIT ENTITIES**

It's good to see that there are quite a few. I hope they will be able to continue helping this problem.

### **RESOURCES FOR PRESERVATION**

Hopefully, the Federal programs can continue, if not be increased to meet increased needs. Will the annual revenues to the Building Homes and Jobs Trust Fund continue to provide a permanent and adequate source of funds for affordable housing? **What assures the City that the Housing Choice Voucher program will have the funds needed?**

It appears that the funds for the affordable units at Junction Crossing will be sufficient.

**I didn't see Junction Crossing in Table X-20 Affordable Housing Developments.**

### **Unit Conservation**

The point of giving First Time Homebuyer Down Payment Assistance seems to depend on the cost of homes in Roseville decreasing and the program receives future funding. With the cost of building materials increasing, this may be difficult. However, perhaps it will work with older homes.

The HCV handled by the RHA helps the property owner which may conserve the availability of affordable housing.

I've wondered whether the Federal Reserve could step in and help Lenders holding Mortgages avoid the need of collecting interest and money due. After all, if a bank has lent money for building, the plan is to be paid back. In challenging times, perhaps this can wait so the renter or buyer currently stressed financially can improve their situation. *(Am I a dreamer, or what? )\_*

Energy conservation can help individual homeowners and renters.

When, who and how will the non-profits be contacted to gauge their interest and ability in acquiring and/or managing units at risk of conversion? Have the groups listed been asked to focus on this section of the Housing Element to get their interest and commitment? *I think the answer to this question shows up later in this document.*

## **RESIDENTIAL LAND INVENTORY**

### **REGIONAL HOUSING NEEDS ALLOCATION**

The SACOG table (X-24) shows that the percentage of total regional units needed just exceeds 50% for the extremely, very, and low income levels. *Is the total number of units needed: 12,066 a high enough estimate?*

### **AVAILABILITY OF LAND AND SITES INVENTORY**

This looks like a challenge: realistic capacity. The housing element has chosen an analysis for determining units and affordability by providing an analysis. It's good to show the units per acre for above moderate income housing and moderate income housing needs. *In my past experience, typical suburban area with water and sewer systems were at about 7 units per acre for single family homes. Densities of 13 units per acre or more tended to be used for condos or apartments.*

It's good to see that mixed use developments will open up a supply of higher density, lower cost housing. It's good to see that halfplexes can be used and that the more dense housing units can be mixed with larger units so that there is a mix for size of household.

It's good to see that Roseville contacts local affordable housing developers to learn what they felt feasible. The minimum number of units (100) made it more feasible for these developers.

Table x-25 Affordable Housing Developments explains what has been done. *Affordability expires as early as February 2025 – that's about 3 ½ years from now.*

### **Sites Inventory**

Based on this table, the discussion indicates there will be a shortfall which can be addressed in Housing Element Program 14 (Rezone Program) and within Appendix E. I wish that these sections had included page numbers.

----- *(will return to ~x -67 after I review Appendix E)*

Appendix E: The Development Standards and Regulatory Incentives for Commercial Corridors provide developer incentives for affordable housing. **Cutting out park land dedication fees can save money, but will park areas be accessible?**

Public transit could help this and the Atlantic Street Corridor would be a good place to improve public transit.

A Corridor Plan is needed for the Douglas-Harding Corridor which could save developer money and make affordable housing more feasible. Again, will the Specific Plan allow mixed use zoning. Specific Plan to include rezoning most of the area to Commercial Mixed Use which could include residential uses with a Minor Design Review Permit. Remove development barriers (and expense). Good opportunity here for 100 lower income units.

### Summary Evaluation

It's good to know that the Downtown Specific Plan has been successful in developing lower income units. **Will Appendix C where sites in the Rezone Program are described be sent to potential developers to help promote the change?**

### INFILL INTENSIFICATION

**An Infill Intensification strategy could remove barriers but would be a lot of work. And ... might the existing homeowners and renters resist such changes? What would encourage these people to want change? I think zoning changes might not worry people, but once a developer proposes change or starts to build, could the current residents fear "lower income" people? It's important to emphasize that the costs of housing for teachers and firemen make it difficult for them to live here in Roseville.**

### OPPORTUNITY SITES

1. City Property at Blue Oaks and Westbrook Boulevard. Yes, this could be a demonstration site, but would giving up Commercial Zoning throw even more traffic onto Blue Oaks and Fiddymont? **How about a mix where first floor used on Blue Oaks provides retail and upper floors residential uses. Another challenge: the road noise.**
2. Harris Property. It's good that the EIR recognized that this Urban Reserve parcel would be developed with a land uses similar to that in the balance of the Plan Area.
3. Shea Property. **Because of the proximity to Highway 65, etc. a rezone here could be productive, but could be a challenge in terms of space for livable (not-to-noisy) housing.**
4. Conference Center Drive Property. Again BP provides a buffer between HWY 65 and residential uses.

Comment: It's good and will help Roseville meet the requirements of finding ways to provide more housing, including affordable housing with these opportunity sites.

### VACANT SITES – RESIDENTIAL INTENSIFICATION

This applies to the western areas of the City. The process to improve density here makes sense – unless the single family homeowners worry about higher densities and lower income residents.

It's vital that current residents understand the region's need for housing and that all CITIES have to figure out a way to provide the housing.

How to address the shortfall is in the Rezone Program and within Appendix E.

*End of my comments on Appendix E*

Back to x-67 / x-68 of the Housing Element

#### UNDEVELOPED RESIDENTIAL LAND INVENTORY

Table x-29 shows several Specific Plans with Parcel Number, Land Use, Zoning, Acres, Allocated Units, Density, Undeveloped Units, and whether included in previous inventories for housing elements.

The Amoruso Ranch Specific Plan has 3 parcels of approximately 25 units per acre: suitable for lower income (919 units).

The Creekview Specific Plan has densities of 29 to 32 units per acre providing 420 Lower Income units.

North Central Roseville Specific Plan has one parcel number with HDR (2 sets of acres) with 19 units per acre. This area was in a previous inventory. (322 units)

North Industrial Planning Area has only low and moderate densities. This wasn't in a previous inventory as is true for all but the North Central Roseville Specific Plan.

North Roseville Specific Plan has one parcel with high density for moderate income units. There are 98 undeveloped units which were in a previous inventory.

Sierra Vista Specific Plan has 20 low density parcels for the above moderate income. The greatest density here is 6.6 units per acre. There are 18 moderate income parcels which could produce 1827 units. There are 9 parcels for lower income (HDR and one MDR). Here the densities range from 7.9 to 30 dwelling units per acre. This area has 40 du in mixed use zoning. The notes for this table show the affordable housing obligations for selected parcels.

West Roseville Specific Plan. The West Roseville Specific Plan was included in a previous inventory. Five parcels are for above moderate income but includes one parcel with a density of 23.7 du/acre. According to the note, there's an application in progress for high-end apartments with rents to exceed \$2,500. The parcels for moderate and lower income have somewhat similar densities with the

exception of parcel number F-6C which has 307 units with a density slightly less than 12. Again, the notes are helpful.

Infill Plan Area. There are a lot of parcels with densities less than 7 units per acre. For above moderate income, the units per acre are minimal: 1 to 3 units with the exception of one parcel with 12 units. Some of these parcels were included in a previous inventory. Many moderate income parcels here would be able to have 1 unit. Many of these are part of PD66. Two parcels with larger acreage would support more units per acre (22.4 and 24.4). Only 7 units would serve the lower income. These 7 units are part of two parcels also serving moderate income. A senior apartment complex is in the notes.

### **Specific Plan Areas Realistic Capacity.**

The language in this section explains a lot.

### **Infill Development Realistic Capacity**

Again, the language here explains why the area is at what it is. Since it's an area established before the 1980s the area has no Specific Plan. It was included as part of the City's 2035 General Plan and accompanying EIR, approved in 2020. *Did I read it correctly: it's part of the City's 2035 plan?*

### **UNDERUTILIZED LAND INVENTORY**

This description shows how well the City has worked on opportunities for affordable housing. Table x-30 on page x-81 describes the Downtown & Riverside Gateway Specific Plan High Density Residential Opportunity Sites. These were included in a previous inventory. The residential densities range from 14.5 to 58.1 units per acre.

### **Underutilized Land Realistic Capacity**

In this section, I was able to look at the Specific Plan for the Riverside Gateway. It was adopted in 2005, so I felt I might see some changes. The streetscape on Riverside looked like most, if not all done. Perhaps one automotive use wasn't as complete as the others. I drove a lot of it, to see if anything had changed in the neighborhoods. I'm not sure if I saw a change, but I did see two or three compatible two-story apartment complexes. *The alley one-way system had not been set up as I saw speed limits facing both ways. The drainage was in place for the alley. Was that done after 2005?*

*So, with my limited time, I've had a chance to review one of these plans and see that they are very carefully crafted and have used a very good combination of participants. I also realize that since 2005, we've had a recession which has probably affected some efforts at change.*

Now that the cost of building materials has increased a lot, it's difficult to think that the changes will take place during the plan's time. Has there been any discussion about alternative structural materials? We noted that some of the interior construction in one of the buildings at the new Nugget complex on Blue Oaks have used steel. In the past, I've seen 2x4 wood studs used for interior walls.

It looks like parking will continue to be a challenge. Riverside sidewalks look pedestrian friendly and that there are metal “fences” marking frontages of automotive uses somewhat more attractive. The plantings help too.

Three and four story uses will need elevators. Is that a difficult expense for developers and future users?

Zoning: the CMU/SA-RG zone will help development and it’s flexibility will help the process.

Then one yukky thing that I saw as I drove the Riverside area: apparent re-sales of old stuff.

### **Downtown Specific Plan**

I wish I had more time to spend on this plan. Based on reading X-84 to ... I find it interesting to continue use of single room occupancy residential units and high efficiency ones. Parking requirements appear to have been eased – but will that work?

The Fees and Process changes should help.

The information re: application of standards looks like it will work. Hopefully, allowing the market to “dictate” won’t cause distrust by surrounding property owners.

### **ACCESSORY DWELLING UNIT INVENTORY AND REALISTIC CAPACITY**

Again, the term “realistic” makes sense. I’m aware of one family where the senior family members joined a household of children and their child. The room arrangement – all on one floor made sense. The bathroom distribution, rooms for rest AND independence also made sense. A kitchen was shared. So, I don’t think this household fits the ADU definition. I doubt if any generation at this place needs “affordable” housing. However, the youngest person may come of age and need housing as they enter the adult world. Perhaps this person will need “affordable”. So, how can Roseville “count” this as meeting the affordable goal?

### **ENVIRONMENTAL AND INFRASTRUCTURE CONSTRAINTS**

Mention is made here re: encroachment into agricultural land. As I recall, an earlier section stated that Roseville had little agricultural land. But I see cows in fields which I believe are within the boundaries of the City. Perhaps it’s true that we have very few agricultural workers who need housing. Near Lincoln, I believe there are agricultural workers who live on-site. How would that situation be counted? And, would it be considered affordable housing?

**Environmental** I’m glad the City protects flood plains.

**Infrastructure** The Public Facilities Element includes contributing to water, wastewater, electric parks and recreation, police and fire services, as well as school funding. Certainly, this will affect the cost of housing but it will also make for a reasonable source of housing and opportunities through education services. Might the school funding include school ground facilities for child care? Pre-K may be an

educational feature, but full day care is needed for the working parent. What agency would be responsible for this use? Departments of Education? School Districts?

It's good to know that Roseville's Specific Plan process ensures there is sufficient water, sewer, electrical, and other service supplies to support full buildout.

Concerns: WATER. Is ground water part of this resource? Will there be enough?

## **OPPORTUNITIES FOR ENERGY EFFICIENCY AND CONSERVATION**

It's good to know that Roseville's efforts consider climate change. The heat of recent years becoming earlier in the year makes it all too clear that the world has a problem. I value living in a City that cares and is doing it's best. (I once worked on a Technology Assessment of Winter Orographic Augmentation of the Colorado Basin. Congress had looked at 12 years of weather and water before distributing water supply to the states of California, Arizona and perhaps two other states. The allocation made sense because over those 12 years the supply was similar. BUT! The weather changed. The study I was part of at SRI may have been funded by RANN (research applied to national needs). It was done in the early 1970's. A lot has changed: including the congressional choice to not continue funding the Office of Technological Assessment.)

## **FINANCIAL RESOURCES**

### **Federal Programs**

It's good to know that Roseville is aware of and can assist in these programs. The information about HEARTH and the Rapid Transition to Housing – one of 1987 and the other in 2009 was confusing. It's good that Roseville will continue to participate, and will do so with Placer County over the 8-year period of the Housing Element.

### **State Programs**

There are quite a few programs. Two look "iffy" re: future funding: BEGIN and Federal Emergency Shelter Grants.

First Time Home Buyers Down Payment Assistance Program looks great, but only assisting about 20 households in the eight year period doesn't look like much.

The City, however, is optimistic re: Cal Home, administered by HCD since Roseville has submitted success applications for eligible activities.

The other programs look like they are active.

### **Local Government Programs.**

I hope the \$250,000 can help more than a few homeless persons. It looks like non-profits help this process. I doubt that the homeless have easy access to electronic communication. Are City Library computer systems made available to them?

## **Private Programs**

### ***Citizens' Benefit Trust***

It's interesting to see how the sale of our hospital has been able to generate interest with a PORTION to improve quality of life for Roseville citizens. The **Grants Advisory Commission** reviews grant applications and makes recommendations to City Council. **QUESTION: What recommendations have been made? What benefits re: housing – affordable and otherwise.**

*REACH FUND* It's great to see that Roseville employees give. Here, we see how the funds are dispersed.

*Developer Contributions* These funds help with mortgages, and otherwise help with making housing affordable for those purchasing and renting.

*Non-profit corporations* advocate and educate. It's interesting to see that our charter allows the City to sell surplus property to non-profit firms without a competitive bid.

*Project Go* helps implement development of affordable housing (MF). This outfit also helps with energy expense.

Five non-profit corporations work with the City to build affordable housing utilizing the Low Income Tax Credits Program.

**QUESTION: Are all these agencies, programs, and non-profits listed in an appendix with a brief mention of focus and contact information?**

*Reverse Annuity Mortgage* can help elderly homeowners. The City refers residents to the Community Services Department's: Housing Division's Residential Rehabilitation Program.

*Private funding* might help. The City doesn't control this. Who knows what will happen over the 8-year program.

## **FAIR HOUSING ASSESSMENT**

### **Introduction and Overview of AB 686**

This bill was signed in 2018 and requires each city or county to overcome patterns of segregation, address disparities in housing needs and access to opportunity, and foster inclusive communities. AFFH

QUESTION: City or County. Could this mean City AND County? If a County does, does the City need to also? This question may pertain to other areas of the state. I have a feeling that City of Roseville staff are capable of trying to tackle these issues. Keeping the public informed may be essential.

### **Assessment of Fair Housing Issues**

Much of this info (AI) was done in 2020 by the Sacramento Valley Fair Housing Collaborative.

### **HISTORIC AND CURRENT BARRIERS TO HOUSING ACCESS**

Good to know: barriers to access is known as fair housing. Is this concept in the GLOSSARY to describe fair housing? Both terms: barriers to access AND fair housing could each be defined – even if one defines the other.

1870's Chinese disenfranchised

Redlining 1930-2004. (Is redlining in the GLOSSARY?) The paragraph for this clearly identifies what happened, but not WHERE. What about Roseville?

### **FAIR HOUSING ENFORCEMENT AND OUTREACH**

Based on my Google research, the California Fair Employment and Housing Act was adopted in 1959. So, does that mean that restrictive covenants which were on property within Roseville at that time continue?

It's great that the City provides fair housing outreach materials.

### **INTEGRATION AND SEGREGATION PATTERNS AND TRENDS**

Roseville tends to be plain white (less diverse), but has become more diverse in recent years. It'll be interesting to see what's learned from the 2020 Census. I understand I may be living in the fastest growing Census Tract in the State: 95747.

Figure X-5 on P.x-94 shows "Racial Predominance by Census Tract". There was a green color code for Hispanic Majority, but no green showed on the map. As I interpret the map, Predominant gap "greater than 50%" explains a lot of Roseville. Sizable gap for white is in the lightest beige – that area doesn't seem very developed. A gap of 10% - 50% is a huge gap. This is one area of information that could be improved with the 2020 Census. Again, I recommend that a Summary with Census updates be made available in the next year or so. Perhaps, since this document must be adopted this year – before a lot of the most current census data is available, my proposed Summary may only give some focus to the efforts.

## **Dissimilarity Index**

This is very complex. Roseville seems to lack dissimilarity when compared with other cities. I.E. :Roseville's dissimilarities are less in every category when compared with all the other jurisdictions.

## **Familial Status**

Since the impacts of COVID, I wonder what data would show up now for Figure X-8. Again, the data from the 2020 Census might help. However, the data shown are from 2015-2019. In Roseville, it looks like there are 3 areas with as many as 20 – 40% of the households have a female householder, no spouse/partner present. These areas, and perhaps more if data suggests it, need full-day care for children. Does or do the schools in those areas have child care? Are homes/facilities approved for that care?

## **Disability**

Yes, I live in the portion of Census Tract 95747 where 20 to 30% have a disability. However, Sun City Roseville is an active community. This Census Tract has significantly grown: perhaps more than most in the area, if not in the State.

## **Income**

Roseville's poverty level is less than surrounding areas. The areas shown on Figure X-10 show that some of the older parts of Roseville have lower income ranges. This also appears true for Sun City Roseville where most live on savings, retirement programs, and were able to buy property because they had equity in previous homes.

## **RACIALLY AND ETHNICALLY CONCENTRATED AREAS BY INCOME**

It's interesting to read that the poverty rate for Black families has dropped, but the poverty rate for Hispanic families has gotten worse. The poverty problem for Hispanic families almost doubled.

### **Racially or Ethnically Concentrated Areas of Poverty**

I hope the new program in the Housing Element will help first-time home-buyers in the City. Apparently the area that has the greatest housing burden is impacting Hispanic households in one census tract. The new program targets that area.

### **Racially or Ethnically Concentrated Areas of Affluence**

Apparently, Roseville is somewhat Affluent.

## **ACCESS TO OPPORTUNITY**

Asian households have better access to proficient schools when compared with Hispanic and Native American residents. This ties in with poverty. Most, however, have good access. **This is another opportunity to encourage good child care opportunities – tied in, perhaps, with school districts.**

### **HCD/TCAC Opportunity Areas**

The problem area is near Vernon – in the older part of town near the Railroad Tracks.

### **Educational Opportunity**

The older, more eastern part of the City has lower education scores. **How can the City of Roseville through the Housing Element help improve that situation?**

### **Proximity to Jobs**

**It is recognized that the western part of the City: also the largest Census Tract require longer trips to work.** Overall, Roseville has greater job opportunity index scores than the neighboring cities of Rocklin, Loomis, Lincoln, Granite Bay, and Citrus Heights. **Improved Public Transportation would help. Some residents work in Sacramento – government employment.**

### **DISPROPORTIONATE HOUSING NEEDS**

Some may have a “housing problem” based on the effects of discriminatory actions.

### **Overpayment**

**Overpayment also means cost burden. Are these terms in the Glossary?**

Since 2015 fewer homeowners overpay for housing.

Renters are more likely to have a cost burden.

Figure x-16 shows, I believe, Census Tract 95747 as having a 60 – 80% overpayment by renters from 2010 to 2014. I doubt that there are very many renters in that tract. In Figure x-17 Overpayment by renters looks like it has dropped substantially.

The overpayment by home owners, as shown in Figures x-17 and x-18 has decreased in many Census tracts. Perhaps the resales of homes in the northwest of Sun City Ropseville shows such an overpayment. **Is that a very large number? If that is Sun City, those newcomers are Seniors, perhaps adjusting to HomeOwner fees as well as taxes.**

### **Overcrowding**

The area with the greatest overcrowding is near Interstate-80 and the railyards. **This is an area that will need more attention.**

## **Displacement Risk**

Again, the census tracts that have this risk are defined as difficult areas in other parts of this section of the Housing Element. There are more Census Tracts with this risk than the Overcrowding Risk.

## **Rates of Homeownership**

The honesty of the Housing Element re: disparities in homeownership is important to read. It is now illegal to redline, steer, blockbust, unfair lending, and discriminatory pricing.

Roseville does have disparate rates of homeownership, but the issue is less than half of studied jurisdictions!!. THE HOUSING ELEMENT INCLUDES A NEW PROGRAM TO TARGET OUTREACH FOR THE FIRST-TIME HOMEOWNER BUYER ASSISTANCE FOR NEIGHBORHOODS WITH A CONCENTRATION OF HISPANIC HOUSEHOLDS. Hispanic households make up the largest minority group in Roseville.

## **OTHER RELEVANT FACTORS**

The denial rates for mortgages seem unfair, even though credit histories may not be as good as for others with lower denial rates. In some cases, it appears to be solely due to race. **Lenders pay attention: "Lenders earn significantly more from loans made to Latinx and African American homebuyers."** This certainly impacts the challenge of homeownership for everyone.

*SENT VIA EMAIL ONLY*

SHA  
Board of Directors

July 20, 2021

Cathy Creswell  
President  
At-large

Trisha Isom  
Housing Manager  
Housing Division, Roseville Housing Authority  
City of Roseville  
316 Vernon Street, Suite 150  
Roseville, CA 95678  
[tisom@roseville.ca.us](mailto:tisom@roseville.ca.us)

Tyrone Buckley  
Vice President  
At-large

Paul Ainger  
Treasurer  
Volunteers of America

RE: Public Comments regarding the City of Roseville's July 8 Adoption Draft Housing Element

Valerie Feldman  
Secretary  
At-large

LaShawnda Barker  
At-large

Dear Ms. Isom:

Stephan Daves  
Mercy Housing

The Sacramento Housing Alliance (SHA) submits the following comments regarding the City's draft 2021 Housing Element (DHE). We really appreciate Roseville's efforts to address its affordable housing needs. We also recognize and appreciate the significant efforts and commitment to engage with SHA by you and Lauren Hocker, Senior Planner. Our last meeting was particularly helpful in understanding a number of the City's current and proposed regulatory and program strategies. The current Adoption Draft element addresses many of our prior concerns. Our comments below represent the areas of the element that still require revision to ensure the City can continue and strengthen its successes in addressing the affordable housing crisis and fully comply with State housing element law.

Tamie Dramer  
Organize Sacramento

Jenn Fleming  
Mercy Housing

John Foley  
Sacramento Self Help  
Housing

### 1. Implementation Measures and Programs

Nur Kausar  
At-large

The following describes changes still needed to comply with the law. In addition, we note that many of the programs are identified with a timeframe as ongoing and "at least annually," however it is not always clear what at least annually refers to (what program component) nor does it adequately respond to the statutory mandate to have concrete deadlines that demonstrate a beneficial impact within the planning period:

Stanley Keasling  
At-large

Michelle Pariset  
At-large

Alicia Sebastian  
California Coalition for  
Rural Housing

Rachel Smith  
Rural Community Assis-  
tance Corporation

Holly Wunder-Stiles  
Mutual Housing Califor-  
nia

- **Program 1/19 Federal and State Programs:** While this program has been revised to note geographic targeting for the homeowner rehabilitation and first time homebuyer program, we recommend the rehabilitation program also target areas of identified segregation. Given the importance of these strategies to affirmatively furthering fair housing, the City should conduct

analysis on beneficiaries as discussed in Program 27, including review of the zip code, and other demographics including race, language, and disability and implement affirmative marketing to groups who have limited access to the program, as part of the housing element annual progress report.

- Program 10 Non-residential Construction Fee: The City is to be commended for conducting the necessary nexus study to adopt a non-residential construction fee to support the development and retention of affordable housing. However, we recommend the program also include a commitment to prioritize affordable housing in areas of high opportunity or in areas at risk of displacement (as committed to in Program 9 In-lieu fees). This is especially important since the City does not regularly collect in-lieu fees and the adoption of a nonresidential construction fee will likely generate resources that could and should be effectively targeted.
- Program 18 Accessory Dwelling Unit Outreach Program: We recommend the City outreach to owners of single family homes in addition to multi-family sites.

## 2. Fair Housing Assessment: Affirmatively Furthering Fair Housing:

The City's analysis identifies many areas of the City that have suffered from historic disinvestment and remain segregated. While the programs describe general and specific strategies to potentially address these issues, they do not include specific commitments to any particular strategy or definitive timeframes for implementation. As noted in HCD's June 15, 2021 review, goals and actions must specifically respond to the analysis and identified contributing factors to fair housing issues and must be significant and meaningful enough to overcome identified patterns and trends, Actions *must* (emphasis added) have metrics and milestones as appropriate." For example, one of the strategies indicates the City will "Continue and adopt policies to prevent displacement, yet the program does not describe when these new policies will be adopted. Another policy commits to "Create and fund housing plans to move people from emergency COVID sheltering to permanent affordable housing,..., and again the program does not commit to when those funds and rehousing plans will be adopted.

Program 27 also commits to: (1) Monitor how public sector investments can contribute to economic changes in neighborhoods, possibly accelerating displacement of low-income residents. (2) In making planning decisions, be aware of how the built environment communicates inclusiveness or exclusiveness to different types of residents. However, there is no specific commitment to how those strategies will be implemented. Will the City adopt a specific monitoring program on the

impact of public investments? The element should specifically address how those measure will be implemented and tracked over time.

The programs should more directly commit to target resources and strategies to ensure investments are equitably going where needed most, and residents are not displaced as neighborhoods are revitalized.

3. Adequate Sites Program:

The element identifies a shortfall of sites and includes an adequate sites program (Program 14 Rezone Program for Adequate Sites). While the element identifies a number of potentially effective strategies because it does not commit to any specific actions to provide needed sites, the element does not demonstrate adequate sites will be available pursuant to the statutory deadline. The element should identify specific areas and strategies from the menu of options and commit to adopting enough of the strategies to demonstrate the City can meet its shortfall of adequate sites.

Thank you very much for your dedication to Roseville and your consideration of our comments. We have appreciated your willingness to meet with us several times and look forward to our continuing partnership.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kendra Lewis', with a large loop at the top and a horizontal line extending to the right.

Kendra Lewis, Executive Director  
Sacramento Housing Alliance

A handwritten signature in black ink, appearing to read 'Cathy Creswell', written in a cursive style.

Cathy Creswell, Board President  
Sacramento Housing Alliance

**From:** [Derek Pell](#)  
**To:** [Hocker, Lauren](#); [Isom, Trisha](#)  
**Subject:** Housing Element Update - Questions  
**Date:** Thursday, July 15, 2021 12:51:30 AM

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**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Good evening Ms. Hocker and Ms. Isom,

My name is Derek Pell, I'm a Roseville resident, fairly new to the city having moved here in late 2019. I have been looking into the Housing Element update and it is clear that city staff have put in a lot of work to navigate the complex land use of the city and attempt to meet the required housing needs of future Rosevillians! Thank you for your hard work on behalf of the community. I haven't particularly dug into civic issues such as land use, zoning, or affordable housing before, so please pardon any ignorance on my end (maybe some of this is unrelated to the Housing Element, I am not 100% sure on how all the different city plans and codes interact), however I feel that I should make my voice heard, nonetheless.

In general, I am concerned that the city appears to remain focused on low-density single-family housing through much of the city. This leads to un-sustainable sprawl, growing affordability issues, and economic and racial disparities. This seems to be an opportunity to propose a bold plan to address these issues, though it is my opinion that the current draft does not get to the root of the problem. I am particularly interested in the Infill Area of the city, partly because I live here, and also that urban infill is the most impactful local policy that can address greenhouse gas emissions. In short, Roseville can meaningfully address climate change if the city allows the production of more homes near job centers and transit.

On page 12 of the Adoption Draft, it is stated that early discussion with the community included "Prioritizing infill development, particularly in commercial corridors, paired with discussions on how to promote conditions that result in "naturally occurring affordable housing" as well as "Policies or programs which could result in more medium density housing, such as bungalows and duplexes" I have a couple questions related to these items:

- Was any consideration given to implementing specific plans over a larger area of the Infill Area? I have participated in the first community meeting about the Commercial Corridor plans, but these appear narrowly scoped to avoid altering the zoning or land use of surrounding neighborhoods.
- It appears that the Medium Density Residential land-use density of 7.0 - 12.9 du/acre is actually inconsistent with what is typically called "Missing Middle Housing", which likely exceeds this density with duplexes, four-plexes, bungalow courts, small apartments, etc. Has thought been given to a form-based zoning code for areas of the Infill Area? [This has been shown to decrease the barrier to creating this missing housing](#) while encouraging development that fits into the surrounding neighborhood. In my neighborhood - Folsom Road, there are a significant number of duplexes and multiple units per lot. This makes for a denser, more diverse and walkable neighborhood that I very much enjoy.
- I noticed that policy H2.11 (related to this "medium density" housing) is only addressed by two implementation measures - the Condo Conversion Ordinance and the Preservation of Affordable housing. Neither of these promote housing such as duplexes or bungalows. Are there other plans the city has to implement this policy? Such

as creating land-use categories that are specifically intended to deliver missing middle housing, that allow higher densities but require smaller buildings to achieve those densities, particularly within determined walkable contexts.

Thank you very much for your time and consideration.

Derek Pell

--

[derek.j.pell@gmail.com](mailto:derek.j.pell@gmail.com)

(530) 863-0662

**From:** Pam Wilkinson <pammwilkinson@gmail.com>

**Sent:** Thursday, July 22, 2021 4:29 PM

**To:** Isom, Trisha <tisom@roseville.ca.us>

**Subject:** The Redlined Housing Element

Thank you, thank you, thank you -- all of the planning department who worked on the updating of the Housing Element.

I've read most of the redlined version and continued to find that my input was included. Maybe I'm not alone re: child care, glossary, etc.

Pam Wilkinson

former city planner in local governments in California, New York and Washington state.

## Hocker, Lauren

---

**From:** Abundant Minds Freelance Consulting <abundant.am@gmail.com>  
**Sent:** Friday, July 16, 2021 1:49 PM  
**To:** Housing Element  
**Subject:** Millennials want to see more Revitalized History - next to New Modernity. Don't write over the past; hold space for what was within what will be.

Dear Roseville Planning Commission,

As a local millennial, I am personally invested in the changes planned for Roseville. I want to see my hometown's history preserved. As an informed citizen, I believe in it is prudent for Roseville to make active efforts to include preservation safeguards in all long-term city planning.

Therefore,

Please consider this formal request: the 2021 Housing Element should include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing.

Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

The Petition | Belvedere Preservation Alliance

BELVEDERE PRESERVATION ALLIANCE . This petition calls for the City of Roseville to take the first step towards ensuring the preservation of Roseville's historical properties.

[savehistoricroseville.org](https://savehistoricroseville.org)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Alyssa June Maspero, M.A.

Executive Assistant to the Community Manager

Diamond K Estates

16 Richards Drive

## Hocker, Lauren

---

**From:** Ed Beazley <edlikesgettingemail@gmail.com>  
**Sent:** Monday, July 19, 2021 7:07 PM  
**To:** Housing Element  
**Subject:** Preserve Roseville

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

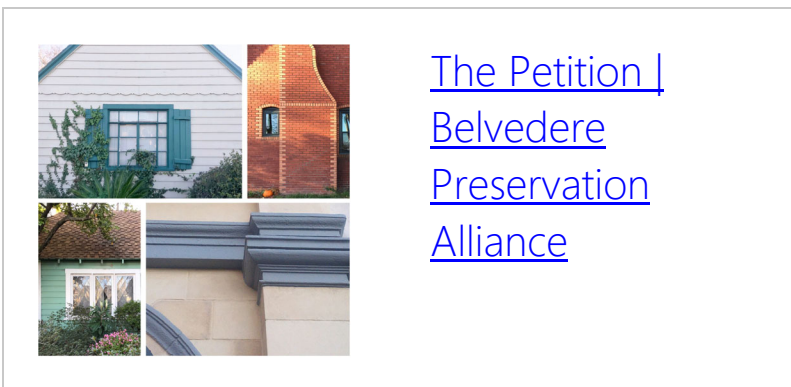
Dear Roseville Planning Commission,

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Ed Beazley

## Hocker, Lauren

---

**From:** Ashton Bohm <ashtondbohm@gmail.com>  
**Sent:** Wednesday, July 21, 2021 1:04 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Ashton D. Bohm  
Program Instructor, Studio 700  
Arc of Placer County

**Hocker, Lauren**

---

**From:** brittinghamgarrido <brittinghamgarrido@att.net>  
**Sent:** Friday, July 16, 2021 12:51 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

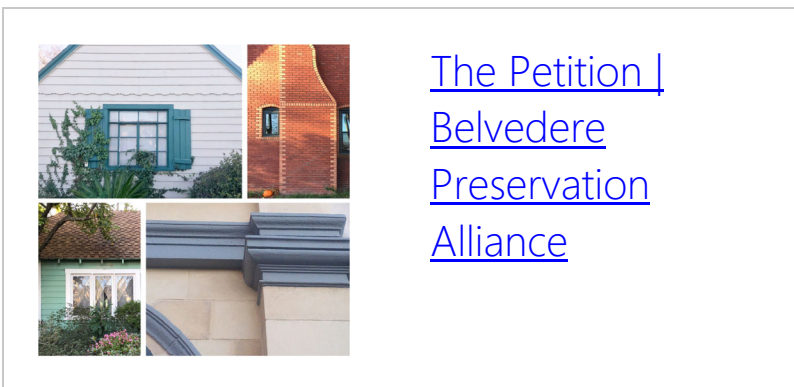
Dear Roseville Planning Commission,

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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Dana Brittingham

Sent via the Samsung Galaxy S10e, an AT&T 5G Evolution capable smartphone

## Hocker, Lauren

---

**From:** Megan Constancio <megan@pac-cap.com>  
**Sent:** Friday, July 16, 2021 5:01 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

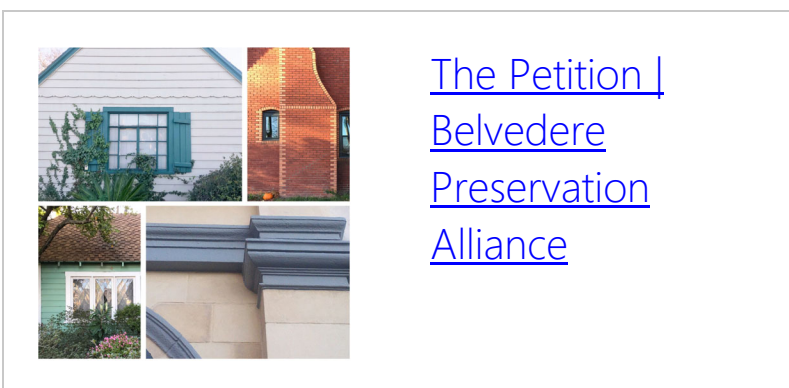
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<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Megan Constancio

Sent from my iPhone

## Hocker, Lauren

---

**From:** Jennifer Esparza <jenesparza@surewest.net>  
**Sent:** Thursday, July 15, 2021 10:06 AM  
**To:** Housing Element  
**Subject:** Historical Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

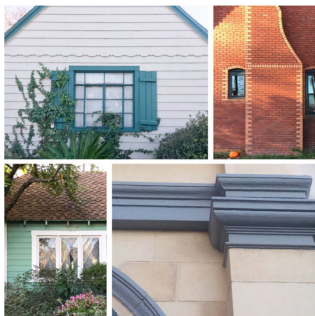
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I am a third generation Roseville resident and take pride in the city I live in. I volunteer weekly as a docent at the Roseville Historical Society and visitors regularly express their feelings of the importance of preservation. This town has an incredible history and has become what it is today because of the 'pioneers' that worked tirelessly to build it. Not honoring that is careless and does everybody a disservice.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

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<https://savehistoricroseville.org/the-petition>



[The Petition | Belvedere Preservation Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Jennifer Esparza

## Hocker, Lauren

---

**From:** Allison Foster <allisoncfoster@me.com>  
**Sent:** Tuesday, July 20, 2021 3:54 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Allison and I was born and raised in Roseville, I love this city! As a young adult (30), I am actively thinking about where I want to be when I start my family in the next 5 years and I would love to see Roseville keep it's charm while it is experiencing such huge growth. I think there is an inaccurate idea that the upcoming generations do not value historical aspects. This is wrong! We love to thrift, we love sustainably, and we love history! These all go hand in hand with preserving the historical architecture of our city. Cities with historical preservation show that the town cares about more than just money and expansion. That is a huge draw for me and many of my fellow millennials! I urge you to save Roseville's history!

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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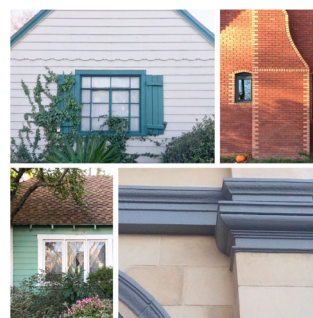
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<https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Thank you for your time and consideration!

Sincerely,  
Allison Foster



[The Petition |  
Belvedere  
Preservation  
Alliance](#)

## Hocker, Lauren

---

**From:** Travis <travis59@surewest.net>  
**Sent:** Thursday, July 15, 2021 5:10 AM  
**To:** Housing Element  
**Subject:** Historical Preservation

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

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The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Travis Fowler  
305 Sierra Blvd  
Roseville Calif 95678



**Hocker, Lauren**

---

**From:** Christopher Guzman <chris@magmacreative.com>  
**Sent:** Wednesday, July 14, 2021 8:26 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I'm Chris Guzman, owner of Magma Creative, Inc. in downtown Roseville. I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

	<p><a href="#">The Petition   Belvedere Preservation Alliance</a></p>
---	---

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,



**Chris Guzman**  
Creative Director

**p.** (916) 780-1181  
**m.** (916) 300-7430  
**w.** MagmaCreative.com  
**a.** 530 Oak Street., Roseville, CA 95678



## Hocker, Lauren

---

**From:** Brittany March <brittanymarchhomes@gmail.com>  
**Sent:** Wednesday, July 14, 2021 12:34 PM  
**To:** Housing Element  
**Subject:** Historical Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Brittany March, I am a local real estate agent in the Roseville community. My husband and I own a 1905 home in Sierra Vista. We love the charm, the history, and the community that Roseville has to offer. I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



### [The Petition | Belvedere Preservation Alliance](#)

BELVEDERE  
PRESERVATION  
ALLIANCE . This  
petition calls for the  
City of Roseville to  
take the first step

towards ensuring the  
preservation of  
Roseville's historical  
properties.

[savehistoricroseville.org](http://savehistoricroseville.org)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Brittany March

--



## Hocker, Lauren

---

**From:** Moriah Toledo <moe.grammer@gmail.com>  
**Sent:** Friday, July 16, 2021 2:45 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element Input

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.


Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](https://savehistoricroseville.org/the-petition)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

We love this town, and our historic districts. It's of the utmost importance that we protect it for our future generations to come.

Sincerely,  
Moriah Toledo

## Hocker, Lauren

---

**From:** Jeremy Ocampo <ocampo.jeremy@gmail.com>  
**Sent:** Thursday, July 15, 2021 5:41 PM  
**To:** Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Jeremy Ocampo

## Hocker, Lauren

---

**From:** Lauren Paulson <laurenpaulson17@gmail.com>  
**Sent:** Tuesday, July 20, 2021 4:08 PM  
**To:** Housing Element  
**Subject:** Historic Preservation Ordinances

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

Thank you for considering this, I feel very strongly that preservation of worthy historic buildings is an important issue for me as a Roseville resident.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and I ask that they be recognized and preserved with the adoption of a historical preservation program.

Thank you again,

Lauren Paulson

## Hocker, Lauren

---

**From:** Robert <rlplionel@yahoo.com>  
**Sent:** Sunday, July 18, 2021 9:16 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Greetings,

As a resident living in an older Roseville neighborhood, I would like to see the 2021 Housing Element include adoption of ordinances that would facilitate the preservation and reuse of historical buildings when creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the draft plan. General Plan 2020 had preservation goals that weren't met and this would be an opportune time to meet them. I would like to see historical properties restored and creatively reused to meet housing needs, rather than unnecessarily demolished to make way for new buildings.

By adopting an historical preservation program, which would include the creation of a Roseville register of historic properties and ordinances to go along with them, historic building owners who choose to register their buildings would have access to grants, tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. There is a current petition for the adoption of a historical preservation program that has over 600 signatures, at least 135 of which are historic building owners. Preserving our history is something that local residents care about.

You can read the petition statement, which includes preservation goals mentioned in General Plan 2020 at: <https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and I ask that they be recognized and preserved with the adoption of a historical preservation program. Thanks for your consideration.

Robert Powell  
153 Nevada Avenue

## Hocker, Lauren

---

**From:** Alexa Roberts <alexaroberts@hotmail.com>  
**Sent:** Wednesday, July 14, 2021 11:50 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

We want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Alexa Roberts  
President & Founder  
Belvedere Preservation Alliance  
Instagram: @belvederepreservationalliance

**Hocker, Lauren**

---

**From:** Jan Roberts <jan.roberts@unishippers.com>  
**Sent:** Wednesday, July 14, 2021 1:06 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020) at:

<https://savehistoricroseville.org/the-petition>



[The Petition | Belvedere Preservation Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Jan G. Roberts, President  
Roberts Freight Consultants, Inc., dba Unishippers

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**UPS SMALL PARCEL** *PLATINUM PROGRAM FOR BUSINESSES*

**LTL CORE CARRIERS PROGRAM** *PLATINUM FREIGHT RATING AND SUPPORT*

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Office: 916-782-2872 x 108

Fax: 916-782-1233

[jan.roberts@unishippers.com](mailto:jan.roberts@unishippers.com)

[www.unishippers.com](http://www.unishippers.com)

[sacfreight@unishippers.com](mailto:sacfreight@unishippers.com) - Quote requests

<https://www.unishippers.com/content/video/about-us.htm> - 90-Second Unishippers Movie

Each office is independently owned and operated

## Hocker, Lauren

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**From:** Stacey Roberts <stacey.roberts@unishippers.com>  
**Sent:** Wednesday, July 14, 2021 2:05 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element - Preserving Roseville's History

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](#)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Stacey Roberts  
Vice President  
Roberts Freight Consultants, Inc.,  
**(916) 782-2872 ext. 101**  
(916) 300-2313 / Cell  
(916) 782-1233 / Fax

## Hocker, Lauren

---

**From:** Leslie Summerill <lsummerill@gmail.com>  
**Sent:** Tuesday, July 20, 2021 4:09 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

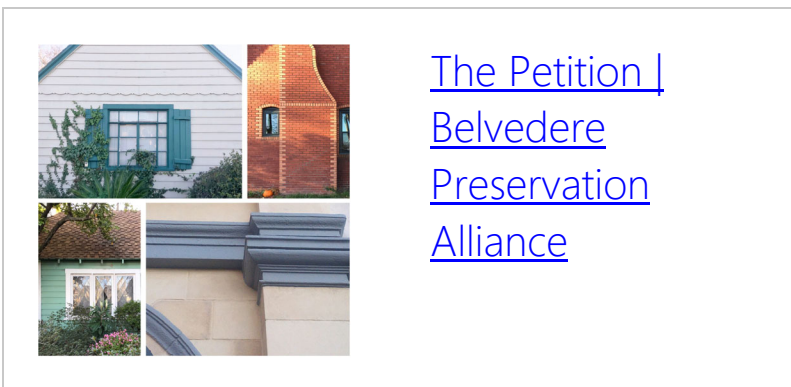
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Leslie

--

Leslie C. Summerill  
916-804-7481  
700 Grove Street  
Roseville, CA 95678

## Hocker, Lauren

---

**From:** Shawn Foster <shawnxfoster@gmail.com>  
**Sent:** Wednesday, July 21, 2021 4:05 PM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

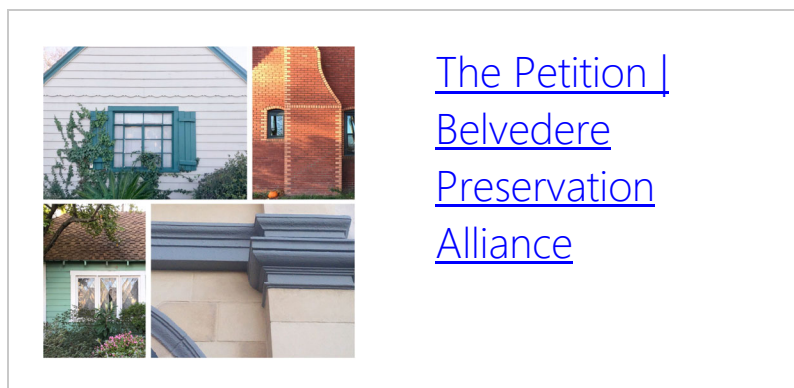
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Shawn Foster

## Hocker, Lauren

---

**From:** Mike Hazen <MHazen@tiltonpacific.com>  
**Sent:** Thursday, July 22, 2021 8:13 AM  
**To:** Housing Element  
**Subject:** Register of Historic Properties and Preservation Program

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

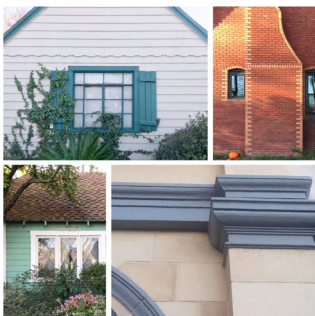
My wife Jamie and I have been Roseville residents all of our lives. We live in the Central part of Roseville in a home built in the 1950's and we believe a register of historic properties in Roseville is a good idea and encourage you to consider adopting a preservation program to protect the history of our City.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



[The Petition |  
Belvedere  
Preservation  
Alliance](https://savehistoricroseville.org/the-petition)

The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,

Mike and Jamie Hazen  
408 Dudley Drive  
Roseville CA 95678  
916-741-8785

**Mike Hazen**  
Environmental, Health and Safety Director



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CA 488531 ID RCE-37104 NV 38814 OR 187493 UT 11133033-5501 WA TILTOPC909CP

**Corporate Office**  
4150 Citrus Ave.  
Rocklin, CA 95677-4000  
(916) 630-7200 x222  
(916) 741-8785 mobile

[MHazen@tiltonpacific.com](mailto:MHazen@tiltonpacific.com)  
[www.tiltonpacific.com](http://www.tiltonpacific.com)

This message contains confidential information and is intended only for the individual named. If you are not the named addressee you should not disseminate, distribute or copy this e-mail. Please notify the sender immediately by e-mail if you have received this e-mail by mistake and delete this e-mail from your system. E-mail transmission cannot be guaranteed to be secure or error-free as information could be intercepted, corrupted, lost, destroyed, arrive late or incomplete, or contain viruses. The sender therefore does not accept liability for any errors or omissions in the contents of this message, which arise as a result of e-mail transmission. If verification is required please request a hard-copy version.

**Hocker, Lauren**

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**From:** Evan Mackall <e.mackall1992@gmail.com>  
**Sent:** Thursday, July 22, 2021 10:58 AM  
**To:** Housing Element  
**Subject:** 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Best,  
Evan Mackall

## Hocker, Lauren

---

**From:** Sarah Martinelli <sarahmartinelli46@gmail.com>  
**Sent:** Wednesday, July 21, 2021 3:39 PM  
**To:** Housing Element  
**Subject:** Please read

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

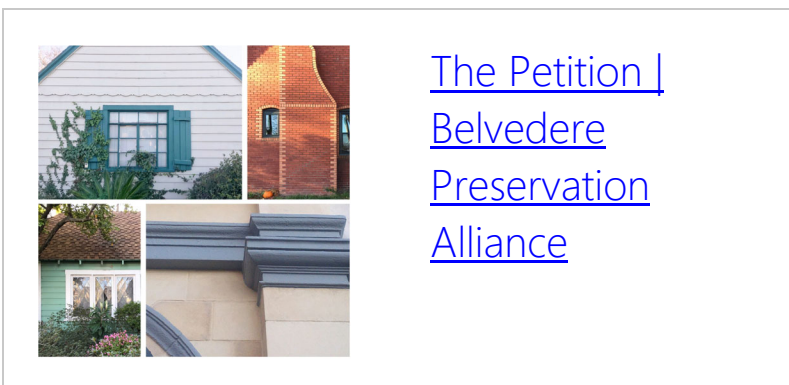
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 622 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Sarah Martinelli

## Hocker, Lauren

---

**From:** Lyndsey Reed <lyndsey.reed@gmail.com>  
**Sent:** Thursday, July 22, 2021 3:23 PM  
**To:** Housing Element  
**Subject:** Roseville needs Historic Preservation

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

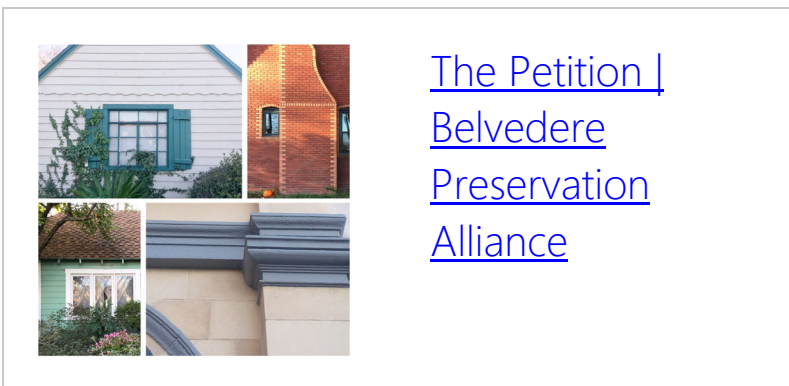
Dear Roseville Planning Commission,

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020)at:

<https://savehistoricroseville.org/the-petition>



The 2021 Housing Element directly affects our historic areas and we ask that they be recognized and preserved with the adoption of a historical preservation program.

Sincerely,  
Lyndsey Reed  
Life-long Roseville Resident

## Hocker, Lauren

---

**From:** Danny Silveira <danny.silveira1985@gmail.com>  
**Sent:** Thursday, July 22, 2021 12:19 PM  
**To:** Housing Element  
**Subject:** Public comment: 2021 Housing Element

**EXTERNAL:** This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Dear Roseville Planning Commission,

My name is Danielle Silveira and I am a descendant of William Sawtell (great-great grandfather) and Martin A. Schellhaus (great-great-great-grandfather) who were both influential cultural figures in Roseville history. I am also a new resident of the community and proud to call Roseville my home.

I want to see the 2021 Housing Element include the adoption of ordinances that would facilitate the preservation and adaptive reuse of historical buildings when it comes to creating new/low income housing. Though much of the specific plan area includes historic properties, there's no mention of them in the plan draft at all. The General Plan 2020 had preservation goals that haven't been met and this is a perfect time to meet them. We would like to see historical properties restored and creatively reused to meet housing goals, rather than unnecessarily and wastefully demolished to make way for new buildings.

By adopting a historical preservation program, (which would include the creation of a Roseville register of historic properties and ordinances to go along with them), historic-era building owners who choose to register their buildings would have access to grants, historic tax credits and other financial incentives to rehabilitate their buildings for new residential/mixed uses. We have an ongoing petition for the adoption of a historical preservation program that has 605 signatures, 135 of which are historic-era building owners. This is something that locals are concerned about.

You can read that petition statement (which includes the preservation goals mentioned in the General Plan 2020) at:

<https://savehistoricroseville.org/the-petition>

Thank you very much for time ~

Sincerely,

Danielle Silveira

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# XI. GLOSSARY





**Accessory Dwelling Unit** – An attached or detached dwelling unit that provides complete and independent living facilities ancillary to a main dwelling unit on the same premises as a single-family or multi-family dwelling unit. An accessory dwelling unit includes permanent independent facilities for living, eating, sleeping, cooking, and sanitation. Dwelling units of this type provide an affordable housing solution for small, low-income households (usually one to two persons).

**Acre-foot** – Quantity of water covering an acre to a depth of 12 inches; units of measurement used in water contracts; an acre-foot is equal to 326,000 gallons.

**Active parkland** – Accommodates structured recreational activities, such as organized sports, that generally require specialized facilities and management that may restrict general use of the park.

**Affordability** – The maximum percentage of income determined to be appropriate for allocation to housing needs.

**Homeowner household** – Housing costs of middle to above moderate-income households should not exceed the maximum percentage of gross income allowed by mortgage lenders for qualifying home buyers, estimated at 35 percent; maximum housing costs for low-income households, including principal, interest, taxes, and insurance, should not exceed 30 percent of gross household income.

**Renter household** – Maximum rent for very low and low-income households should not exceed 30 percent of gross household income; maximum rent for middle-income households should not exceed 35 percent of gross household income; moderate and above moderate-income households are determined not to require rental housing assistance and should pay whatever they decide to be appropriate.

**Annex** – To incorporate a land area into an existing district or municipality with a resulting change in the boundaries of the annexing jurisdiction.

**Archaeological** – Relating to the material remains of past human life, culture, or activities.

**Article 34** – This reference is a provision in the State Constitution that requires that voter approval must be obtained before any public entity undertakes programs to own, manage, or finance housing where more than 49 percent of the units are set aside specifically for those in the low-income category.

**Ambient Air Quality** – The atmospheric concentration (amount in a specified volume of air) of a specific compound as actually experienced at a particular geographic location that may be some distance from the source of the relevant pollutant emissions.

**Ambient Noise Level** – The composite of noise from all sources near and far. In this context, the ambient noise level constitutes the normal or existing level of environment noise at a given location.

**Assisted Unit** – A housing unit that is currently bound, as a result of receiving financial assistance by federal, state or local regulations, to remain affordable to lower-income households.

**Assumptions** – Assumptions are conditions, events, or forces that are expected to exist or occur no matter what we do in a particular planning effort.

**Attainment Area** – An area that is in compliance with the national and/or California ambient air quality standards for a particular pollutant.

**Best Available Control Technology (BACT)** – The most stringent emission limit or control technique that has been achieved in practice that is applicable to a particular emission source.

**Bikeways** – A term that encompasses bicycle lanes, bicycle paths, and bicycle routes.

**Capital Improvement Program (CIP)** – A program, administered by a city or county government, that schedules permanent improvements, usually for a minimum of five years into the future, to fit the projected fiscal capability of the local jurisdiction. The program generally is reviewed annually for conformance to and consistency with the general plan.

**Carbon Monoxide (CO)** – A colorless, odorless gas resulting from incomplete combustion of fossil fuels. CO interferes with the blood's ability to carry oxygen to the body's tissues and results in numerous adverse health effects.

**CNEL. Community Noise Equivalent Level** – The average equivalent sound level during a 24-hour day, obtained after addition of approximately five decibels to sound levels in the evening from 7:00 p.m. to 10:00 p.m. and ten decibels to sound levels in the night before 7:00 a.m. and after 10:00 p.m.

**Community Benefit** – includes benefits, in proportion to the scale of a proposed project or plan including, but not limited to affordable housing, significant open space or recreation facilities, job creation, infill development near transit service, or other public benefits that would accrue to existing and future residents of Roseville.

**Complete Community** – a community or neighborhood that meets the basic needs (housing, employment, goods and services, etc.) of all residents through integrated land use planning, transportation planning, and community design.

**Complete Streets** – are those that provide a balanced, multimodal transportation network that meets the needs of all users of streets, roads, and highways, defined to include motorists, pedestrians, bicyclists, children, persons with disabilities, seniors, movers of commercial goods, and users of public transportation.

**Condominium** – The legal arrangement in which a dwelling unit in an apartment building or residential development is individually owned but in which the common areas are owned, controlled, and maintained through an organization consisting of individual property owners.

**Congestion Management Plan (CMP)** – A mechanism employing growth management techniques, including traffic level of service requirements, standards for public transit, trip reduction programs involving transportation systems management and jobs/housing balance strategies, and capital improvement programming, for the purpose of controlling and/or reducing the cumulative regional traffic impacts of development. Assembly Bill (AB) 1791, effective August 1, 1990, requires all cities and counties that include urbanized areas to adopt, by December 1, 1991, and annually, update a Congestion Management Plan.

**Conjunctive Use** – This is the coordinated use of surface water and groundwater, where each source is used more when it is relatively more available to maximize sufficient and sustainable yield.

**Conservation** – The maintenance of housing affordability through the use of various programs aimed at either reducing rents or preventing the units from being converted to uses other than affordable housing.

**Consistency** – Consistency of a proposed project is the degree to which it complies with the General Plan policies and overall intent of the Plan; the project must represent a balanced compliance with all of the General Plan policies.

**Constraints** – Constraints are physical, economic, social, or political circumstances that impede or make more difficult the response to an issue.

**Decibel (Db)** – A unit for describing the amplitude of sound, equal to 20 times the logarithm to the base ten of the ratio of the pressure, which is 20 micropascals (20 micronewtons per square meter).

**Density** – The average number of families, persons, or housing units per unit of land; usually density is expressed “per acre.” Thus, the density of a development of 300 units occupying 40 acres is 7.5 units per acre.

**Density Bonus** – The allocation of development rights that allows a parcel to accommodate additional square footage or additional residential units beyond the maximum for which the parcel is zoned, usually in exchange for the provision of affordable housing or preservation of an amenity at the same site or at another location.



**Density Transfer** – A way of retaining open space by increasing densities - usually in areas adjacent to existing urbanization and utilities - while leaving unchanged historic, sensitive, or hazardous areas.

**Efficient Use of Land** – This refers to development patterns that provide relatively more usable building space per land area or a greater number of dwelling units per land area. This would involve relatively less land devoted to roads, setbacks, and other spaces that do not provide for jobs, economic activity, housing, public services, or other productive uses. Efficient use of land involves relatively compact development that reduces housing costs, household transportation costs, allows freedom of transportation mode choice, improves energy efficiency, reduces the City's cost of providing services and enhances fiscal sustainability, and reduces environmental impacts, among other benefits.<sup>1</sup>

**Emission Offsets** – Enforceable emission reductions from existing sources to partially or completely offset anticipated emission increases associated with new or modified sources. Historically, emission offsets have applied to stationary rather than mobile sources.

**Emission Rates** – The amount of pollutants emitted during a particular period.

**Floor Area Ratio (FAR)** – The percentage of floor area (including all floors and not just the “foot print” of a building) when compared to the lot or parcel area.

**General Plan** – The General Plan is a document prepared under provisions of State law that describes and documents a community's decisions concerning its future.

**Greenbelt** – A strip of land reserved for open space or park land between two developed areas, often providing pedestrian or bicycle connections between the developed areas.

**Gross Developable Acres** – Land designated as residential use excluding overhead power lines and their easements, areas within the designated 100-year floodplain, and for the Low- and Medium- Density Residential land use designations any right-of-way and landscape corridors associated with collector and arterial roadways.

**Goal** – An ideal future end, condition, or state related to the public health, safety, or general welfare toward which planning policies and implementation measures are directed. General expressions of community values and, therefore, somewhat abstract in nature. They are often not quantifiable, time-dependent, or suggestive of specific actions for achievement.

**Gross Income** – Total income before taxes or other deductions.

**Group Quarter** – A complex that houses non-related groups of people (e.g., orphanages, convalescent homes, etc.).

**Historic** – Associated with an important local, state, or national event or representing an outstanding example of an architectural period.

**Housing Costs** – Principal, interest, taxes, and insurance payments paid by the homeowner; rent payment and utilities paid by the renter.

**Implementation** – Implementation is everything that is done to carry out an adopted General Plan. Organized set of actions or activities carried out in response to adopted policy or to achieve certain objectives.

**Important Visual Resources** – These include native oaks equal to or greater than six inches diameter at breast height, oak woodlands, and stream corridors.

**ISO (Insurance Services Office) Rating** – A measure of a fire department's effectiveness in fighting area fires. This rating is based on the facilities and equipment, personnel, and quantity of water available for firefighting.

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<sup>1</sup> For more detail, please see Our Built and Natural Environments: A Technical Review of the Interactions Among Land Use, Transportation, and Environmental Quality, United States Environmental Protection Agency, June 2013.

**Income Categories** – The City recognizes five income categories:

**Very low** – Household income is 50 percent or less of the median income for a household of similar size.

**Low Income** – Household income is between 50 and 80 percent of the median income for a household of similar size.

**Middle Income** – Household income is between 80 and 100 percent of the median income for a household of similar size.

**Moderate Income** – Household income is between 100 and 120 percent of the median income for a household of similar size.

**Above Moderate Income** – Household income is greater than 120 percent of the median income for a household of similar size.

**Indirect Source** – A facility, building, structure, installation, or combination thereof, that generates or attracts mobile sources, thereby resulting in emissions.

**L<sub>dn</sub>. Day-Night Average Sound Level** – The average equivalent sound level during a 24-hour day obtained after addition of ten decibels to sound levels in the night after 10:00 p.m. and before 7:00 a.m.

**L<sub>eq</sub>. Equivalent Sound Level** – The sound level containing the same total energy as a time varying signal over a given sample period. L<sub>eq</sub> is typically computed over one, eight, and 24-hour sample periods.

**L<sub>max</sub>** – The maximum sound level recorded during a noise event.

**L<sub>n</sub>** – The sound level exceeded “n” percent of the time during a sample interval. L<sub>10</sub> equals the level exceeded ten percent of the time (L<sub>90</sub>, L<sub>50</sub>, etc.).

**Level of Service** – A scale that measures the operating capacity likely to be encountered on a roadway or at the intersection of roadways, based on a volume-to-capacity ratio, with levels ranging from A to F, with A representing the lowest volume-to-capacity ratio and the highest level of service.

**Liquefaction** – Process by which loose, sandy soil with a high water content is shaken as a result of earthquake activity and loses its ability to act as a solid surface and to support structures.

**Material Recovery Facility (MRF)** – System that will separate and recover waste products for recycling, reuse, or conversion to energy resources.

**Median Income** – The income level at which 50 percent of total households earn more and 50 percent of the households earn less. The Roseville General Plan uses figures for the Sacramento Metropolitan Statistical Area (SMSA), as identified by HUD, to determine income levels for the City of Roseville. Figures are updated approximately every 18 months.

**Mitigate** – To ameliorate, alleviate or avoid to the extent reasonable or feasible. According to CEQA, mitigations include: a) avoiding an impact by not taking a certain action or parts of an action; b) minimizing an impact by limiting the degree or magnitude of the action and its implementation; c) rectifying an impact by repairing, rehabilitating, or restoring the environment affected; d) reducing or eliminating an impact by preserving and maintaining operations during the life of the action; e) or, compensating for an impact by replacing or providing substitute resources or environments.

**Mitigation Fee** – A fee assessed on a source of pollutants that is based on the amount of pollutants emitted. Such a fee can be assessed either in lieu of or in addition to emission offset requirements.

**Multi-Family Unit** – A complex containing three or more family living units, including group quarters.



**Neighborhood** – An area with a distinct identity owing to natural or artificial boundaries, the character of land uses in that area, and transportation patterns. A neighborhood may or may not have precise boundaries.

**Net Acre** – Assumes developable land after roadways, highways, easements, and other encumbrances are extracted.

**New Development** – New development involves the development of vacant or open land and does not include infill development, which is a development project that is primarily surrounded by existing development or development that proposes redevelopment of an existing developed site.

**New Growth Area** – These are planning areas, typically regulated by a Specific Plan, that are primarily, though not necessarily exclusively comprised by New Development.

**Nitrogen Oxides (NO<sub>x</sub>)** – A combination of nitric oxide (NO) and nitrogen dioxide (NO<sub>2</sub>). NO<sub>x</sub> is typically generated during combustion processes and is a major contributor to smog formation and acid deposition.

**Noise Exposure Contours** – Lines drawn about a noise source indicating constant levels of noise exposure. CNEL and L<sub>dn</sub> contours are frequently utilized to describe community exposure to noise.

**Non-Attainment Area** – An area identified by the EPA and/or the California Air Resources Board as not meeting either the national or California ambient air quality standards for a given pollutant.

**Open Space** – An area with few or no paved surfaces or buildings that may be primarily in its natural state or improved for use as a park. Open spaces are primarily unimproved and devoted to the preservation of natural resources, managed production of resources, outdoor recreation, and/or public health and safety.

**Opportunities** – Opportunities are existing or future situations that provide an effective way to respond to an issue.

**Ozone (O<sub>3</sub>)** – A pungent, pale-blue reactive gas consisting of three oxygen atoms. Ozone is the product of the photochemical process involving solar energy and is a major component of photochemical smog.

**Ozone Layer** – A layer of ozone 12 to 15 miles above the earth's surface that helps filter out harmful ultraviolet rays from the sun. It may be contrasted with ground level ozone that forms at the earth's surface and is harmful to human health.

**Ozone Precursor Emissions** – The combined emissions of reactive organic gases (ROG) and nitrogen oxides (NO<sub>x</sub>) that form in the presence of sunlight to form ozone.

**Para-Transit** – Refers to transportation services that operate vehicles such as buses, jitneys, taxis, and vans for senior citizens and/or mobility-impaired.

**Paseo** – A paseo is an improved area approximately 25 to 100 feet in width that provides a walking and bicycling connection between homes and destinations, typically including a sidewalk, path, or trails, as well as landscaping.

**Passive parkland** – Passive parkland is typically informal, often undeveloped or relatively less developed space that requires minimal development. Passive parkland offers less structured recreational activities that require little or no specialized facilities or management, such as walking and jogging, hiking and nature walks, wildlife viewing and bird watching, painting, picnicking, and photography.

**Peak Hour/Peak Period** – For any given roadway, a daily period during which traffic volume is highest, usually occurring in the morning and evening commute periods. Where “F” Levels of Service are encountered, the “peak hour” may stretch into a “peak period” of several hours duration.

**Planning** – Planning is thinking and doing something about the future now.

**PM<sub>10</sub>** – An air pollutant consisting of solid or liquid matter such as dust, soot, aerosols, fumes, and mists less than ten microns in size. PM<sub>10</sub> causes visibility reduction and adverse health effects.

**Policy** – A specific statement or principle of guiding actions that implies clear commitment but may not be mandatory. Clear statements that guide decision-making.

**Pollutant Emissions** – The amount (usually stated as a weight) of one or more specific compounds introduced into the atmosphere by a source or group of sources.

**Reactive Organic Gases (ROG)** – Any gaseous compound containing carbon except methane, carbon monoxide, carbon dioxide, carbonic acid, metallic carbides, carbonates, ammonium carbonates, and halogenated hydrocarbons. ROG are one of the two classes of compounds (the other is  $\text{NO}_x$ ) that are precursors to the formation of ozone.

**Rideshare** – A travel mode other than driving alone, such as buses, rail transit, carpools, and vanpools.

**Riparian** – Referring to the wildlife and vegetation associated with a river or stream.

**SEL or SENEL. Sound Exposure Level of Single Event Noise Exposure Level** – The level of noise accumulated during a single noise event, such as an aircraft overflight, with reference to a duration of one second. More specifically, it is the time-integrated A-weighted squared sound pressure level for a stated time interval or event, based on a reference pressure of 20 micropascals and a reference duration of one second.

**Single Family Dwelling** – A freestanding unattached dwelling or a maximum of two attached independent dwellings.

**Solid Waste** – Term used to describe the mixture of items discarded by agricultural, residential, and non-residential activities.

**Sound Level** – The sound pressure level in decibels as measured on a sound level meter using the A-weighting filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the response of the human ear and gives good correlation with subjective reactions to noise.

**Specific Plan** – A tool for detailed design and implementation of a defined portion of the area covered by a General Plan. A specific plan may include detailed regulations, conditions, programs, and/or proposed legislation that may be necessary or convenient for the systematic implementation of any General Plan elements or a portion thereof.

**Sphere of Influence** – All territory within an agency's existing incorporated boundaries and other areas outside its incorporated boundaries recognized by LAFCO as bearing relationship to the jurisdiction's planning efforts. Sphere of influence areas outside incorporated boundaries are considered likely to be annexed by the jurisdiction.

**Special-Status Species** – Plant and animal species that are typically listed (State and Federal) as endangered, rare, and threatened, plus those species considered by the scientific community to be deserving of such listing.

**Traffic Model** – A mathematical representation of traffic movement within an area or region based on observed relationships between the kind and intensity of development in specific areas. Many traffic models operate on the theory that trips are produced by persons living in residential areas and are attracted to various non-residential land uses.

**Transit** – The conveyance of persons or goods from one place to another by means of a local, public transportation system.

**Transportation Control Management/ Measures (TCM)** – Any strategy to reduce vehicle trips, vehicle use, vehicle miles traveled, vehicle idling, or traffic congestion for the purpose of reducing motor vehicle emissions. TCM is an umbrella term for parking management, traffic management, and transit management.

**Transportation Systems Management (TSM)** – A comprehensive strategy developed to address the problems caused by additional development, increasing trips, and a shortfall in transportation capacity. Transportation Systems Management focuses on more efficiently utilizing existing highway and transit systems rather than expanding them. TSM measures are characterized by their low cost and quick implementation time frame, such as computerized traffic signals, metered freeway ramps, and one-way streets.



**Truck Route** – A path of circulation required for all vehicles exceeding set weight or axle limits, a truck route follows major arterials through commercial or industrial areas and avoids sensitive areas.

**Urban** – In the context of development, describing higher intensity non-rural development with a high level of improvements, such as curbs, gutters, sidewalks, storm drains, underground sewer lines, paved roads, and other public improvements.

**Vacancy Rate** – The number of vacant units expressed as a percentage of total units. This figure serves as a general indicator in determining the adequacy of housing supply relative to demand.

**Vehicle Miles Traveled** – This is a measure used in transportation planning. It measures the total distance of vehicular travel over a given period of time, typically daily or annual. By definition, one vehicle mile traveled (VMT) occurs when one vehicle is driven on a roadway for one mile. Regardless of how many people are traveling in the vehicle, each vehicle traveling on a roadway generates one VMT for each mile it travels.

**Vernal Pools** – Small, hardpan-floored depressions in valley grasslands that fill with water during wet winter months.

**Wetlands** – Lands that are transitional between earth and water systems where the water table is usually at or near the surface of the land and where the land is covered by shallow water. Wetland types include intermittent drainage systems, seasonal swales, and vernal pools.

**Zero Lot Line** – A type of development in which one wall of a house coincides with one of the boundaries of the parcel on which it is located.

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# APPENDIX A: IMPLEMENTATION MEASURES







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## IMPLEMENTATION MEASURES

### INTRODUCTION

The General Plan provides the basis for the City's regulation of the overall amount, character, and location of urban development, as well as preservation and natural resource conservation, economic development, transportation, safety, public facilities and services, and housing. The General Plan provides a decision-making guide. The City will rely on the General Plan when reviewing private development applications, public investments, and other important actions to ensure that they are consistent with the General Plan. The General Plan also provides a guide for other public or private agencies or organizations that do business in the City's Planning Area.

The General Plan's goals articulate the desired future state or express community values. Policies are specific statements that guide decision-making for the City in managing land use change, prioritizing public investments, mitigating environmental effects, and other related activities. This Appendix identifies the General Plan's Implementation Measures, which are proactive activities designed to implement General Plan policies.

The General Plan is meant to be a living document that is regularly reviewed and adjusted to remain consistent with the City's long-term vision. This is true of the Implementation Measures, in particular. Because they are relatively more specific than the policies, they may need to be revised more frequently than the balance of the General Plan.

The City implement the policies of the General Plan through a variety of actions, including regulations and development review, the City's Specific Plans, application of the Community Design Guidelines, master plans and other types of plans, financing and budgeting, planning studies, regional partnerships, the Capital Improvement Program, and others. Some of the City's Implementation Measures address environmental topics, the City considers them to serve as "uniformly applied development standards" or "uniformly applied development policies" as described in Section 15183 of the California Environmental Quality Act (CEQA) Guidelines and the City's CEQA Implementing Procedures for the Preparation, Processing, and Review of Environmental Documents.

First is a summary of several overarching implementation measures, followed by a summary of implementation measures that apply to specific Elements of the General Plan.

## **OVERARCHING IMPLEMENTATION MEASURES**

There are several implementation measures for the General Plan that implement policies throughout all of the Elements, which are summarized in the following material.

### **SPECIFIC PLANS (ONGOING)**

Ensure that future Specific Plans and Specific Plan Amendments are consistent with the goals and policies of the General Plan. Incorporate into new Specific Plans and Specific Plan standards and criteria for which development will proceed, provisions for public facilities and services, and financing measures. Use development agreements to secure implementation and financing provisions.

### **COMMUNITY DESIGN GUIDELINES (ONGOING)**

Implement Community Design Guidelines that identify minimum standards for items such as pedestrian access, signage, aesthetics, and techniques to achieve compatibility between uses and opportunities for alternate modes of transportation. The intent of the Guidelines is to define those design elements that are important to the City, that, when applied during Development Review, will ensure quality design for both public and private projects.

The Community Design Guidelines should address site design, on- and off-site circulation, driveway location and number, building siting, open space and resource protection, trash enclosures, backflow preventers and utility boxes, parking, landscaping, shading requirements, utility easements, lighting and screening, City entry points, architecture, building design and features, art in public places, and other relevant topics.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Continue the City's existing development review process in accordance with the requirements contained in such documents as the Zoning Ordinance, Sign Ordinance, Subdivision Ordinance and the Subdivision Map Act, Transportation Systems Management Ordinance, the Specific Plans and their design guidelines, the California Environmental Quality Act, Tree Preservation Regulations, the Permit Streamlining Act and other relevant statutes.



## **PUBLIC PARTICIPATION (ONGOING)**

Continue and improve the City's public participation programs; actively solicit public participation through City commissions, neighborhood associations, and the development review process; and provide opportunities for early consultation for major development proposals (e.g., future Specific Plans, General Plan amendments). In addition, continue and expand other public involvement and information programs such as the City's website and posting of information and signage when public improvements are planned or being constructed.

Continue and improve the City's public participation programs; actively solicit public participation through on-going programs such as City commissions, neighborhood associations, and the development review process; and provide opportunities for early consultation for major development proposals (e.g., future Specific Plans, major General Plan amendments). In addition, continue and expand other public involvement and information programs through means such as the City's website, the local news media, and posting of informational signage where public improvements are planned or being constructed.

## **INTER-AGENCY AND INTER-JURISDICTIONAL COORDINATION (ONGOING)**

Continue City coordination with other agencies and jurisdictions. Coordination between the City and adjacent jurisdictions occurs through several mechanisms including the distribution of development proposals for review and comment. The City will continue to be involved in regional planning efforts with the counties of Placer, Sacramento and Sutter, as well as local cities, including Rocklin, Lincoln and Sacramento. The City will continue its cooperation with federal, state and local agencies in meeting the goals and policies of the General Plan.

## **LAND USE ELEMENT**

### **COMMUNITY FORM**

#### **SPECIFIC PLANS (ONGOING)**

Ensure that future Specific Plans and Specific Plan Amendments are consistent with goals and policies of the General Plan.

#### **COMMUNITY DESIGN GUIDELINES (ONGOING)**

Implement Community Design Guidelines that identify minimum standards for items such as pedestrian access, signage, aesthetics, and techniques to achieve compatibility between uses and opportunities for alternate modes of transportation.

#### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Continue the City's existing development review process in accordance with applicable requirements contained in such documents as the Zoning Ordinance, Sign Ordinance, Subdivision Ordinance and the Subdivision Map Act, Transportation Systems Management Ordinance, the Specific Plans and their design guidelines, the California Environmental Quality Act, the Permit Streamlining Act and other statutes. Promote flexibility and innovation in residential and other land uses through the use of planned unit developments, development agreements, Specific Plans, mixed use projects and other innovative development and planning techniques. Continue to provide for public participation and coordination with other jurisdictions in the review of development proposals.

### **PUBLIC PARTICIPATION (ONGOING)**

Continue and improve the City's public participation programs; actively solicit public participation through City commissions, neighborhood associations, and the development review process; and provide opportunities for early consultation for major development proposals (e.g. future Specific Plans, General Plan amendments). In addition, continue and expand other public involvement and information programs such as the City's website and posting of information and signage when public improvements are planned or being constructed.

### **BICYCLE MASTER PLAN (ONGOING)**

Implement the Bikeway Master Plan as specified in the Circulation Element and update the Plan, as appropriate. The Plan was developed to meet State standards and provides a prioritized list of bikeway projects, improvements, and programs that will result in a comprehensive, inter-connected bikeway system.

### **SOUTH PLACER COUNTY TRANSIT MASTER PLAN (ONGOING)**

Continue to implement Transit Master Plan, which analyzes potential transit services and identifies transit corridors.

### **DOWNTOWN AND RIVERSIDE GATEWAY SPECIFIC PLANS (ONGOING)**

The purpose of the Specific Plans is to preserve and promote reinvestment in the core of Roseville. The policies within the Specific Plans are designed to make the Downtown and Riverside areas more economically viable, preserve their historic character, encourage a more pedestrian-friendly atmosphere, and integrate access to the City's creek system from surrounding development. Coordinate the Downtown Specific Plan and Riverside Gateway Specific Plans with revitalization efforts.

### **HOUSING REHABILITATION PROGRAMS (ONGOING)**

Through the Housing Division, continue to pursue and implement housing rehabilitation programs, as specified in the Housing Element. These programs provide financial assistance to low-income households for the purpose of repairing health and safety defects and making general property improvements.

### **ECONOMIC DEVELOPMENT STUDIES (PROPOSED)**

Regularly update the Economic Development Studies, as specified in the Growth Management component of this element that includes a jobs/housing analysis and a citywide fiscal impact analysis including a mechanism by which new development can be analyzed.

### **DENSITY BONUS ORDINANCE (ONGOING)**

Through the Housing Division and the Planning Division, continue to implement the Density Bonus Ordinance, as specified in the Housing Element. This program provides the incentive of allowing a property owner to increase allowable density in return for the provision of affordable units.

### **INTER-AGENCY AND INTER-JURISDICTIONAL COORDINATION**

Continue City coordination with other agencies and jurisdictions. Coordination between the City and adjacent jurisdictions occurs through several mechanisms including the distribution of development proposals for review and comment. The City will continue to be involved in regional planning efforts with the counties of Placer, Sacramento and Sutter, as well as local cities, including Rocklin, Lincoln and Sacramento. The City will continue its cooperation with federal, state and local agencies in meeting the goals and policies of the General Plan.



## **BLUEPRINT IMPLEMENTATION STRATEGIES (ONGOING)**

Through the Blueprint Implementation Strategies continue to implement the strategies in order to provide walkable communities to ensure that options to automobile travel are provided. Follow guidance provided in the May 2005 City of Roseville document, "Implementation Strategies to Achieve Blueprint Project Objectives."

## **COMMUNITY DESIGN**

### **COMMUNITY DESIGN GUIDELINES**

Implement Community Design Guidelines that define those design elements that are important to the City, that, when applied during development review, will ensure quality design for both public and private projects. The components of the Design Guidelines shall include, but are not limited to the following: site design, on and off-site circulation, driveway location and number, building siting, open space and resource protection, trash enclosures, backflow preventers and utility boxes, parking, landscaping, shading requirements, utility easements, lighting and screening, City entry points, architecture, building design and features, and art in public places.

### **DEVELOPMENT REVIEW PROCESS**

Promote flexibility and innovation in residential and other land uses through the use of planned unit developments, development agreements, specific plans, mixed-use projects and other innovative development and planning techniques.

### **RIVERSIDE AND DOWNTOWN SPECIFIC PLANS**

The Riverside and Downtown Specific Plans include identification of significant historic structures, provisions to preserve and/or enhance existing buildings, and guidelines for compatibility of new and existing development. Coordinate the Specific Plans with revitalization efforts to promote the preservation and enhancement of the areas.

### **PUBLIC ART PROGRAMS (ONGOING)**

Continue, through the Cultural Arts Commission and other appropriate organizations, the City's existing programs and support for cultural arts and create opportunities to expand existing programs or add new ones where possible.

### **OPEN SPACE PRESERVATION (ONGOING)**

Design and construct development consistent with the goals and policies contained in the Open Space and Conservation Element of the General Plan. This Element contains policies that address the preservation of significant environmental resources and the interface between the natural and built environments.

### **TREE PRESERVATION REGULATIONS (EXISTING)**

Enforce and regularly evaluate the Tree Preservation regulations established in Chapter 19.66 of the Zoning Ordinance. This chapter regulates the removal, preservation and mitigation of native oak trees.

## **GROWTH MANAGEMENT**

### **SPECIFIC PLANS**

Ensure that future Specific Plans and Specific Plan Amendments are consistent with the goals and policies of the General Plan, including those to create an edge/transition area along the western boundary. Incorporate implementation measures in future Specific Plans and Specific Plan Amendments

that include standards and criteria for which development will proceed, provisions for public facilities and services, and financing measures. Use development agreements to secure implementation and financing provisions.

### **PUBLIC PARTICIPATION (ONGOING)**

Continue and improve the City's public participation programs; actively solicit public participation through on-going programs such as City commissions, neighborhood associations, and the development review process; and provide opportunities for early consultation for major development proposals (e.g. future Specific Plans, major General Plan amendments). In addition, continue and expand other public involvement and information programs through means such as the City's website, the local news media, and posting of informational signage where public improvements are planned or being constructed.

### **INTER-AGENCY AND INTER-JURISDICTIONAL COORDINATION (ONGOING)**

Continue to pursue a regional approach to planning and growth. This will include coordination with other governmental agencies, property owners, and other stakeholders to discuss growth issues and develop a coordinated approach for guiding growth. The City will seek early consultation with applicable agencies for major projects proposed either within or outside Roseville. The intent of this consultation will be to coordinate planning efforts between jurisdictions and minimize the impacts of growth to Roseville and the surrounding region. These efforts will include coordination with LAFCO on issues of sphere of influence and annexations.

### **LAND USE CAPACITY REVIEW (PROPOSED)**

In conjunction with the periodic update of the Housing Element or, as needed, based on changes to planning conditions, the City will review and modify, as necessary, the General Plan's residential capacity.

### **LAND ACQUISITION (ONGOING)**

Work with government jurisdictions and/or private organizations to acquire land for open space, in an effort to add to, or enhance, the City's western edge/transition area.

## **CIRCULATION ELEMENT**

### **FUNCTIONAL CLASSIFICATION**

#### **PLANNING AND DESIGN OF THE TRANSPORTATION SYSTEM (ONGOING)**

Plan, design, and regulate roadways in accordance with the functional classification system reflected in the table below, and Figure III-1 in the Circulation Element.



## Functional Classification City of Roseville's Arterial and Collector Roadway Systems

Specific Plan Area	Arterials	Collectors
Northwest Roseville	Pleasant Grove Road Foothills Boulevard Woodcreek Oaks Boulevard Junction Boulevard Washington Boulevard Baseline Road	Country Club Drive McAnally Drive
North Central Roseville	Washington Boulevard Roseville Parkway Galleria Blvd/Stanford Ranch Road Pleasant Grove Boulevard	Diamond Oaks (east of golf course) Gibson Drive Antelope Creek Drive Reserve Drive Hallissy Drive Trestle Road
Northeast Roseville	Sunrise Avenue Roseville Parkway Eureka Road Douglas Boulevard Sierra College Boulevard Taylor Road Lead Hill Boulevard Rocky Ridge Drive	Olympus Drive Professional Drive Stonepoint Drive
Southeast Roseville	Douglas Boulevard Roseville Parkway Sierra College Boulevard Eureka Road Rocky Ridge Drive (south of Douglas Boulevard)	Johnson Ranch Drive McLaren Drive Professional Drive Parkhill Road Old Auburn Road (South Cirby to Roseville Parkway) North Cirby Way
North Industrial Area	Washington Boulevard Foothills Boulevard Blue Oaks Boulevard Roseville Parkway Industrial Avenue	Industrial Avenue Winding Creek Way Parkside Drive New Meadow Drive HP Way Painted Desert Drive Crimson Ridge Drive
Del Webb Specific Plan	Blue Oaks Boulevard Fiddymment Road Pleasant Grove Boulevard	Del Webb Boulevard Sun City Boulevard
Highland Reserve North	Stanford Ranch Road Pleasant Grove Boulevard Fairway Drive	Highland Reserve Drive Central Park Drive
North Roseville	Blue Oaks Boulevard Woodcreek Oaks Boulevard Pleasant Grove Boulevard Junction Boulevard Baseline Road Fiddymment Road	Diamond Creek Road Northpark Drive Parkside Way Opal Drive Prairie Woods Drive Painted Desert Drive Crocker Ranch Road West Hills Drive Morning Star Drive

**Table III-1 (Continued)**  
**Functional Classification City of Roseville's Arterial and Collector Roadway Systems**

<b>Specific Plan</b>	<b>Arterials</b>	<b>Collectors</b>
Stoneridge	Roseville Parkway Sierra College Boulevard Secret Ravine Parkway North Sunrise Avenue	Olympus Drive Scarborough Drive Alexandra Drive
West Roseville	Fiddymont Road Pleasant Grove Boulevard Westbrook Boulevard Blue Oaks Boulevard	Hayden Parkway Bob Doyle Drive Village Green Drive Westpark Drive Village Center Drive Monument Drive Crawford Parkway Holt Parkway Angus Road
Sierra Vista	Baseline Road Fiddymont Road Pleasant Grove Boulevard Vista Grande Boulevard Santucci Boulevard Westbrook Boulevard	Market Street Upland Drive Federico Drive
Creekview	Blue Oaks Boulevard Westbrook Boulevard	Holt Parkway Benchmark Drive Creekview Plaza
Amoruso Ranch	Westbrook Boulevard Road B Road D	Road A
Infill Area	Vernon Street (north of Cirby) Atlantic Street (Vernon to I-80) Cirby Way Riverside Avenue Auburn Boulevard Roseville Road Harding Boulevard (north of Douglas) Douglas Boulevard Atkinson Street (south of Foothills) Rocky Ridge Drive Sunrise Avenue	Main Street Folsom Road Vineyard Road Church Street (west of Washington) Atkinson Street (Foothills to Vineyard) Shasta Street (north of Yosemite) Sierra Boulevard (west of Yosemite) Vernon Street (south of Cirby) Sutter Avenue Lincoln Street (Sierra to Main and Vernon to Sutter) Oak Street (Judah to Lincoln) Grant Street Judah Street Estates Drive Melody Lane West Whyte Avenue Oak Ridge Drive Lead Hill Boulevard Orlando Avenue Berry Street Yosemite Street Old Auburn Road (South Cirby to Sacramento County line)

Notes: All roadways not listed are designated as a Local Street. The "North Industrial Area" and the "Infill Area" are not currently adopted Specific Plans.

Source: City of Roseville (adopted Specific Plans).



Define the functional classification system of both existing and future roadways by a set of criteria to identify which streets will be placed in each class. The primary criteria are the desired speed of the facility, the type of traffic using the facility, the mix of other modes, and whether the facility is providing direct access to destinations. The criteria applied in the functional classification process are as follows:

#### Arterials

- **Access:** Arterials will generally provide linkages to the freeway/highway system and between sections of the City and major activity centers. At higher volumes, there are often access restrictions to adjacent land uses.
- **Cross Section:** Arterial streets will generally have four to six lanes, but there may be some eight-lane or two-lane Arterials. In the Specific Plan Areas, the right-of-way for Arterials varies from 76 to 100 feet with posted speeds of 40 miles per hour or higher and generally incorporates 4 to 6 travel lanes, bike lanes, and a landscaped median. Outside the Specific Plan Areas, some roadways function as Arterials due to high traffic volumes and their key linkages between one section of the City and another. For these roadways, current right-of-way widths vary, but most have more than two vehicular travel lanes.
- **Volumes:** Arterials will generally carry more than 12,000 average daily vehicles (ADT) – under existing and future conditions.

#### Collectors

- **Access:** Collectors will generally distribute trips from the arterial street system to the local street system. Access to abutting land is normally permitted, but may be restricted to certain uses depending on forecast vehicle volumes.
- **Cross Section:** Collectors will generally have two lanes, but there may be some four-lane Collectors. In the Specific Plan Areas, Collectors are generally designed with a 54- or 60-foot right-of-way with 2 or 4 vehicular travel lanes and bike lanes. Outside the Specific Plan Areas, a number of roadways function as Collectors due to moderate traffic volumes and their linkage to the arterial roadway system.
- **Volumes:** Collectors will generally carry between 2,000 and 15,000 ADT.

#### Local Streets

- **Access:** Local Streets provide direct access to abutting land and access to the collector street system.
- **Cross Section:** Local streets have two lanes. In the Specific Plan Areas, the right-of-way varies from 42 to 54 feet, which provides for two traffic lanes and a parking lane that doubles as a Class III bikeway on both sides. Actual pavement widths vary in both Specific Plan and Infill Areas.
- **Volumes:** Local roadways will generally carry up to 3,000 ADT.

### FUNCTIONAL CLASSIFICATION AND LAND USE CONTEXT (ONGOING)

The City will incorporate consideration of the land use context when implementing the Functional Classification system. For example, design speeds would be lower, crossing distances would be shorter, and relatively higher-quality bicycle and pedestrian facilities would be prioritized in areas where pedestrians and bicyclists are accessing destinations such as schools, parks, retail, and services.

### IMPROVEMENT STANDARDS (ONGOING)

Ensure implementation of the City's Improvement Standards, which specify construction and design standards for roadways. Continue to refine and improve the Improvement Standards for the City's roadway system. Standards shall reflect the Functional Classification and include the following elements:

- Right-of-way requirements
- Roadway cross-sections, including landscaping and bikeways
- Signalization and access control
- Intelligent Transportation Systems
- Land use compatibility, orientation, and design standards
- Vehicle and pedestrian safety
- Bicyclist safety and access
- Safe access to schools
- Transit improvements

Exceptions to the standards may be necessary, but should be kept to a minimum and should be evaluated on a case-by-case basis.

### **TRUCK ROUTES (ONGOING)**

Enforce, evaluate and, as circumstances warrant, update the truck route system to ensure safe and efficient truck routes and to address the compatibility of truck routes with the land use context.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plan transportation networks are consistent with the City's Functional Classifications and incorporate consistent design standards for roadways, associated bikeways and trails, and adjacent landscape areas. Ensure Specific Plans implement General Plan policies and adequately plan for multi-modal circulation.

### **INTER-AGENCY AND INTER-JURISDICTIONAL COORDINATION (ONGOING)**

Continue to work with neighboring jurisdictions and regional planning agencies to ensure the efficient flow of traffic between jurisdictions, and to address the compatibility of traffic volume amount, mix, and speed between jurisdictions, including early consultation on projects.

### **MONITOR CHANGING TECHNOLOGY (PROPOSED)**

Monitor changes and trends related to vehicle and mobility technology. Consider changes to functional classifications and/or design standards related to rights-of-way, pavement, cross sections, curb space, signals, and other features of the transportation system.

## **LEVEL OF SERVICE**

### **CAPITAL IMPROVEMENT PROGRAM/LOS CRITERIA (EXISTING)**

Continue to update the City's Capital Improvement Program (CIP) to implement policy that strives to maintain LOS "C" at all locations during the weekday A.M. and P.M. peak hours. In addition, continue to implement Intelligent Transportation System Improvements. For the development of the CIP, the Development Services Department shall define "normally accepted maximum" improvements for roadways and intersections. If "normally accepted maximum" improvement cannot maintain LOS "C," the City Council may consider additional "extraordinary" improvements, such as additional lanes or grade separations.



Allow exceptions to the LOS “C” standard in Pedestrian Districts and also allow exceptions in other areas only after all feasible measures and options are explored, including alternative forms of transportation

Base the CIP on a 20-year horizon and update the CIP a minimum of every 5 years, or concurrently with the approval of any significant modification to the land use allocation assumed in the citywide travel model, as determined by the Public Works Director.

To maintain the General Plan policy of this document, and to provide a LOS “C” or better at a minimum of 70 percent of the signalized intersections during the AM and PM Peak Hours, the implementation of the City’s Capital Improvement Program (CIP), will optimize traffic operations deficiencies to the extent feasible. The Public Works Department shall monitor the level of service (LOS) on a regular basis and provide periodic reports to the Council on existing LOS and shall look for additional opportunities to improve intersection LOS where it is reduced to less than LOS “C”.

The CIP will need to account for disruptive trends such as internet shopping, transportation network company expansion (i.e., Uber), work-force participation, and autonomous vehicles. To remain nimble and flexible in response to disruptive changes, the City will annually review the CIP implementation.

#### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Development proposals determined by the City to require a traffic impact study shall prepare such analysis consistent with the assumptions and methodology of the citywide travel model.

#### **SPECIFIC PLANS (ONGOING)**

Specific plans shall contain transportation improvements consistent with the standards of this element. Plans must demonstrate what measures will be required to maintain the City’s level of service standard and how these measures will be funded. Utilize development agreements to secure improvement, sequencing and funding provisions.

#### **TRANSIT MASTER PLANS (ONGOING)**

Continue to update the Long-Range Transit Master Plan and Short-range Transit Master Plan in accordance with the provisions of the Transit component of this element. The Long-Range Transit Master Plan should explore potential benefits of improved transit service related to level of service standards and reductions in vehicular travel demand (vehicle miles traveled, or VMT).

#### **TRANSPORTATION SYSTEMS MANAGEMENT ORDINANCE (ONGOING)**

Roseville’s Transportation Systems Management Ordinance is a key step in meeting the requirements of the California Clean Air Act. Its overall results should be evaluated periodically. Periodically assess , the effectiveness of the City’s Transportation Systems Management Ordinance in reducing vehicle trips and in making streets, parking facilities, public transit and bikeways more effective. If the trip reduction goals are not being achieved, the Transportation Systems Management Ordinance should be revised so that measures are taken to achieve stated goals.

#### **BICYCLE MASTER PLAN (EXISTING)**

Implement and, as necessary, update the Bicycle Master Plan to provide a prioritized list of bikeway projects, improvements, and programs that will result in a comprehensive, inter-connected bikeway system. Aggressively pursue existing sources of funding to implement the Bicycle Master Plan and develop innovative new sources of funding.

#### **INTERAGENCY COORDINATION (ONGOING)**

Work with surrounding jurisdictions to provide acceptable and compatible levels of service on roadways connecting to the City. This will include working with the Placer County Air Pollution Control District to

implement transportation improvements and measures that help with attainment planning and meeting goals in the Air Quality and Climate Change Element of the General Plan.

### TRANSPORTATION FUNDING (ONGOING)

Secure adequate funding to ensure the City's level of service policies are met. Continue to implement and update the City's traffic impact fees on new development and obtain gas tax money and other revenue to fund its Capital Improvement Program. Explore funding for transit as identified in the Transit component of this element and for bikeway/trails as identified in the Bicycle Master Plan. Alternative funding sources, such as the establishment of assessment district(s), should be considered. The City should also work with regional planning agencies to explore funding opportunities for all components of its transportation system that are required to meet its level of service standards.

### FINANCIAL CONSTRAINTS (PROPOSED)

Design, operate, and maintain a vehicular transportation system that has reliable existing and ongoing sources of funding, in consideration of existing and future decreases in available funding through the gas tax.<sup>1,2</sup> Manage vehicular travel demand in order to reduce the extent of required infrastructure and associated up-front capital and ongoing maintenance costs through such methods as:

- Implement the City's Transportation Systems Management Ordinance (or updated versions of this Ordinance);
- Consider impact fees that provide incentives to projects that reduce vehicular travel demand through location, design, mix of uses, and other features that encourage transit use, walking, and biking and make these modes competitive with driving to reach more daily destinations;
- Encourage walking, biking, and transit trips by making improvements to the City's pedestrian and bicycle infrastructure and transit service; and
- Pursue economic development programs that improve the match over time between the jobs held by local residents and the jobs located in Roseville.

### VMT-BASED FEE (PROPOSED)

Develop VMT-based traffic impact fee that funds VMT-reducing projects and to which projects that exceed the VMT rate can contribute on a pro-rata basis to fund pedestrian, bicycle, transit, and other facilities and services.

### ELECTRIC VEHICLE CHARGING INFRASTRUCTURE EXPANSION (PROPOSED)

Expand electric vehicle charging to promote greater freedom of choice for Roseville consumers that wish to purchase an electric vehicle, to help reduce household transportation costs, to promote better public health, to reduce transportation noise, and provide other local benefits from an acceleration in the local rate of purchase and use. Identify and remove barriers to electric vehicle charging and take advantage of opportunities to expand the local charging network within both existing and new, private and public

<sup>1</sup> As of the writing of this General Plan, the City has a shortfall of \$2.4M for roadway maintenance and signal operation. The City has identified an average annual ongoing need of \$9-10 million per year. The City annually funds \$6.5 to \$7.5 million per year from Gas Tax, Local Transportation, Utility Impact Reimbursement, SB1, and Federal Regional Surface Transportation program funds, leaving a shortfall of \$2.5 million per year, or \$25 million over the next 10 years. For more detail, please see the City's annual budgets for additional detail, including the Fiscal Year 2018-2019 budget report:

[https://www.roseville.ca.us/UserFiles/Servers/Server\\_7964838/File/Government/Departments/Finance/Financial%20Transparency/Annual%20Budgets/FY2018-19%20Adopted%20Budget.pdf](https://www.roseville.ca.us/UserFiles/Servers/Server_7964838/File/Government/Departments/Finance/Financial%20Transparency/Annual%20Budgets/FY2018-19%20Adopted%20Budget.pdf).

<sup>2</sup> Funding challenges for roadway infrastructure have caused the City to fall behind on its maintenance schedule for streets. The gas tax is the primary funding source for streets and roadways. Gas tax rates, accrued on a per-gallon basis, were developed without an adjustment for inflation, minimizing their purchasing power with every year that passes. Gas tax revenues have also fallen due to more fuel-efficient and electric vehicles being on the road.



properties. Examine opportunities for additional curbside Level 1 and Level 2 electric vehicle charging, including, where feasible, taking advantage of capacity available through LED streetlight conversions. Increase access to the use of electricity as a transportation fuel consistent with relevant State legislation. Take advantage of mutually beneficial opportunities for collaboration with other public agencies in the region and SACOG.

## TRANSIT

### SHORT-RANGE TRANSIT PLAN (ONGOING)

Continue to update the Short-Range Transit Plan every five to seven years to address existing and short-range (seven years) transit needs for the City and provide a capital improvement and financing plan.<sup>3</sup>

### SOUTH PLACER COUNTY TRANSIT MASTER PLAN (ONGOING)

Continue to participate in updates to the South Placer Long-Range Transit Plan every seven to 10 years or whenever significant modifications in travel behavior or General Plan amendments warrant.<sup>4</sup> Continue to implement Long-Range Master Transit Plan, which analyzes potential transit services and identifies transit corridors.

### TRANSIT FUNDING AND INTERAGENCY COORDINATION (ONGOING)

Continue to pursue all available sources of funding for transit services per the Short-Range Transit Plan and South Placer County Transit Master Plan, including federal, state and local sources.

Work with regional partners to explore opportunities for public transit innovation and service improvements, including Capital Corridor, Bus Rapid Transit, subsidized micro-transit, and other local and regional transit services. Coordinate with regional partners to expand commuter train service to Placer County, which is limited due to track constraints between Sacramento and Roseville. Work with the Capitol Corridor and Placer County Transportation Planning Agency (PCTPA) to further study and fund expansion of Capitol Corridor commuter rail services.

Work with Placer County Transit, Sacramento Regional Transit, and other transit providers in the area to coordinate transit policies, transit routes, schedules and fares, and to facilitate transit patronage.

### SPECIFIC PLANS (ONGOING)

Ensure that Specific Plans are consistent with the goals and policies of the Transit component of the Circulation Element. All future Specific Plans shall include a transit component and analysis that identifies opportunities for the use and extension of transit services, funding and timing options, and land/design standards to encourage the use of identified transit services. Such analysis should be coordinated and consistent with the Long-Range Transit Master Plan.

## TRAVEL DEMAND MANAGEMENT

### TRANSPORTATION SYSTEMS MANAGEMENT ORDINANCE (ONGOING)

Periodically assess the effectiveness of the City's Transportation Systems Management Ordinance in reducing vehicle trips, reducing total vehicle miles traveled, and in making street, parking facilities, public transit and bikeways more effective. If the trip reduction goals are not being achieved, the Transportation Systems Management Ordinance should be revised so that measures are taken to achieve stated goals.

<sup>3</sup> The Short-Range Transit Plan is required by state and federal law as a condition for the receipt of funding under the State Transportation Development Act (TDA) and the Federal Transportation Act Administration (FTA).

<sup>4</sup> The Long-Range Transit plan evaluates long-term regional needs for transit based upon anticipated land use development patterns.

Identify and maintain a portfolio of projects to reduce VMT, estimate VMT reductions associated with these projects, and examine the feasibility of a VMT-based fee program that allows projects to contribute in-lieu fees at a level necessary to demonstrate consistency with the City's VMT policies. These projects could include, but are not limited to bicycle and pedestrian facilities, transit facilities and services, affordable housing and infill development incentives, and transit-oriented development programs. Alternatively, consider participating in an in-lieu VMT reduction program or VMT reduction bank administered by an outside party.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the Circulation Element and the Transportation Systems Management Ordinance. Development agreements may be used to secure Transportation Systems Management Ordinance provisions.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer all development proposals to the Public Works Department for review and comment. Development proposals shall be required to ensure compliance with the required actions and measures in the City's Transportation Systems Management Ordinance.

### **INTERAGENCY COORDINATION (ONGOING)**

Work with surrounding agencies to develop and implement Transportation Systems Management strategies that reduce vehicle trips and VMT.

### **TRANSPORTATION CONTROL MEASURES**

The Placer County Air Pollution Control District (APCD), in cooperation with the Sacramento Area Council of Governments (SACOG), has identified Transportation Control Measures (TCMs) that demonstrate the region's ability to come into attainment with the California Ambient Air Quality Standards and National Ambient Air Quality Standards. The TCMs are (1) of specific value to the County's efforts to attain compliance with the federal and state air quality standards and (2) considered to be workable and feasible in Placer County, given the County's population distribution, annual VMT, and emission reduction needs. The TCMs include:

- Transportation Demand Management (TDM) programs such as:
  - Area wide carpool/vanpool matching assistance
  - City or county trip reduction ordinances
  - Employer-sponsored carpool and vanpool programs
  - Staggered work schedules, flexible work hours, compressed work week and telework programs
  - Park and ride lots
- Provision of bikeway and bicycling support facilities
- Enhancement of pedestrian facilities and the pedestrian environment
- Public awareness campaigns such as Spare the Air, May is Bike Month and Bucks for Bikes
- "Smart Growth" land use concepts

### **VEHICLE MILES TRAVELED ANALYSIS AND MITIGATION**

The City will develop, maintain, and implement Vehicle Miles Traveled (VMT) Impact Standards, which will be used to ensure consistency of analysis and adequacy of information in VMT impact analysis. The VMT Impact Standards will address such topics as the purpose analysis, responsibility for analysis, different approaches to impact analysis that are appropriate for different types of projects and plans,



analysis methods, impact thresholds, mitigation options, and the format of VMT impact studies. Mitigation options will include the ability of projects to develop off-site projects or contribute to projects that would reduce VMT off-site, and may include an option for projects to mitigate potential impacts through greenhouse gas emissions offsets for projects that are consistent with the intent of SB 743 to facilitate infill development and promote the public health through active transportation.

Proposed development projects that could have a potentially significant VMT impact shall consider reasonable and feasible project modifications and other measures during the project design and environmental review stage of project development that would reduce VMT effects in a manner consistent with state guidance on VMT reduction. The below list of potential measures is not intended to be exhaustive, and not all measures may be feasible, reasonable, or applicable to all projects. The purpose of this list is to identify options for future development proposals, not to constrain projects to this list, or to require that a project examine or include all measures from this list. Potential measures include:

- improve or increase access to transit;
- increase access to common goods and services, such as groceries, schools, and daycare;
- incorporate affordable housing into the project;
- incorporate neighborhood electric vehicle network;
- orient the project toward transit, bicycle and pedestrian facilities;
- improve pedestrian or bicycle networks, or transit service;
- provide traffic calming;
- provide bicycle parking;
- unbundle parking costs;
- provide parking cash-out programs;
- implement roadway pricing;
- implement or provide access to a commute reduction program;
- provide car-sharing, bike sharing, and ride-sharing programs;
- provide transit passes;
- shifting single occupancy vehicle trips to carpooling or vanpooling, for example providing ride-matching services;
- providing telework options;
- providing incentives or subsidies that increase the use of modes other than single-occupancy vehicle;
- providing on-site amenities at places of work, such as priority parking for carpools and vanpools, secure bike parking, and showers and locker rooms;
- providing employee transportation coordinators at employment sites;
- providing a guaranteed ride home service to users of non-auto modes;

- locate the project near transit;
- increase project density;
- increase the mix of uses within the project or within the project's surroundings;
- increase connectivity and/or intersection density on the project site; and/or
- deploy management strategies (e.g., pricing, vehicle occupancy requirements) on roadways or roadway lanes.

The City shall evaluate the feasibility of a local or regional VMT impact bank or exchange. Such an offset program, if determined feasible, would be administered by the City or a City-approved agency, and would offer demonstrated VMT reduction strategies through transportation demand management programs, impact fee programs, mitigation banks or exchange programs, in-lieu fee programs, or other land use project conditions that reduce VMT in a manner consistent with state guidance on VMT reduction. If, through on-site changes, a subject project cannot demonstrate consistency with state guidance on VMT reduction, the project can contribute on a pro-rata basis to a local or regional VMT reduction bank or exchange, as necessary, to reduce net VMT impacts.

## **BIKEWAYS/TRAILS**

### **BICYCLE MASTER PLAN (ONGOING)**

Actively implement the Bicycle Master Plan, which meets State standards and addresses commuter and recreation needs, inter-connectivity, implementation, funding, maintenance, education, encouragement, enforcement, the environment, and safety. Implement the Bicycle Master Plan's prioritized list of bikeway projects, improvements, and programs that will result in a comprehensive, interconnected bikeway system and foster a climate of acceptance for bike riding. Prepare an annual report that includes the status of bikeway and trails implementation, status of funding sources and projected need, and an analysis of the need to update or modify the Bicycle Master Plan.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer all development proposals to the Public Works and Parks and Recreation Departments, as appropriate, for review and comment. Include bikeway and trail components integrated with and incorporating the same elements as the Bicycle Master Plan in both private development proposals and public projects.

### **SPECIFIC PLANS (ONGOING)**

Ensure that all Specific Plans are consistent with the provisions of the Bikeway/Trails component of the Circulation Element. Update the Bicycle Master Plan upon adoption of future Specific Plans to reflect approved trails provisions. Development agreements may be used to secure trail funding and sequencing provisions.

### **INTERAGENCY COORDINATION (ONGOING)**

Work with neighboring jurisdictions to integrate the City's bikeway, pedestrian and equestrian trail system with the rest of the region. Strive to provide connections to bikeways identified in the Placer County Bikeway Master Plan and the Sacramento County Bikeway Master Plan, as well as the planned bikeways in other City and community plans. Coordinate the interconnection of bicycle, pedestrian, and equestrian trails to adjoining regional recreational attractions (e.g., Folsom Lake, Sacramento).



## BIKEWAY/TRAIL FUNDING (ONGOING)

Identify and pursue funding sources for bikeways and trails. These shall include State, federal, regional, and local sources. Local sources may include, but are not limited to, General Fund, fees, assessment districts, and developer contributions.

## PEDESTRIAN ACCESS

### PEDESTRIAN MASTER PLAN

Implement and, as necessary, update the Pedestrian Master Plan to achieve a balanced transportation system that provides Roseville residents a variety of transportation choices, and ensure a safe, comfortable and connected network of public sidewalks and street crossings that meets the needs of a broad range of users, including children, the elderly and persons with disabilities. Continue to address sidewalk gaps.

Include sidewalks in the planning and design of all new, reconstructed or widened streets. Improve pedestrian crossings in areas of high pedestrian activity, where pedestrian collision trends are identified, or where safety is otherwise identified as an issue. Review improvement plans and development project proposals for conformance with relevant provisions of the Pedestrian Master Plan. When traffic impact studies are prepared, consider the effect on pedestrian safety, as well as increased pedestrian crossing times and distances or pedestrian wait times due to longer cycle lengths.

### STRATEGIES FOR PEDESTRIAN DISTRICTS (ONGOING)

The City Council, following a public hearing, may determine, on a case-by-case basis, to adopt a Resolution establishing a Pedestrian District over a geographic area. The City recognizes that within such a District, pedestrian travel takes a higher priority than automobile travel. The result is that there could be a reduction in the vehicular level of service because the strategies employed to prioritize the walkability of these Districts. This has the potential to reduce total vehicle miles traveled and the air pollutant emissions that contribute to climate change and public and environmental health issues.

In those instances where the City Council determines that a Pedestrian District enhances the neighborhood objectives, the Council also acknowledges that, through their action to approve a Pedestrian District, the vehicular level of service (LOS) policy may not be met within the District.

Establishment of a Pedestrian District is intended to promote walkability and would allow for the construction and/or implementation of the following types of enhancements:

- 1 Mid-block crossing treatments
  - High-visibility crosswalk markings
  - Overhead signs and flashing beacons
  - In-pavement flashers
  - Pedestrian-actuated signals
  - Grade-separated pedestrian crossings
- 2 Intersection Crossing Treatments
  - Signal timing changes
  - Head-start pedestrian phases
  - All-pedestrian “scramble” phases
  - Pedestrian actuators
  - Countdown pedestrian signals
  - Animated eye pedestrian signals
  - Audible signals

- Reduced corner radii
- Right-turn on red restrictions
- “Watch Turning Vehicles” signage and legends
- “Yield to Pedestrians” signage

### 3 Traffic Calming

- Raised crosswalks (Speed Tables)
- Raised intersections
- Textured pavement
- Neckdowns
- Pedestrian refuge islands
- Split Pedestrian Crossovers

### 4 Pedestrian Enhancements

- Comprehensive Sidewalk Networks
- Pedestrian Only Walkways
- Street Furniture
- Covered Areas
- Street Trees
- Lighting
- Building Setback
- Parking Lot Walkways
- Consolidation of Driveways
- Use of On-Street Parking

## AIR QUALITY AND CLIMATE CHANGE

### INTERAGENCY COORDINATION (ONGOING)

Coordinate with other local and regional jurisdictions, including the Placer County Air Pollution Control District (PCAPCD) and the California Air Resources Board (ARB), in the development of regional and county clean air plans and incorporate the relevant provisions of those plans into City planning and project review procedures. Also, cooperate with the PCAPCD and ARB in enforcing the provisions of the California and Federal Clean Air Acts, State and regional policies, and other relevant established standards for air quality.

Submit development proposals to the PCAPCD for review and comment in compliance with CEQA prior to consideration by the appropriate decision-making body. Cooperate with Placer County in the identification of hazardous material users (both large and small-scale users) and the development of an inspection process and hazardous materials management plan. Coordinate with the Placer County Air Pollution Control District and Air Resources to update analysis and propose emissions reduction strategies or new regulations that would reduce harmful pollutant emissions at the Roseville Rail Yard.

### DEVELOPMENT REVIEW PROCESS (ONGOING)

Notify and solicit comments from local and regional agencies of proposed projects that may affect regional air quality. The comments of the responding agencies will be considered during the review of the projects. Encourage project applicants to consult early in the planning process regarding the applicability of countywide indirect and areawide source permit program and Transportation Control Measures.

Project review should also address energy efficient building and site designs, as well as the proper storage, use, and disposal of hazardous materials.



Analyze air pollutant emissions impacts in environmental review and identify design and other appropriate mitigation measures or offset fees to reduce impacts. Dedicate staff to work with project proponents and other agencies in identifying, ensuring the implementation of, and monitoring the success of mitigation measures, potentially including the pro-rata contribution of fees for criteria air pollutant offset programs, where appropriate.

### **TRANSPORTATION SYSTEMS MANAGEMENT ORDINANCE (EXISTING)**

Continue to refine, improve, and enforce the Roseville Transportation Systems Management Ordinance and coordinate the existing Transportation Systems Management program with programs developed by other agencies, including the Sacramento Area Council of Governments and the PCAPCD.

### **AIR QUALITY FUNDING (ONGOING)**

Explore and, as feasible, implement alternative financing mechanisms for local air quality improvement programs, such as mitigation fees, bonds, or assessment districts. Examine whether grants are available to establish an air quality monitoring program.

### **AIR QUALITY AND CLIMATE CHANGE MITIGATION STRATEGIES - AREA AND STATIONARY SOURCES (ONGOING)**

Require area and stationary source projects that generate significant amounts of air pollutants to incorporate air quality mitigation in their design, including the use of best available control technology for stationary industrial sources; clean fuel sources for heating and cooling; clean fuel technology at fueling stations; and other strategies, in consultation with PCAPCD.

### **AIR QUALITY AND CLIMATE CHANGE MITIGATION STRATEGIES – MOBILE SOURCES (ONGOING)**

Implement mitigation strategies to reduce air pollutant and greenhouse gas emissions from motor vehicles. These strategies, which may consist of improvements and refinements to the transportation and circulation infrastructure, may include, but are not limited to:

- Considering high occupancy vehicle lanes in street and highway widening and new construction projects for arterials and wider rights-of-way;
- Provide for future Bus Rapid Transit opportunities by designating high occupancy routes and reserving right-of-way within those routes.
- Filling gaps or missing links in infrastructure systems (i.e., bike/pedestrian trails, bridge crossings, railroad crossings, street extensions) prior to the construction and occupancy of residential developments utilizing that infrastructure.
- Promoting commercial/industrial project proponent sponsorship of van pools or club buses;
- Encouraging commercial/industrial project day care and employee services at the employment site;
- Encouraging the provision of transit, especially for employment-intensive uses;
- Providing subscription bus service to major trip generators or events;
- Discouraging single-occupant vehicle trips through parking supply and pricing controls or other measures identified by the PCAPCD;
- Providing incentives for the use of transportation alternatives;
- Providing expansion and improvement of public transportation services and facilities;

- Encouraging public transit use and the formation of car pools in new areas by requiring bus turnouts, bus shelters, and/or park-and-ride lots;
- Locating public facilities in areas easily served by public transportation;
- Requiring that large developments (e.g., Specific Plans, large commercial or residential uses) dedicate land for use as park-and-ride lots if suitably located, or requiring large developments to provide park-and-ride spaces if located adjacent to regional transit facilities.
- Implementing the Bicycle Master Plan, Long-Range Transit Plan and Short Range Transit Plan as specified in the Circulation Element;
- Considering right-of-way requirements for bike usage in the planning of new arterial and collector streets and in street improvement projects;
- Requiring that new development be designed to promote pedestrian and bicycle access and circulation;
- Providing safe and secure bicycle parking facilities at major activity centers, such as public facilities, employment sites, and shopping and office centers;
- Providing convenient and safe pedestrian and bike movement through the large parking areas that surround large retail and office centers;
- Provide safe pathways that link residential areas to schools, parks, services, and employment areas and transit facilities;
- Promote project design that encourages pedestrian and cyclist use, including grade separated crossing at major arterials, clear and safe connections between projects and uses;
- Install sidewalks in residential and commercial developments with protective curbing and adequate lighting and pedestrian amenities.

## **AIR QUALITY AND CLIMATE CHANGE MITIGATION STRATEGIES - LAND USE (ONGOING)**

Encourage development to be located and designed to minimize greenhouse gas and air pollutant emissions and avoid exposure to substantial pollutant concentrations by doing the following:

- Locate point sources, such as manufacturing and extracting facilities, in areas designated for industrial development and separated from residential areas and other sensitive receptors (e.g., homes, schools, and hospitals);
- Provide separation between sources of substantial air pollutant emissions and sensitive receptors and/or provide landscaping using plant species that are shown to reduce pollutant exposure;
- Provide ancillary employee services (including, but not limited to, child care, restaurants, banks, and convenience markets) at major employment centers to reduce midday vehicle trips;
- Provide for mixed-use and transit-supportive development that reduces the length and frequency of vehicle trips or reduces the need for vehicle trips by providing practical pedestrian, bicycle, and transit options;
- Consider increased intensity of development along existing and proposed transit corridors;



- Accommodate a portion of the projected population and economic growth of the City in areas having the potential for redevelopment or revitalization;
- Locate public facilities (libraries, parks, schools, community centers, etc.) with consideration of transit and other non-automobile transportation opportunities;
- Preserve rights-of-way and station sites along future transit corridors;
- Encourage small neighborhood-serving commercial uses within or adjacent to residential neighborhoods;
- Encourage a development pattern that is contiguous with existing developed areas of the City.

### **OPERATIONAL AIR QUALITY AND GREENHOUSE GAS EMISSIONS (PROPOSED)**

Projects that could have a potentially significant effect, as demonstrated by exceedance of the PCAPCD-recommended thresholds of significance, shall incorporate applicable PCAPCD-recommended standard operational mitigation measures, as listed below or as they may be updated in the future, or those design features determined by the City to be as effective:

- Wood burning or pellet stoves shall not be permitted. Natural gas or propane fired fireplaces shall be clearly delineated on plans submitted to obtain building permits.
- Where natural gas is available, gas outlets shall be provided in residential backyards for use with outdoor cooking appliances such as gas barbeques.
- Electrical outlets should be installed on the exterior walls of both the front and back of residences to promote the use of electric landscape maintenance equipment.
- All newly constructed residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings shall comply with the California Green Building Standards Code (CalGreen).
- Covenants, Conditions & Restrictions (CC&Rs) shall include the required distribution of educational information on how homeowners can increase energy efficiency and conservation in their new homes. The information shall be delivered as part of a “move-in” packet prior to occupancy of the residence.
- Streets should be designed to maximize pedestrian access to transit stops.
- Site design shall maximize access to transit, to accommodate bus travel, and to provide lighted shelters at transit access points.
- A pedestrian access network shall link complementary land uses.
- Provide bicycle storage to promote bicycling.
- Vanpool parking only spaces and preferential parking for carpools should be required for employment-generating uses.
- Consider using concrete or other non-polluting materials for paving parking lots instead of asphalt.
- Landscaping should be designed to eventually shade buildings and parking lots.

If, following incorporation of the above strategies or those determined by the City to be as effective, a project’s operational emissions would still exceed PCAPCD-recommended thresholds of significance, the

City would require the project to offset remaining project emissions in excess of thresholds by establishing off-site mitigation or participation in PCAPCD's Off-site Mitigation Program.

### TOXIC AIR CONTAMINANTS (PROPOSED)

- The City shall require, as part of plans for development within the Planning Area, the implementation of ARB's Air Quality and Land Use Handbook: A Community Health Perspective guidance concerning land use compatibility and recommended setback distances with regard to sources of TAC emissions and sensitive land uses, or related guidance as it may be updated in the future.
- As an alternative to these buffer distances, proposed sensitive receptors, uses that involve substantial truck trips, and large gas stations may provide a site-specific health risk assessment, using methods consistent with applicable guidance from the Office of Environmental Health Hazard Assessment, with mitigation, if necessary, to demonstrate compliance with applicable PCAPCD-recommended health risk thresholds. When health risk impacts exceed PCAPCD-recommended thresholds, feasible on-site mitigation measures to reduce TAC exposure shall be implemented to mitigate health risk impacts below PCAPCD-recommended thresholds. On-site measures could include but are not limited to providing enhanced filtration systems (e.g., MERV 13 or greater) for near-by sensitive receptor buildings, use of solid barriers to pollution, and vegetation to reduce pollutant concentrations, changes to the TAC emission source's operation (e.g. technology or management practices that reduce harmful emissions at the Rail Yard), and positioning of exhaust and intake for ventilation systems to minimize exposure, among others.
- The City shall require, as part of development of land uses associated with sensitive receptors within 500 feet of high-volume roadways (defined as roadways carrying an average of 100,000 or more vehicles per day), the incorporation of feasible design measures to reduce exposure by sensitive receptors of substantial emissions of TACs from nearby high-volume roadways and operation of the Roseville Rail Yard. Design measures shall include recommended strategies from the ARB Technical Advisory, as listed below or as they may be updated in the future, or those design features determined by the City to be as effective:
  - Design that promotes air flow and pollutant dispersion along street corridors, including the use of wider sidewalks, bicycle lanes, and dedicated transit lanes, which create space for better air flow and pollutant dispersion along with increasing active transportation and mode shift;
  - Installation of solid barriers, particularly in the downwind direction. Note that consideration of this strategy should also weigh the negative effect of dividing neighborhoods and obscuring sightlines.
  - Installation of vegetation for pollutant dispersion; maximum benefit of this strategy is typically seen when combined with solid barriers.
  - Installation of indoor high-efficiency filtration systems and devices to remove pollutants from the air. If this strategy is selected, a plan for ongoing operation and maintenance of the systems must also be developed to ensure long-term efficiency is achieved as intended by the system.

### ODORS (PROPOSED)

All new Specific Plans and proposed amendments to Specific Plans shall be evaluated for odor impacts using the SMAQMD-recommended screening distances for odor sources, or the most current adopted or recommended version. If the minimum buffer distance is not feasible, as an alternative to these buffer distances, technology- and design-based measures shall be evaluated as part of the Specific Plan design guidelines to minimize, contain, or prevent the generation of odor-causing emissions and the dispersion of such emissions to nearby sensitive receptors. For example, in the case of siting odor-producing sources, activities could be maintained within an enclosed space and appropriate air filtration systems could be implemented to reduce odors expelled from the building. For developments that would host sensitive receptors, design would include air site layout, landscaping, indoor air filtration systems, or other appropriate measures to minimize exposure of proposed sensitive receptors to odors.



## **EXPAND ELECTRIC VEHICLE PURCHASE AND USE**

Expand electric vehicle charging, remove barriers to electric vehicle charging, and take advantage of opportunities to expand the local charging network. Continue and expand local rebate programs for electric car purchase, as feasible. Consider funding incentives for purchase and charging infrastructure expansion, particularly at home and workplaces. Establish network of DC fast chargers, which are more cost effective and convenient. Continue to plan for electrical infrastructure improvements needed to facilitate electric vehicle charger expansion.

## **HAZARDOUS MATERIALS REGULATIONS (EXISTING)**

Regulate the use, storage, and disposal of hazardous materials consistent with the provisions of State and federal regulations and the policies of the Safety Element. Emphasis will be given to minimizing public exposure to hazardous materials by requiring proper storage and disposal of such materials to prevent leakage, explosions, fires, or the escape of harmful gases. Maintain compatibility between hazardous materials users and surrounding land uses to ensure public safety.

# **OPEN SPACE AND CONSERVATION ELEMENT**

## **OPEN SPACE SYSTEM**

### **OPEN SPACE LAND USE DESIGNATIONS (EXISTING)**

Designate all areas identified for open space use and/or habitat preservation with the appropriate open space land use designation as defined in the Land Use Element.

### **ZONING ORDINANCE (EXISTING)**

Continue to implement the Zoning Ordinance that includes open space land use and development regulations consistent with the goals and policies of the Open Space and Conservation Element and the Land Use Element.

### **SPECIFIC PLANS (ONGOING)**

Ensure that new or revised Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall identify and designate open space resources including grasslands, woodlands, wetlands, riparian areas, floodplains, recreation areas, and other open space and habitat resources, including areas of scenic or educational value.

Particular attention shall be given to comprehensive resource conservation efforts for the entire plan area. Specific Plans shall create open space systems that ensure the preservation of designated open space and habitat resources, create corridors between the resources, link various Specific Plan land uses with services, link the plan area with the remainder of the City, and accommodate regional open space, compatible flood control facilities, and trail systems. Corridors shall be designed to consider the convenient movement of wildlife and path users with minimal restrictions from roadways and other urban features. Specific Plans shall describe methods of preservation, long-term maintenance, and provisions for management. Development agreements will be used to ensure preservation, maintenance, and management techniques including potential alternative ownership and management approaches involving non-profit land trusts or conservancy organizations

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has a direct or indirect impact on designated open space, significant habitat, Preserve or drainage areas to the Development & Operations Division of the City Manager's

Office, the Open Space Division of the Parks and Recreation and Libraries Department, and the Public Works Departments, as applicable, for comment. In addition, where development proposals have a potential impact on resources identified as being within the jurisdiction of outside agencies, including the California Department of Fish and Wildlife, California Regional Water Quality Control Board, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, and U.S. Environmental Protection Agency, refer such projects to the appropriate agencies. Should the development proposal include annexation for a new Specific Plan, implement early consultation with outside agencies with jurisdiction over resources contained within the plan area. Consider the comments of the departments and agencies in the development review process.

In addition to open space preservation, explore development alternatives and standards to minimize impacts on open space areas. Such techniques may include grading and drainage standards, limitation of development intensity, and cluster development. Development design should maximize the total open space frontage accessible to public view. Where appropriate, encourage native plants and landscaping that provide wildlife habitat. Address project linkages to local and regional open space networks through project review. Where appropriate, use development agreements and deed restrictions to ensure open space preservation, maintenance, and management techniques.

### **RESOURCE INVENTORY (ONGOING)**

In conjunction with environmental review per CEQA, require that resource field surveys be submitted concurrent with development applications inventorying the type, quantity, and quality of existing open space resources and conditions. This requirement may be waived if determined by the City that the proposed project area is already sufficiently surveyed, is within an adopted Specific Plan Area, or contains resources considered less than significant. The completed surveys will be used in evaluation of individual projects, as well as in the compilation of a comprehensive natural resource inventory for the City.

### **PRESERVATION MECHANISMS (ONGOING)**

Explore and utilize a variety of mechanisms to promote and ensure the preservation of designated open space resources. Such mechanisms may include, but are not limited to, dedication, fee-title purchase, donations, transfer or purchase of development rights, deed restrictions, and credits against park dedication requirements. If it is determined by the City that an open space resource is not desired for public ownership, the City may designate the preservation of such resource in private ownership. A decision not to seek public ownership may occur when the resource is not desired for public access and where public management and maintenance cannot be efficiently accommodated. In such cases, the permanent preservation of the resource shall be ensured through land use and zoning, recorded map, deed restriction, conservation easement, or other City-approved mechanism.

Where feasible, and desirable, the acquisition and preservation of open space resources may be facilitated by working with nonprofit land trusts and conservation organizations.

### **OPERATION AND MANAGEMENT PLANS (ONGOING)**

Accompany the designation of any area as open space with a program to ensure the long-term maintenance and management of the area. The program shall address restrictions regarding grading and drainage from adjacent land uses, permitted and prohibited uses and activities, the frequency and type of maintenance needed, management and monitoring provisions to ensure the continued viability of the resource, and designated costs and funding sources.

When open space preserves are established as the result of permits issued by federal or state agencies, the maintenance and management programs shall be consistent with applicable permitting requirements and a related Operation and Management Plan. Endowment funds, maintenance districts, or other revenue sources shall be established to ensure sufficient funding for maintenance and any required monitoring and reporting. Funding should consider need for legal services and law enforcement costs to



ensure protection of natural values, improvements, public use, and adjacent properties. New Preserve areas established by federal permit should be considered for appending to the City's Open Space Preserve Overarching Management Plan to ensure consistent citywide Preserve area management, monitoring, and reporting practices.

### **INTERGOVERNMENTAL COORDINATION (ONGOING)**

Consult, at the earliest possible opportunity, with adjacent jurisdictions and responsible agencies to ensure the coordinated designation and preservation of open space areas. Such efforts shall consider continuity of areas between jurisdictions, potential connections between communities and regional systems, and opportunities for regional resource preservation and banking. When considering land entitlements for large-scale projects or Specific Plan, consistent with the August 2000 MOU between the City of Roseville and U.S. Fish and Wildlife Service, conduct early consultation with State and federal resource agencies with jurisdiction over on-site resources to ensure the proposed project or plan can be permitted for development by the involved agencies.

### **BICYCLE MASTER PLAN (EXISTING)**

Implement the Bicycle Master Plan, as specified in the Bikeway/Trails component of the Circulation Element. The Bicycle Master Plan was developed according to State standards and provides a prioritized list of bikeway projects, improvements, and programs that will result in a comprehensive, inter-connected bikeway system.

### **COMMUNITY DESIGN GUIDELINES (EXISTING)**

Implement the Community Design Guidelines, as specified in the Land Use Element. The guidelines include standards to promote the integration of the natural and built environments and design standards for the City.

### **PARKS AND RECREATION COMPREHENSIVE MASTER PLAN (EXISTING)**

Implement the Parks and Recreation Comprehensive Master Plan, as specified in the Parks and Recreation Element. The Master Plan includes a full assessment of traditional and non-traditional park lands and recreation opportunities.

### **URBAN FOREST MASTER PLAN (EXISTING)**

Implement the Urban Forest Master Plan. The Urban Forest Master Plan provides a framework for the long-term care, preservation, and expansion of the community's public trees. The Plan identifies appropriate resources to adequately manage the City's public urban forest. While the Plan focuses primarily on publicly owned trees, including street trees, parks, golf courses, open space and oak mitigation areas, it also recognizes the significant contribution and benefits of private trees to the overall well-being and livability of the community. Therefore, the Plan explores recommendations for increasing canopy cover on both public and private property.

### **PUBLIC EDUCATION PROGRAMS (ONGOING)**

Participate in public programs emphasizing awareness of open space and resource conservation issues. When feasible, such programs should be coordinated with the local school districts and community groups. Efforts will be made to reach all households and provide accessibility through the timing and location of these programs.

### **CITY OF ROSEVILLE OPEN SPACE PRESERVE OVERARCHING MANAGEMENT PLAN (EXISTING)**

The City of Roseville Open Space Preserve Overarching Management Plan (Overarching Plan) is a U.S. Army Corps of Engineers and U.S. Fish and Wildlife Service approved management plan prepared pursuant to the August 2000 MOU between the City of Roseville and U.S. Fish and Wildlife Service. The

Plan ties together management, City facility maintenance activities, monitoring and reporting of open space throughout the City. The Overarching Plan identifies two categories of open space for management purposes: “Preserve” open space, which is typically established by resource agency permit and subject to certain federal agency restrictions; and, “General” open space which is typically City owned and was dedicated or set aside due to City policy or to meet Specific Plan or General Plan requirements. General open space is not subject to existing State and/or federal permit requirements, while Preserve open space is typically protected by deed restriction for conservation purposes.

## **VEGETATION AND WILDLIFE**

### **OPEN SPACE LAND USE DESIGNATIONS (EXISTING)**

Designate all areas identified for open space use and/or preservation with the appropriate open space land use designation, as defined in the Land Use Element.

### **ZONING ORDINANCE (EXISTING)**

Continue to implement the Zoning Ordinance that includes open space land use and development regulations consistent with the goals and policies of the Open Space and Conservation Element and the Land Use Element. Modification may include establishment of a zoning designation applicable to sensitive resource areas.

### **SPECIFIC PLANS (ONGOING)**

Ensure that new or revised Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall identify and designate open space resources that may include grasslands, woodlands, wetlands, riparian areas, floodplains, recreation areas, and other open space and habitat resources. This will also include areas of scenic or educational value.

Particular attention shall be given to comprehensive resource conservation efforts for the entire plan area. Specific Plans shall create open space systems that ensure the preservation of designated open space and habitat resources, create corridors between the resources, link various Specific Plan land uses with services, link the plan area with the remainder of the City, and accommodate regional open space, compatible flood control facilities, and trail systems. Corridors shall be designed to consider the convenient movement of public path users and wildlife with minimal conflicts from roadways and other urban features. Specific Plans shall describe methods of preservation, long-term maintenance and provisions for management. Development agreements may be used to ensure preservation, maintenance and management techniques, including potential alternative ownership and management approaches involving nonprofit land trust or conservancy organizations.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has a direct or indirect impact on designated open space, significant habitat, Preserve, or drainage areas to the Development and Operations Division of the City Manager’s Office, the Open Space Division of the Parks and Recreation Department and Public Works Departments, as applicable, for comment. In addition, where development proposals have a potential impact on resources identified as being within the regulatory jurisdiction of outside agencies, including the California Department of Fish and Wildlife, California Regional Water Quality Control Board, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, and U.S. Environmental Protection Agency, refer such projects to the appropriate agencies. Should the development proposal include annexation for a new Specific Plan, implement early consultation with outside agencies with jurisdiction over resources contained within the plan area. Consider the comments of the departments and outside agencies in the development review process.



### **RESOURCE INVENTORY (ONGOING)**

In conjunction with environmental review per CEQA, require that resource field surveys be submitted concurrent with development applications inventorying the type, quantity, and quality of existing open space resources and conditions. This requirement may be waived if determined by the City that the proposed project area is already sufficiently surveyed, is within an adopted Specific Plan Area, or contains resources considered less than significant. The completed surveys will be used to evaluate individual projects, as well as to compile a comprehensive natural resource inventory for the City.

### **PRESERVATION MECHANISMS (ONGOING)**

Explore and utilize a variety of mechanisms to promote and ensure the preservation of designated open space resources. Such mechanisms may include, but are not limited to, dedication, fee-title purchase, donations, transfer or purchase of development rights, deed restrictions, and credits against park dedication requirements. If it is determined by the City that an open space resource is not desired for public ownership, the City may designate the preservation of such resource in private ownership. A decision not to seek public ownership may occur when the resource is not desired for public access and where public management and maintenance could not be efficiently accommodated. In such cases, the permanent preservation of the resource shall be ensured through land use and zoning, recorded map, deed restriction, conservation easement, or other City-approved mechanism.

Where feasible and desirable, the acquisition and preservation of open space resources may be facilitated by working with non-profit land trusts and conservation organizations.

### **OPERATION AND MANAGEMENT PLANS (ONGOING)**

Accompany the designation of any area as open space with a program to ensure the long-term maintenance and management of the area. The program shall address restrictions regarding grading and drainage from adjacent land uses, permitted and prohibited uses and activities, the frequency and type of maintenance needed, management and monitoring provisions to ensure the continued viability of the resource and designated costs and funding sources. When open space preserves are established as the result of permits issued by federal or State agencies, the maintenance and management programs shall be consistent with applicable permitting requirements and related Operation and Management Plans. Endowment funds or maintenance districts shall be established to ensure sufficient funding for maintenance and any required monitoring and reporting. Funding should consider need for legal services and law enforcement costs to ensure protection of natural values, improvements, public use, and adjacent properties. New Preserve areas established by federal permit should be considered for appending to the City's Open Space Preserve Overarching Management Plan to ensure consistent citywide Preserve area management, monitoring, and reporting practices.

### **TREE PRESERVATION REGULATIONS (EXISTING)**

Enforce and regularly evaluate the tree preservation regulations contained in the Zoning Ordinance. These regulations provide standards for the removal, preservation, and mitigation of native oak trees. Emphasis is placed on avoidance first, mitigation second. Where mitigation is not feasible on-site, tree preservation and mitigation efforts should be considered in locations that enhance or expand existing resource areas.

### **FLOOD DAMAGE PREVENTION ORDINANCE (EXISTING)**

Enforce and regularly evaluate the Flood Damage Prevention Ordinance. This Ordinance regulates the preservation of the Regulatory Floodplain, as defined in the Safety Element, to protect habitat and wildlife values in perpetuity. Areas outside, but adjacent to the Regulatory Floodplain may be designated for dedication or preservation, if special circumstances or resources exist. These may include, but are not limited to, sensitive wildlife or vegetation, wetland habitat, oak woodland areas, grasslands in association with other habitat areas, slope or topographical considerations, recreation opportunities, and maintenance access requirements.

### **WASTEWATER DISCHARGE (EXISTING)**

Continue to regulate the discharge of treated wastewater into Dry and Pleasant Grove Creeks in accordance with Regional Water Quality Control Board and National Pollutant Discharge Elimination System (NPDES) standards. These standards are intended to eliminate water quality impacts to fisheries and other aquatic resources.

### **GRADING ORDINANCE (EXISTING)**

Enforce and regularly evaluate the Grading Ordinance. The Grading Ordinance includes specific standards for project construction and erosion control. Enforcement helps to reduce sedimentation within the creek systems that can impact aquatic resources. The Ordinance requires prompt re-vegetation of disturbed areas, avoidance of grading activities during wet weather, and avoidance of disturbance within drainageways, as well as other erosion and sedimentation control measures.

### **STORMWATER ORDINANCE (EXISTING)**

Through the Environmental Utilities Department, apply the Urban Stormwater Quality Management and Discharge Control Ordinance to implement measures to improve the short-term and long-term quality of stormwater runoff. The Stormwater Ordinance identifies cost-effective urban runoff controls, including Best Management Practices, to limit urban runoff pollutants into the waterway systems and is consistent with EPA Stormwater Management regulations and National Pollutant Discharge Elimination System (NPDES) Phase 2 requirements.

### **WETLAND MITIGATION GUIDELINES (PROPOSED)**

In conjunction with required environmental review per CEQA, regulate the preservation, mitigation, monitoring and maintenance of wetland areas in coordination with the California Department of Fish and Wildlife, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, and U.S. Environmental Protection Agency. For federally non-regulated wetlands, the City may require compensation or mitigation based on the value of the resource and reserves the right to consider not-in-kind compensation.

Wetland preservation, mitigation, monitoring and maintenance efforts in Roseville shall, where feasible, comply with the following principles:

- Avoidance of resources as a first priority, with compensation or mitigation implemented when avoidance is determined not to be feasible or desirable;
- No net loss of wetland acreage, values or function, or habitat of comparable value is provided;
- Comprehensive rather than incremental preservation, compensation, or mitigation programs;
- Preservation, compensation, or mitigation efforts focused on enhancing and expanding existing resource areas rather than creating isolated resource pockets;
- Preserves, compensation, or mitigation areas created that are large enough to be self-sustaining and ensure the long-term preservation of wetland resources and required watersheds, provide an adequate buffer, and have a sufficient number of wetlands to support adequate species populations and range;
- Preserves and compensation or mitigation areas selected on their representativeness, habitat quality, watershed integrity, defensibility, buffer, size, plant species, variety, and presence of special status species.

When avoidance is determined not to be feasible or desirable, compensation or mitigation shall occur based on the following priorities as may be modified by applicable State or federal permit conditions:



- 5 On-site within the identified project or Specific Plan Area when long-term resource viability is feasible.
- 6 Off-site, but within the City of Roseville, when on-site compensation or mitigation is determined not to be feasible or desirable.
- 7 Off-site, outside the City only when the above two options are determined not to be feasible or desirable. Compensation or mitigation efforts outside the City should be in close proximity and accessible to Roseville residents and should be coordinated with regional preservation and banking efforts. Proposals to provide wetland compensation or mitigation outside the City shall be accompanied by documentation indicating how the compensation or mitigation proposal benefits the resource and the City and how the loss of open space resources in the City will be mitigated.

All wetland preserve, compensation, or mitigation areas shall be designated as permanent open space and maintained as specified in implementation measures 6 and 7, above. City property may be utilized for preservation or mitigation if such efforts do not conflict with existing resources, recreational opportunities or other City goals, policies, and programs. Pedestrian and cyclist access to preservation and compensation or mitigation areas shall be well-defined and limited to minimize impacts upon the resources. Areas identified as having special-status species shall be monitored and managed to encourage the continued viability of the species and discourage non-indigenous invasive species consistent with the City of Roseville Open Space Preserve Overarching Management Plan.

### **COMMUNITY DESIGN GUIDELINES (EXISTING)**

Enforce and regularly evaluate the Community Design Guidelines, as specified in the Land Use Element. These guidelines contain standards to promote the integration of the natural and built environments, including City entryways.

### **PUBLIC EDUCATION PROGRAMS (ONGOING)**

The City will participate in public programs emphasizing awareness of open space and resource conservation issues. When feasible, such programs should be coordinated with the local school districts and community groups. Efforts will be made to reach all households and provide accessibility through the timing and location of these programs.

### **INTERGOVERNMENTAL COORDINATION (ONGOING)**

Pursue a regional approach to habitat preservation. This effort includes working with adjacent jurisdictions, the U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, U.S. Environmental Protection Agency, California Department of Fish and Wildlife, and community organizations to develop a programmatic permitting and mitigation process, and explore opportunities for habitat preservation, restoration and enhancement. When considering land entitlements for large-scale projects or Specific Plans, consistent with the August 2000 MOU between the City of Roseville and U.S. Fish and Wildlife Service, conduct early consultation with State and federal resource agencies with jurisdiction over on-site resources to ensure the proposed project or plan can be permitted for development by the involved agencies.

### **SPECIAL-STATUS PLANTS AND HABITAT (PROPOSED)**

As appropriate to each individual project or Specific Plan, the following actions or those determined to be equally as effective by the City shall be implemented where there may be an adverse impact on special-status plants or habitat:

- a. In conjunction with environmental review pursuant to CEQA, for projects that could directly affect special-status plants or habitat, the City shall require that resource field surveys, including special-status plant surveys, be submitted concurrent with development applications inventorying the type, quantity, and quality of existing open space resources and conditions. This requirement may be waived if determined by the City that the proposed project area is already sufficiently

- surveyed, is within an adopted specific plan area, or contains resources considered less than significant.
- b. The City and project proponents will identify feasible opportunities to preserve special-status plant species occurrences and sensitive habitats through design and planning.
  - c. If the City determines it is reasonable and feasible to do so, the City will require preservation of occupied special-status plant species habitat and sensitive habitat types as a condition of project approval. If adverse effects cannot be avoided, project proponents shall be required to mitigate all adverse effects in accordance with guidance from the appropriate state or federal agency charged with the protection of the subject species and habitat, including surveys conducted according to applicable standards and protocols, where necessary, implementation of impact minimization measures based on accepted standards and guidelines and best available science, and compensatory mitigation for unavoidable loss of special-status plant species and sensitive habitats.
  - d. If the project would result in take of state or federally listed species, the City will require project proponent/s to obtain take authorization from the USFWS and/or the CDFW, as appropriate, depending on species status, and comply with all conditions of the take authorization.
  - e. The City will require project proponents to develop and implement a mitigation and monitoring plan reflective of permit conditions required by State and/or federal regulatory agencies, to compensate for effects to or loss of special-status species and sensitive habitats. The mitigation and monitoring plan will describe in detail how impacts to special-status species or sensitive habitats shall be avoided or offset, including details on restoration and creation of habitat, compensation for the temporal loss of habitat, management and monitoring to avoid indirect habitat degradation (e.g., management of invasive plant species, maintenance of required hydrology), success criteria ensuring that habitat function goals and objectives are met and target special-status species cover and density parameters are established, performance standards to ensure success, and remedial actions if performance standards are not met. The plan will include detailed information on the habitats present within the preservation and mitigation areas, the long-term management and monitoring of these habitats, legal protection for the preservation and mitigation areas (e.g., conservation easement, declaration of restrictions), and funding mechanism information (e.g., endowment).
  - f. If available, purchase of mitigation credits at an agency-approved mitigation bank (i.e., approved by the agency with jurisdiction over the affected species or habitat) in Placer County, will be acceptable for compensatory mitigation for special-status species.

### **SPECIAL-STATUS WILDLIFE (PROPOSED)**

If feasible, the City will require preservation of occupied special-status wildlife species habitat and sensitive habitat types as a condition of project approval. If adverse effects cannot be avoided, project proponents shall be required to mitigate all adverse effects in accordance with guidance from the appropriate state or federal agency charged with the protection of the subject species and habitat, including surveys conducted according to applicable standards and protocols, where necessary, implementation of impact minimization measures based on accepted standards and guidelines and best available science, and compensatory mitigation for unavoidable loss of special-status wildlife species and sensitive habitats.

### **RIPARIAN HABITAT AND SENSITIVE NATURAL COMMUNITIES (PROPOSED)**

If a proposed project would result in fill or alteration of a waterway or any body of water supporting riparian forest habitat, the City will require project proponent/s to notify the California Department of Fish and Wildlife, obtain a Lake and Streambed Alteration Agreement if determined necessary by the California Department of Fish and Wildlife, and comply with all conditions of the Lake and Streambed



Alteration Agreement. Measures for riparian habitat and sensitive natural communities protection include, but are not limited to, avoid impacts by establishing a buffer zone between adjacent land uses and riparian habitat and sensitive natural communities; protect and preserve riparian habitat and sensitive natural communities to the extent feasible; and compensate for loss of riparian habitat and sensitive natural communities by creating, restoring, or preserving off-site habitat in coordination with the applicable resource agencies.

### **WETLANDS AND OTHER WATERS (PROPOSED)**

If a project would result in ground disturbance on sites containing waterways or other aquatic habitats, the City will require project proponent/s to complete a delineation of waters of the United States according to U.S. Army Corps of Engineers' methods, and to submit the completed delineation to the U.S. Army Corps of Engineers for jurisdictional determination. If the project would result in fill of wetlands or other waters of the United States, the City will require project proponent/s to obtain a Section 404 Clean Water Act permit from the U.S. Army Corps of Engineers and water quality certification from the Regional Water Quality Control Board pursuant to Section 401 of the Clean Water Act. If the project involves work in areas containing waters disclaimed by the USACE, project applicants shall obtain a Waste Discharge Requirement permit from the Regional Water Quality Control Board pursuant to the Porter Cologne Act. Project applicants shall be required to obtain all needed permits prior to project implementation, to abide by the conditions of the permits, including all mitigation requirements, and to implement all requirements of the permits in the timeframes required therein.

## **GROUNDWATER RECHARGE AND WATER QUALITY**

### **STORMWATER ORDINANCE (EXISTING)**

Through the Environmental Utilities Department, apply the Urban Stormwater Quality Management and Discharge Control Ordinance to improve the short-term and long-term quality of stormwater runoff. The Stormwater Ordinance includes identification of cost-effective urban runoff controls, including Best Management Practices, to limit urban runoff pollutants into the waterway systems and is consistent with EPA Stormwater Management regulations and National Pollutant Discharge Elimination System (NPDES) Phase 2 requirements.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has a direct or indirect impact on water quality or groundwater recharge and quality to the Development & Operations and Environmental Utilities Departments, as applicable, for comment. In addition, where development proposals have a potential impact on resources identified as being within the jurisdiction of outside agencies, including the California Department of Fish and Wildlife, California Regional Water Quality Control Board, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, and U.S. Environmental Protection Agency, refer such projects to the appropriate agencies. Consider the comments of the departments and agencies in the development review process.

The environmental review for projects shall include an inventory of the quantity and quality of water resources, assessment of potential project impacts, and identification of mitigation and monitoring measures. The issues of urban runoff controls, erosion control, recharge area preservation, and buffer areas shall be addressed. In addition, the handling and storage of toxic chemicals shall be examined to minimize the risk of discharge into storm drains, watercourses, or groundwater.

### **SPECIFIC PLANS (ONGOING)**

Ensure that new and revised Specific Plans are consistent with the goals and policies of the General Plan. The Specific Plans shall identify and designate open space resources including grasslands, woodlands, wetlands, riparian areas, floodways, recreation areas and other open space, buffer, and habitat resources. The environmental analysis for each Specific Plan shall address water quality programs, recharge area preservation, and erosion control and urban runoff management. In addition,

Specific Plans shall include guidelines that address development along waterways. Guidelines should consider access, security, and separation from urban development. Development agreements will be used to ensure preservation, maintenance and management techniques.

### **GRADING ORDINANCE (EXISTING)**

Enforce and regularly evaluate the Grading Ordinance. The Grading Ordinance includes specific standards for project construction and erosion control. Enforcement helps to reduce sedimentation within the creek systems that can impact aquatic resources. The Ordinance requires prompt re-vegetation of disturbed areas, avoidance of grading activities during wet weather, avoidance of disturbance within drainageways as well as other erosion and sedimentation control measures.

### **FLOOD DAMAGE PREVENTION ORDINANCE (EXISTING)**

Enforce and regularly evaluate the Flood Damage Prevention Ordinance. This Ordinance regulates the preservation of the Regulatory Floodplain, as defined in the Safety Element, to protect habitat and wildlife values in perpetuity. Areas outside but adjacent to the Regulatory Floodplain may be designated for dedication or preservation if special circumstances or resources exist. These may include, but are not limited, to sensitive wildlife or vegetation, wetland habitat, oak woodland areas, grasslands in association with other habitat areas, slope or topographical considerations, recreation opportunities, and maintenance access requirements.

### **INTERAGENCY COORDINATION (ONGOING)**

Continue to coordinate City water quality, groundwater and water resource efforts with the appropriate local, State, and federal agencies.

### **WATER WELL MONITORING (ONGOING)**

Through the Environmental Utilities Department, continue to monitor the City's wells for water quality and quantity.

### **LAND USE DESIGNATION (EXISTING)**

Designate all areas identified for open space use and/or preservation with the appropriate open space land use designation, as defined in the Land Use Element. Open space land use shall be applied to primary watercourses and may be considered for significant recharge areas.

### **ZONING ORDINANCE (EXISTING)**

Continue to implement and enforce the Zoning Ordinance's open space district and development regulations for consistency with the goals and policies of the Open Space and Conservation Element and the Land Use Element.

### **PRESERVATION MECHANISMS (ONGOING)**

Explore and utilize a variety of mechanisms to promote and ensure the preservation of designated open space resources. Such mechanisms may include, but are not limited to, dedication, fee-title purchase, donations, transfer or purchase of development rights, and credits against park dedication requirements. If it is determined by the City that an open space resource is not desired for public ownership, the City may designate the preservation of such resource in private ownership. A decision not to seek public ownership may occur when the resource is not desired for public access and where public management and maintenance could not be efficiently accommodated. In such cases, the permanent preservation of the resource shall be ensured through land use and zoning, recorded map, deed restriction, conservation easement, or other City-approved mechanism.

Where feasible, and desirable, the acquisition and preservation of open space resources may be facilitated by working with non-profit land trusts and conservation organizations.



## **FLOOD CONTROL (COMPONENT INSTITUTED BY THE GENERAL PLAN)**

Regulate flood control, detention, and retention efforts in accordance with the goals and policies of the Flood Protection component of the Safety Element.

## **AQUIFER STORAGE AND RECOVERY (EXISTING)**

Implement the City's Aquifer Storage and Recovery (ASR) program. The ASR Program allows the City to maximize sustained use of the groundwater basin in conjunction with surface water supplies, while providing a strong backup water supply during critically dry years, consistent with the City's commitments contained in the Water Forum Agreement.

# **HISTORICAL, CULTURAL, TRIBAL CULTURAL, AND PALEONTOLOGICAL RESOURCES**

## **MANAGEMENT OF TRIBAL CULTURAL RESOURCES AND CONSULTATION**

Projects that could have significant adverse impacts to human remains or potential human remains shall implement the applicable procedures and recommended mitigation within the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation.

## **HISTORICAL RESOURCES (PROPOSED)**

If a built environment resource greater than 50 years in age may be directly or indirectly impacted by project activities, the following actions will be taken to identify buildings with historical or architectural value. As appropriate to each individual project or Specific Plan, the following actions or those determined to be equally as effective by the City shall be implemented where there may be an adverse impact on potential historical resources:

- a. Consult the City's Master List of Historical Resources Inventory, "Significant Buildings" list as codified in Chapter 19.61 of the City of Roseville's Zoning Ordinance, National Register of Historic Places (NRHP), California Register of Historical Resources (CRHR), Built Environment Resources Directory (BERD) regarding non-archaeological resources in the Office of Historic Preservation's (OHP) inventory and, as necessary, seek information from the North Central Information Center (NCIC) or other applicable data repositories to determine whether the project area has been surveyed, and whether built environment resources were identified.
- b. If a survey of the project area in which the property is located has not been conducted, a cultural resource specialist who meets Secretary of the Interior's (SOI) Professional Qualifications Standards as a Historian/Architectural Historian will conduct a built environment resource study of the historic-age built environment resource(s) within the project area.
- c. If a study is required, it will summarize identification efforts; include results of field survey with photographs and descriptions of existing conditions; and background and property specific research to develop pertinent historical contexts for significance evaluations. The study may include consultation with local historical societies, museums, or other interested parties, as necessary. The built environment resource(s) will be documented on the appropriate California Department of Parks and Recreation (DPR) 523 series forms and evaluated for eligibility for listing in the CRHR. The results of the study will be summarized in a technical memorandum. A copy of the completed study and DPR 523 forms will be retained on file with the City and a copy submitted to the NCIC.
- d. If the results of the study by the SOI Historian/Architectural Historian concludes that the built environment resource(s) is/are not eligible for listing in the CRHR and is not listed by the City as a "Significant Building," no further action is required for the project.

- e. If the built environment resources are listed by the City as a “Significant Building,” the findings of Chapter 19.61 of the City of Roseville’s Zoning Ordinance must be made prior to authorization of demolition. If the results of the study by the SOI Historian/Architectural Historian concludes that the built environment resource(s) is/are eligible for listing in the CRHR and project activities have the potential to cause substantial adverse change, avoidance shall be considered the primary mitigation option. If avoidance is not feasible, then the preservation, rehabilitation, and/or restoration of the resource conducted in a manner consistent with the SOI Standards for the Treatment of Historic Properties will reduce impacts to less than significant. If adherence to the SOI Standards for the Treatment of Historic Properties cannot avoid altering the physical characteristics or immediate surroundings that conveys its historic significance and the project results in a substantial adverse change, then additional mitigation will be required to reduce impacts.
- f. If avoidance is not feasible and minimizing impacts of the project on the resource through adherence to the SOI Standards for the Treatment of Historic Properties is also not possible, additional mitigation measures will be implemented to record the resource for the historic record before the resource is altered before any project activities. Mitigation may include, but is not limited to, Historic American Buildings Survey (HABS); Historic American Engineering Record (HAER); and/or Historic American Landscapes Survey (HALS)-type reports with historical context, photodocumentation, drawings, and other relevant information; interpretive panel/commemorative plaque; and/or oral history interviews.

### **ARCHAEOLOGICAL RESOURCES, INCLUDING TRIBAL CULTURAL RESOURCES (PROPOSED)**

Projects that could have significant adverse impacts to potentially significant archaeological resources, including those which are TCRs or are associated with a TCR, shall be required to assess impacts and provide feasible mitigation. The following steps, or those determined to be equally as effective by the City, will be followed:

- a. Request information from the California Native American Heritage Commission to obtain a review of the Sacred Lands File and a list of local Native American groups and individuals that may have specific knowledge of cultural resources in the area that could be affected by project implementation. Each Native American group and individual identified by the Native American Heritage Commission will be contacted to obtain any available information on cultural resources in the project area. Additional consultation with relevant tribal representatives may be appropriate, depending on the relative level of cultural sensitivity, as identified by Native American groups or individuals.
- b. Request updated information from the North Central Information Center of the California Historical Resources Information System (California State University, Sacramento) to determine whether the project area has been previously surveyed and whether archaeological resources were identified. In the event the records indicate that no previous survey has been conducted or existing survey data is greater than five years old, the applicant will retain the services of a qualified archaeologist to assess the adequacy of the existing data (if any) and assess the archaeological sensitivity of the project area. If the survey did not meet current professional standards or regulatory guidelines, or relies on outdated information, a qualified archaeologist will make a recommendation on whether a survey is warranted based on the sensitivity of the project area for archaeological resources.
- c. If a survey is warranted, it will include all necessary background research, including that resulting from consulting with traditionally and culturally affiliated California Native American tribes in addition to an archaeological pedestrian survey. Based on findings of the survey, additional technical studies may be required, such as geoarchaeological sensitivity analysis, or other analysis scaled according to the nature of the individual project. A report will document the results



- of the survey and provide appropriate management recommendations, and include recordation of identified archaeological resources on appropriate California Department of Parks and Recreation site record forms and cultural resources reports.
- d. Management recommendations may include, but are not limited to additional studies to evaluate identified sites or archaeological monitoring at locations determined by a qualified archaeologist in consultation with culturally affiliated California Native American tribes to be sensitive for subsurface cultural resource deposits. The City will determine the need for tribal monitoring based upon the guidance provided in Volume I of the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation.
  - e. Once approved by the City, provide the North Central Information Center with appropriate California Department of Parks and Recreation site record forms and cultural resources reports for any resources identified. Any subsequent reports completed as a result of additional technical work will likewise be submitted to the Northcentral Information Center.
  - f. If no archeological resources, including those which are TCRs or are associated with a TCR, are identified that may be directly or indirectly impacted by project activities, mitigation is complete as there would be no adverse change to documented archeological resources. The exception would be in the event of the discovery of a previously unknown archaeological site inadvertently exposed during project implementation. In such an event, a qualified archaeologist will be retained to assess the discovery and provide management recommendations as necessary, in accordance with the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation Section 3.2.
  - g. When a project will impact a known archaeological site, including those determined to be a TCR, and avoidance is not a feasible option, a qualified archaeologist, in consultation with traditionally and culturally affiliated California Native American tribes, shall evaluate the eligibility of the site for listing in the California Register of Historical Resources. If the archaeological site is found to be a historical resource as per CEQA Guidelines Section 15064.5 (a)(3), the qualified archaeologist shall recommend further mitigative treatment, which could include preservation in place or data recovery, consistent with Internal Guidance for Management of Tribal Cultural Resources and Consultation Section 3.2.4.
  - h. If a site to be tested is prehistoric, the City should determine the need for tribal monitoring based upon the guidance provided in Volume I of the Internal Guidance for Management of Tribal Cultural Resources and Consultation Section 2.4.4.
  - i. Appropriate mitigation may include curation of artifacts removed during subsurface testing, consistent with the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation.
  - j. If significant archaeological resources that meet the definition of historical or unique archaeological resources, including those determined by the City to be TCRs, are identified in the project area, the preferred mitigation of impacts is preservation in place. If impacts cannot be avoided through project design, appropriate and feasible treatment measures are required, which may consist of, but are not limited to actions, such as data recovery excavations. If only part of a site will be impacted by a project, data recovery will only be necessary for that portion of the site. Data recovery will not be required if the implementing agency determines prior testing and studies have adequately recovered the scientifically consequential information from the resources. Studies and reports resulting from the data recovery shall be deposited with the North Central Information Center. Archaeological sites known to contain human remains shall be treated in accordance with the provisions of Section 7050.5 of the Health and Safety Code, as outlined in the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation.

## **UNDISCOVERED ARCHAEOLOGICAL RESOURCES, INCLUDING TRIBAL CULTURAL RESOURCES (PROPOSED)**

Projects that could have significant adverse impacts to undiscovered, potentially significant archaeological resources and/or TCRs which may be discovered during construction shall be required to implement the Post-Review Discovery Procedures within Volume II Part C of the City's Internal Guidance for Management of Tribal Cultural Resources and Consultation, or those determined to be equally as effective by the City.

## **SPECIFIC PLANS (ONGOING)**

Ensure that new or revised Specific Plans are consistent with the goals and policies of the General Plan. The Specific Plans shall incorporate a comprehensive inventory, analysis, and mitigation plan for archaeological and historic resources. Where feasible, significant archaeological resources shall be incorporated into park or other open space areas. All significant archaeological sites located in parks and other open space areas should be protected and left in an undisturbed state. Development agreements should be used to ensure preservation, maintenance, and management techniques.

## **LAND USE DESIGNATION (EXISTING)**

Designate all areas identified for open space use with the appropriate open space land use designation, as defined in the Land Use Element. This will, where feasible, include areas identified as having significant archaeological resources.

## **ZONING ORDINANCE (EXISTING)**

Continue to implement the Zoning Ordinance's open space land use and development regulations for consistency with the goals and policies of the Open Space and Conservation Element and the Land Use Element.

## **DOWNTOWN AND RIVERSIDE GATEWAY SPECIFIC PLANS (EXISTING)**

Continue to implement the Downtown and Riverside Gateway Specific Plans. These Specific Plans identify significant historic structures, provisions to preserve and/or enhance existing buildings, and guidelines for compatibility of new and existing development. Coordinate these Specific Plans with revitalization and development efforts to promote the preservation and enhancement of the areas.

## **INTERAGENCY COOPERATION (ONGOING)**

Cooperate with other State, federal, and local agencies in the identification and preservation of archaeological and historic resources. This will include working with Placer County and the Roseville Historical Society on updating the inventory of historic sites.

## **COMMUNITY ORGANIZATIONS (ONGOING)**

Continue to encourage, support and cooperate with various community organizations, including the Roseville Historical Society, in recognizing significant places and events in Roseville's past.

## **PARKS AND RECREATION NEEDS ASSESSMENT (EXISTING)**

The Parks and Recreation Needs Assessment should be updated a minimum of every three years and/or with any significant General Plan amendment. The Plan will be used to ensure continual review and updating of recreation facility standards and/or trends/gaps in recreational amenities. Periodic survey of City-administered recreation programs should also be conducted by the Parks, Recreation & Libraries Department in order to evaluate the content and popularity of programs being offered.

## **PALEONTOLOGICAL RESOURCES**

Where there is potential for a significant impact to paleontological resources:



- 1 Consult the Paleontological Sensitivity Map.
- 2 For projects located in geologic units that are not identified as paleontologically sensitive and which do not involve ground disturbance to a depth greater than 5 feet below the ground surface, no further actions related to paleontological resources shall be required.
- 3 For projects that would be located in paleontologically sensitive geologic units, or those that would be located in non-paleontologically sensitive surficial units but would involve ground disturbance to a depth greater than 5 feet, provide a site-specific analysis of the project’s potential to damage or destroy unique paleontological resources. The analysis shall include a review of relevant geological and paleontological literature and maps, a paleontological records search at the U.C. Berkeley Museum of Paleontology, a paleontological sensitivity analysis, and measures designed to protect unique paleontological resources. Such measures may include, but are not limited to, construction worker personnel training, periodic monitoring during construction activities, stopping work within 50 feet of any fossil that is discovered, evaluation of the fossil by a qualified paleontologist, and proper recordation and curation of the specimen.

## PARKS AND RECREATION ELEMENT

### PARK DEFINITIONS, STANDARDS AND SITING CRITERIA (EXISTING)

Use the Parks Definitions, Standards and Siting Criteria reflected on Tables VI-1 and VI-2 of the Parks and Recreation Element and the Parks and Recreation Master Plan, Strategic Plans, Needs Assessments and the Park and Recreation Business Plan to plan for future parks and recreation facilities. These guidelines shall be used to allow the City flexibility for varying circumstances, in terms of size, facilities and service areas, to ensure that existing and future needs are met and to lessen gaps identified in the Needs Assessment.

The table below summarizes the City’s park and open space acreage as of the writing of this General Plan. The table also identifies the City’s other green spaces and recreational areas. In most instances, these other green spaces are not included in the City’s parkland standard. Definitions for the various categories of parkland are described in the Parks and Recreation Element.

Parks and Recreation and Open Space Acreage (Existing and Planned)	
Use	Acres
Developed Parks <sup>1</sup>	1,943
Open Space Lands	3,206
Green Spaces	390
Greenway/Paseos <sup>2</sup>	70

Note:

<sup>1</sup> Includes joint-use parks/facilities at school sites

<sup>2</sup> Greenways/Paseos consist of the paseos in the West Riverside Specific Plan, Sierra Vista Specific Plan/Westbrook, Creekview, the Hewlett-Packard Campus Oaks Master Plan, and Amoruso Ranch Specific Plan areas as well as the one existing greenway along the Sunrise Corridor.

### SPECIFIC PLANS (ONGOING)

Ensure that future and revised Specific Plans include parks and recreation facilities consistent with the standards of this element. Such plans shall identify the future recreation needs of the area, based on the projected population and demographic characteristics, and designate the appropriate recreational lands. The Specific Plans shall address park acreage credits, acquisition or dedication, and financing, timing and maintenance. Utilize development agreement to secure these provisions.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Continue the City's development review, in accordance with the requirements contained in such documents as the Zoning Ordinance, Sign Ordinance, Subdivision Ordinance and Subdivision Map Act, Transportation Systems Management Ordinance, the Specific Plans, the California Environmental Quality Act, and other statutes.

Consult the Parks, Recreation & Libraries Department, and other affected agencies, as a result of any development proposal that may have an impact on parks and recreational facilities. Any comments and recommended mitigation will be considered during the review process. Development review shall address the need for park facilities, timing and provision of such facilities, and the design relationship between parks and adjacent development.

### **DEDICATIONS, FEES AND EXACTIONS (ONGOING)**

The City shall require new residential development to dedicate land or pay in-lieu fees (land and/or development) toward the provision of parks at the nine (9) acre/1,000 population standard. The City shall use its charter city authority and legal authority to ensure compliance with the General Plan standards for park dedication.

### **FUNDING SOURCES (ONGOING)**

Continue to pursue both existing and alternative sources of funding to provide for initial construction and ongoing maintenance of parklands and recreational facilities that will adequately meet community needs. Existing sources include the Neighborhood Park Fees, City-wide Park Fees, In-Lieu Parkland and Development Fees and funds from endowments, Landscape and Lighting Districts, and Community Services Districts. Other sources may include State bond acts, federal and State grants, assessment districts, tax initiatives, and public/private partnerships. Recreational facilities may be provided through fund raising efforts by civic and community organizations. Neighborhood groups may be an additional source of finance and voluntary labor to meet recreational needs.

### **PARK IMPLEMENTATION CHART (EXISTING)**

The City may consider allowing for non-traditional land to augment the parkland dedication standard, as described in the Parks and Recreation Element, for open space lands with recreational value. The City may only consider applying these lands towards meeting required standards after the active recreation needs (ball fields, turf areas, hardcourts) for the area have been met.

### **PARKS AND RECREATION COMPREHENSIVE MASTER PLAN AND/OR NEEDS ASSESSMENT (EXISTING)**

The Parks and Recreation Comprehensive Master Plan and/or Needs Assessment should be updated with any significant General Plan amendment. The Plan will be used to ensure continual review and updating of recreation facility standards. Periodic survey of City-administered recreation programs should also be conducted by the Parks, Recreation & Libraries Department in order to evaluate the content and popularity of programs being offered. Tailor parks, recreational facilities, and programs to the community's preferences and serve all residents, including, including families, teenagers, seniors, and those with mobility challenges.

### **INTERAGENCY COORDINATION (ONGOING)**

Coordinate with local school districts to provide additional park and recreation areas, in conjunction with school facilities. This coordination shall occur consistent with the goals and policies of the School component of the Public Facilities Element. Maximize active recreation opportunities for Roseville residents, including ball fields, turf areas, and hard courts through joint-use agreements.



### **PUBLIC PARTICIPATION (ONGOING)**

Actively solicit public participation in the planning and development of parks and recreational programs to more effectively meet the needs of City residents. The primary means of public input will be through the Parks and Recreation Commission, City Council, public workshops, and surveys. Additional resources include organizations such as the other Council appointed Commissions Committees.

### **INTERGOVERNMENTAL COOPERATION (ONGOING)**

Continue to pursue a regional approach to planning and development of recreational facilities to help ensure optimal use of existing parks and natural resources. Cooperate with neighboring communities to provide joint-use of parklands and facilities, and full use of open space areas. Additionally, the Parks, Recreation & Libraries Department should continue to confer with other jurisdictions, as well as collaborate with public/private partnerships in an effort to identify new programs that have proven successful in other communities.

### **WATER AND ENERGY CONSERVATION (EXISTING)**

Develop and design parks, golf courses, and other recreation lands consistent with the Water and Energy Efficiency component of the Public Facilities Element. Incorporate water and energy conservation measures into the design of recreational facilities. The Parks, Recreation & Libraries Department should adopt landscaping and maintenance practices which conform to the conservation standards set forth in the Public Facilities Element. These standards should be periodically updated.

### **RECYCLED WATER USE (EXISTING)**

Actively pursue the use of recycled water in appropriate irrigation applications for park, golf course and other recreation landscapes consistent with the provisions of the Public Facilities Element. If feasible, extend recycled water to include wildlife or wetland habitat reclamation for incorporation into City parklands.

### **WATER EFFICIENT LANDSCAPE REQUIREMENTS (ONGOING)**

The City's Planning, Environmental Utilities, and the Parks, Recreation & Libraries Departments, will continue to implement the water efficient landscape requirements to meet the standards for water conscious landscaping and to reduce water use in development projects. The requirements specify use of trees and other vegetation in new development. The requirements should also be applied in the design and development of City parks and recreation facilities, and City-maintained streetscapes and medians along major arterials and collector streets and should be consistent with the provisions of the Water and Energy Efficiency component of the Public Facilities Element.

### **PUBLIC EDUCATION AND INTERPRETIVE PROGRAMS (ONGOING)**

Continue the Parks, Recreation, & Libraries Department's public education and interpretive programs to preserve and protect the City's parks through prevention, enforcement, community education, and public relations activities. The programs are designed to develop appreciation of natural resources and the historical value of the Roseville park system through a variety of interpretive and educational awareness programs.

### **PARK MAINTENANCE (ONGOING)**

The City's Parks, Recreation, & Libraries Department will continue to maintain the City's parks and recreation lands, including open space areas and streetscapes and medians along major arterials and collector streets. New development areas will be required to identify resources to provide for the maintenance of future citywide and neighborhood parks and open space lands. This will include exploring the establishment of maintenance assessment districts, sponsorships, and public/public, or public/private partnerships.

### **DEVELOPMENT AGREEMENTS (ONGOING)**

The City shall require proponents of new development to enter into an agreement specifying fair-share obligations for the construction and maintenance of parks and recreation facilities, including greenways and paseos. The intent of the agreement shall be to provide 100 percent of the needed facilities, unless the City makes findings that there are special circumstances (economic or social benefit to the City and its residents), and will indicate from what sources, and time frames, the facilities will be provided. The timing and triggers for park development shall be based on available funding for development and maintenance and absorption of the residential units to be served by the parkland identified within each specific plan.

### **LIFE CYCLES, CIP REHABILITATION PLANS, AND REPLACEMENT GAP ANALYSIS (ONGOING)**

Implement an operational and management system for the Parks, Recreation & Libraries Department that allows for success and accountability toward performance standards, outcomes and sustainable revenue sources. Prioritize capital improvements and replacement of amenities based on current life cycle analysis through studies or asset management programs, an updated five-year rehabilitation plan and/or a current replacement gap analysis study. Continue to maintain and upgrade as necessary City parks and open space areas through the Parks, Recreation & Libraries Department, to ensure safe, clean, and orderly facilities.

### **PARK FEE ORDINANCES (EXISTING)**

Collect and expend park fees, as specified in Roseville Municipal Code Title 4, Revenue and Finance.

## **PUBLIC FACILITIES ELEMENT**

### **CIVIC AND COMMUNITY FACILITIES**

#### **FACILITIES FEES (EXISTING)**

Continue to collect and adjust the City's Community Facilities Fee to fund civic and community facilities pursuant to adopted Specific Plans and Master Plans.

#### **INTERGOVERNMENTAL COORDINATION (ONGOING)**

Coordinate City recreation, library, and planning efforts with the school districts, Placer County, and other applicable agencies. Such coordination will help to ensure the clustering of community activities and should emphasize expansion and diversity of services and facilities rather than duplication.

#### **PARKS AND RECREATION (EXISTING)**

Implement the Parks and Recreation Needs Assessment, consistent with the Parks and Recreation Element. The Parks Needs Assessment should be updated a minimum of every three years and/or with any significant General Plan amendment. The analysis will be used to ensure continual review and updating of recreation facility standards and to identify gaps in trends and services related to recreation. Periodic survey of City-administered recreation programs should also be conducted by the Parks and Recreation Department in order to evaluate the content and popularity of programs being offered.

#### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the Public Facilities Element. Provide the planning and designation of clustered community centers with libraries, community activity areas, and park lands suitable for meeting the local needs of residents or workers. Use development agreements to secure funding and timing requirements.



### **ALTERNATIVE FUNDING SOURCES (ONGOING)**

Actively pursue alternative funding sources for community facilities. Such sources may include the use of special assessment districts; bonds; Mello-Roos Community Facilities Districts; Landscaping & Lighting Districts; and, Marks-Roos Districts, among others, to fund necessary community facilities, including parks, community centers, and libraries.

### **PUBLIC INVOLVEMENT (ONGOING)**

Actively solicit public involvement in the siting of community facilities and identification of programs through the public meeting and review process. Community-based organizations, including Friends of the Library, the Roseville Library Foundation, and the Roseville Library Board, should be consulted and included in the decision-making process to strengthen support for the library programs.

### **CALIFORNIA LIBRARY SERVICES ACT AND THE LIBRARY OF CALIFORNIA ACT (EXISTING)**

The State of California encourages networking among libraries implementing the provisions of the California Library Services Act and Library of California Act. The acts promote resource-sharing among all types of libraries (public, school, academic, and business). The City should continue to actively pursue State funding and support for inter-library resource sharing programs through this legislation.

### **LIBRARIES AS A MULTI-FUNCTIONAL FACILITY (ONGOING)**

Identify opportunities for shared facilities to maximize resources and consolidate educational and cultural centers. The library has evolved in the past 20 years to serve as a community gathering space, educational center, and cultural hub. Fulfill a diversified complement of services at public libraries to keep the community engaged and ensure that services remain vibrant.

### **DEDICATIONS, FEES, AND EXACTIONS (ONGOING)**

Require, as a condition of project approval, dedication of land for needed facilities or the payment of appropriate fees and exactions to help offset municipal costs of facilities expansion.

### **NORTHNET LIBRARY SYSTEM (ONGOING)**

Continue to participate in the NorthNet Library System that facilitates resource-sharing among regional libraries.

## **SCHOOLS**

### **STATE FUNDS (ONGOING)**

The City and school districts together shall continue to actively pursue State funds for school facilities. State funds may provide partial support to school facilities funding. Contingency funding shall be identified should State sources be reduced or eliminated. A higher priority for the eligibility for State funds, if and when such funds are available, may be provided to school districts that choose to adopt year-round school programs.

### **LOCAL RESOURCES (ONGOING)**

The City and school districts shall continue to pursue local funding options including, but not limited to, dedication of school sites, controlled land costs, assessment districts, general obligation bond proceeds, special tax measures, mitigation and other development fees, Mello-Roos Community Facilities districts, and imposition of mitigation fees above State law-required levels.

### **DEVELOPMENT AGREEMENTS (ONGOING)**

In addition to “Sterling” fees (AB 2926) and supplemental developer fees (City of Roseville “infill” ordinance), the City shall encourage proponents of new development to enter into an agreement with the affected school districts, specifying their fair-share obligations for the provision of school facilities.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has a direct or indirect impact on school facilities to the affected school district(s) for review and comment. District comments will be considered by the City in reviewing the proposed project. Environmental review of a project shall evaluate school facilities, in accordance with State law, prior to approval.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Through the Specific Plan process, the City and school districts shall determine school site locations. Where feasible, schools shall be located in neighborhood centers to reduce duplication and create a community focus. The City shall ensure that Specific Plans provide for school facilities through development agreements. These agreements shall identify facility needs, the specific amount of developer contribution for new schools, and phasing requirements of new facilities.

### **SCHOOL DISTRICT FACILITIES MASTER PLANS (PROPOSED)**

The City shall encourage school districts to adopt and update School District Facilities Master Plans. The City should consider the Plans’ assessments of the need for school facilities during the review of projects and future Specific Plans.

### **INTERAGENCY COOPERATION (ONGOING)**

Cooperate and communicate with school districts to ensure greater success in properly assessing the adequacy of existing facilities and projected need. Work with the school districts to develop criteria for the designation and design of school sites and consider opportunities for reducing the cost of land for school facilities, and to encourage the use of City standards in the design and landscaping of school facilities to blend with the neighborhood character and implement the City’s Community Design Guidelines. If dedication of land is not feasible, the City will assist the subject school district in obtaining land at the best possible price. The City and school districts will, to the extent feasible, enter into a joint use agreement or append the master joint use agreement in order to maximize public use or community recreation of indoor and outdoor facilities, minimize duplication of services provided, and facilitate shared financial, operational and maintenance responsibilities.

The City will work with post-secondary educational providers, as necessary, to enhance educational opportunities for students within the Planning Area.

### **JOINT-USE AGREEMENTS (ONGOING)**

Prepare a master joint use agreement and append the master agreement for all new schools within existing and new City boundaries. The planning of the joint campuses shall be a collaboration in order to identify opportunities to maximize public use and community recreation of the facilities, minimize duplication of services provided, and facilitate shared financial, operational and maintenance responsibilities. This agreement shall specify joint use policies, provision of services, financial, operational and maintenance obligations..



## RESOURCE PROTECTION POLICIES (COMPONENT INSTITUTED BY THE GENERAL PLAN)

Ensure the implementation of the policies in the Open Space and Conservation Element of the General Plan that reinforce the intent of the Public Facilities Element by specifying how resource conservation areas may be protected and utilized to enrich the educational experience of City residents.

## ELECTRIC AND PRIVATELY-OWNED UTILITIES

### JOINT ACTION PARTICIPATION (EXISTING)

Continue to participate in joint action agencies that secure electric resources through a combination of contracts to purchase electricity from other agencies and development of electrical generation facilities in Northern California. Roseville may also purchase electricity from other NCPA members to help meet electrical needs.<sup>5</sup>

### CONTINGENCY PLAN (EXISTING)

Implement the City's Load Contingency Plan, specifying what implementation measures shall be taken in the event of peak demand exceeding available resources.

### INTEGRATED RESOURCE PLAN (EXISTING)

Complete and regularly update, through the Electric Department, an Integrated Resource Plan. The Integrated Resource Plan shall:

- Provide projections of future demand;
- Evaluate procurement of both demand and supply side resources to meet future demand;
- Ensure compliance with Renewables Portfolio Standard and low-greenhouse gas emissions requirements;
- Forecast customer rate impacts.

The Integrated Resource Plan should also provide a summary of resources, existing and planned, to meet identified needs in a cost-effective manner.

### DEVELOPER FEES, DEDICATIONS, AND EXACTIONS (ONGOING)

The City shall require new development to pay a fair share of the costs of new sub-transmission and distribution facilities needed to serve development and require dedication of sites and easements needed for substation and transmission lines.

### CAPITAL IMPROVEMENT PROGRAM (ONGOING)

Construct sub-transmission and distribution facilities sufficient for reliable electric service, in accordance with the Capital Improvement Program.

### INTERAGENCY AGREEMENTS (EXISTING)

Continue to develop sufficient transmission facilities and contract with other agencies that may include, but are not limited to, the Western Area Power Administration, Northern California Power Agency,

<sup>5</sup> Established through state legislation, joint action agencies give municipal utilities and other public entities the statutory authority to create a voluntary, inter-governmental body to coordinate and implement projects of mutual interest. Joint action allows utilities to work together to achieve economies of scale for purchase, power generation technology, power management, and other important services intended to make electricity more widely available and at a reduced cost. Joint action agencies are not-for-profit entities, governed by and for their members.

Transmission Agency of Northern California, and Pacific Gas & Electric Company for the use of transmission facilities for the delivery of electricity to Roseville. These agreements should include provisions for obtaining emergency power supplies.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall provide strong policies and implementation to ensure adequate provision of electric and other utilities to future residents. Through development agreements, energy needs, and the provision of additional substations shall be identified, and property secured prior to project approval. The Specific Plans shall include siting and land use compatibility standards for energy facilities consistent with the goals and policies of this component and the Land Use Element.

### **PUBLIC/PRIVATE PARTNERSHIPS (PROPOSED)**

Encourage development of environmentally benign facilities and other alternative energy sources in the private sector.

### **WATER AND ENERGY PROGRAMS (COMPONENT INSTITUTED BY THE GENERAL PLAN)**

Ensure the implementation of the policies in the Water and Energy Efficiency component of the Public Facilities Element that facilitate pursuit of reasonable and cost-effective load management programs. Incentive programs, energy conservation programs, monitoring mechanisms, and Title 24 of the Building Code are implementation measures that can indirectly help customers reduce the chance of service interruption.

### **SOLAR ELECTRIC (PV) PROGRAMS**

Roseville Electric Utility will work with customers to provide education related to the benefits of solar installation and ensure proper installation of PV systems and provide information to allow customers to make informed decisions.

### **SHADE TREE PROGRAM**

Roseville Electric Utility will provide rebates and education to residential and business customers to encourage the use of trees as an energy efficiency measure. Properly placed shade trees can significantly reduce summer cooling costs, while also providing environmental benefits through oxygen exchange and noise reduction.

### **TRUSTED ADVISOR PROGRAM**

Roseville Electric Utility provides customized advisor services to assist electric customers identify opportunities for increased energy efficiency, the benefits of solar and electric vehicles. These services offer one-on-one assessments of customer's energy use and behavior to help customers understand new energy related technology and how they can maximize energy efficiency in their home or business. These programs expand beyond simple energy audits by providing a more personalized customer experience.

### **RESIDENTIAL ENERGY EFFICIENCY PROGRAMS**

Roseville Electric Utility's Residential Energy Efficiency Programs for new and existing homes will continue to offer rebates, educational materials, and technical assistance designed to help residents use electricity more efficiently and reduce carbon emissions.

Roseville Electric Utility will continue to require air conditioners installed in new construction to exceed State energy efficiency requirements. The Roseville Advanced Home Program provides rebates to builders who construct homes that exceed California's energy code, Title 24, by installing energy efficient technologies and/or rooftop solar.



## **ENERGY EFFICIENCY PROGRAMS FOR LOW-INCOME RESIDENTS**

Provide financial assistance to the low-income residents through loans, grants, and the Handyperson Program to improve the energy efficiency of homes. These programs are funded through federal and State programs for low-income residents and administered by the City of Roseville's Housing Division. Roseville Electric Utility will continue to offer special rates and programs for qualifying residents.

## **COMMERCIAL BUSINESS ENERGY EFFICIENCY PROGRAMS**

Roseville Electric Utility's Commercial Business Energy Efficiency Rebate programs help new and existing businesses save energy and reduce peak electric consumption. Reductions in summer peak demand reduces greenhouse gases and save ratepayers money. Roseville Electric Utility offers rebates to assist with reduction of first cost expenditures for energy efficiency upgrades in equipment. Large customers may also access historical energy and demand use via an online service called Energy Profiler Online. The ability to measure and track demand and energy is essential in achieving energy reductions.

## **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has an impact on utilities to the Electric Department and the appropriate non-City-owned utility providers for review and comment. Comments received will be considered during review of the proposed project. Environmental review of a project shall include energy efficiency standards, determination of adequate power sources, cumulative impacts, necessary utility easements, and installation of communication and electric lines prior to approval of certification.

## **PUBLIC EDUCATION PROGRAMS (ONGOING)**

In conjunction with the programs offered on energy efficiency and conservation, the City will actively pursue public programs emphasizing awareness of energy issues. Roseville's Utility Exploration Center is an interdepartmental project spearheaded by Roseville Electric Utility and the Environmental Utilities Department, with support from the Parks, Recreation & Libraries Department and City Manager's Office. The Exploration Center is a one-of-a-kind center offering ideas on preserving the City's natural resources and protecting the environment through new technologies and conservation measures in energy efficiency, water conservation, recycling, and water quality and environmentally sustainable building materials.

# **WATER SYSTEM**

## **INTERAGENCY AGREEMENTS (EXISTING)**

Continue to negotiate, secure, and maintain water supplies and water system inter-ties with the Placer County Water Agency (PCWA), San Juan Water District (SJWD), the Federal Bureau of Reclamation (USBR), and other surrounding water agencies at terms beneficial to the City of Roseville. This includes water supply contracts, as well as agreements for water delivery. If needed, continue to explore the possibility of expanding delivery systems and increasing water supply in cooperation with these agencies, as well as other surrounding agencies.

## **WATER SYSTEM MASTER PLANS (ONGOING)**

Update the distribution system hydraulic model on an as-needed basis. Update the water model to evaluate existing and future infrastructure necessary for meeting City customer needs.

Participate with regional partners in preparation of a Groundwater Sustainability Plan to further the City's desire to proactively manage the groundwater basin and increase water supply reliability. This plan will identify groundwater basin management objectives and monitoring protocols, in accordance with State requirements.

### **SUPPORT AND PARTICIPATE IN WATER FORUM SUCCESSOR EFFORTS AND REGIONAL WATER AUTHORITY (ONGOING)**

Continue to support the Water Forum Successor efforts. The intent of the Water Forum is to achieve two co-equal objectives; (1) provide a safe and reliable water supply which supports the region's economic health; and (2) maintain the ecologic health and vitality of the lower American River. The Water Forum is made of a group of stakeholders interested in water issues on the American River. An outgrowth the Forum process is the development of the Regional Water Authority (RWA). The City will continue to support the RWA in development of programs that can better meet the needs of water agencies within the region through agreements and joint projects.

### **PARTICIPATE IN REGIONAL WATER SUPPLY PROJECTS (ONGOING)**

Seek opportunities to participate in regional water supply projects that provide for new water supplies or increased levels of water supply reliability. This includes opportunities to diversify the City's points of diversion. Projects include the PCWA Ophir Water Treatment Plant project and the regional RiverArc project. Both projects would diversify the City's point of water diversion reducing complete dependency upon Folsom Dam facilities.

### **PARTICIPATE IN THE WEST PLACER GROUNDWATER SUSTAINABILITY AGENCY (ONGOING)**

Continue active participation in the West Placer Groundwater Sustainability Agency (WPGSA). The WPGSA was formed in 2017 to implement that requirements established as a result of passage of the Sustainable Groundwater Management Act of 2014 (SGMA). The SGMA establishes a new structure for sustainably managing California's groundwater resources at a local level. The SGMA mandates that all medium and high priority groundwater basins identified in the Department of Water Resources (DWR) Bulletin 118 be managed by a GSA to be formed by June 30, 2017. Each GSA will then develop a Groundwater Sustainability Plan (GSP) by January 30, 2022, which will include plan components to assist the GSA in achieving and maintaining groundwater sustainability within 20 years of GSP adoption.

### **WATER REHABILITATION PROGRAM (ONGOING)**

Include, as a part of City water rates, a component dedicated to the refurbishment and replacement of water utility infrastructure. Condition assessments will be conducted every 5 to 10 years to develop rehabilitation program plans that can be considered in the bi-annual utility rates process.

### **FEES, DEDICATIONS, AND EXACTIONS (ONGOING)**

The City shall require, as a condition of project approval, dedication of land and easements or the payment of appropriate fees and exactions to help offset municipal costs of expansion of water treatment and delivery system facilities. Fees will be developed and updated, as necessary, to fund required projects.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall specify total projected water demand based on land use designations within the plan area. Acknowledging the imprecision of such projections, the plans shall provide detailed criteria for project development to ensure that the water needs of future residents are met. Through development agreements, identify water needs and the provision of expanded water treatment capacity and delivery systems and responsibilities prior to project approval.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has an impact on water sources, supply, or infrastructure to the Environmental Utilities Department for review and comment. Consider the Department's comments during



review of the proposed project. Environmental review of a project shall include determination of adequate water sources, water treatment capacity, and distribution systems. The City may implement impact fees or other mechanisms to finance needed improvements.

### **DEVELOPMENT AGREEMENTS (ONGOING)**

The City shall require proponents of new development to enter into an agreement specifying their fair-share obligations for the provision of water system facilities. The intent of the agreement shall be to provide 100 percent of the needed water system facilities, unless the City makes findings that there are special circumstances (economic or social benefit to the City and its residents) and will indicate from what sources and in what time frames the facilities will be provided.

### **URBAN WATER MANAGEMENT PLAN (ONGOING)**

In compliance with the Urban Water Management Planning Act, California Water Code Sections 10610, et seq., update every five years the City's Urban Water Management Plan, a document developed according to guidance provided by the California Department of Water Resources. The Urban Water Management Plan addresses the water needs of the City through buildout and identifies conservation measures the City will pursue.

### **CAPITAL IMPROVEMENT PLAN (ONGOING)**

Plan for expansion of the City's water treatment and delivery system is in its five-year Capital Improvement Plan (CIP). The Plan shall establish priorities for improvements to the water supply system, including expansion of the water treatment plant, construction of larger pipelines, storage facilities, water production and groundwater wells, and improvements to the back-up system. The five-year Plan shall specify estimated costs and phasing of improvements so that they are funded appropriately and provided in a timely manner.

### **WATER QUALITY MONITORING PROGRAM (ONGOING)**

Continue to monitor water quality through the Environmental Utilities Department. Continue to enforce a monitoring program that specifies standards and measures to be taken to prevent unsafe water from being delivered and to ensure that all California Department of Drinking Water regulations are met.

### **WATER AND ENERGY CONSERVATION MEASURES**

Utilize the Water and Energy Efficiency component of the Public Facilities Element to facilitate pursuit of reasonable and cost-effective water management programs required as a condition of water supply and/or State laws. Minimum water conservation standards, water conservation programs, monitoring mechanisms, and public education on water issues are implementation measures that can indirectly help customers ensure that their water needs are met.

### **CONSERVATION PLANNING (EXISTING)**

Adhere to City conservation plans and ordinances, including those required by Department of Water Resources, U.S. Bureau of Reclamation, and Water Forum, and the Water Efficient Landscape Ordinance (WELO).

### **WATER EDUCATION PROGRAMS (ONGOING)**

In conjunction with the programs offered on water conservation, actively pursue public education programs on water supply, treatment, and conjunctive use. Aggressive efforts should be made to reach all households with appropriate information and provide accessibility through the timing and location of these programs.

## **REGULATORY AND LEGISLATIVE ACTIVITIES (ONGOING)**

Continue to monitor and comment on State and federal legislative activities and changing regulatory issues that impact how the City provides utility service to its customers.

# **WASTEWATER AND RECYCLED WATER SYSTEMS**

## **CAPITAL IMPROVEMENT PLAN (ONGOING)**

Plan for expansion of the wastewater treatment and collection system in the Capital Improvement Plan (CIP). The Plan shall establish priorities for improvements to the wastewater system including expansion of the existing wastewater treatment plants, expansion of collector and trunk lines as necessary, and improvements to the back-up system. It shall specify phasing of improvements so that they are provided in a timely manner and specified capacities are maintained. Additionally, the Plan shall outline the proper infrastructure to facilitate recycled water use.

## **ADVANCED RECYCLED WATER USE (ONGOING)**

Actively pursue the use of recycled water, where applicable and, if feasible, for use in wildlife or wetlands habitat reclamation. Continue development of the proper infrastructure to facilitate recycled water use within the City through implementation of the Recycled Water sections of the “Regional Wastewater and Recycled Water Systems Evaluation Report” (Systems Evaluation Report).

## **FEEs, DEDICATIONS AND EXACTIONS (ONGOING)**

The City shall continue to require, as a condition of project approval, that new development pay connection fees and bear the fair-share cost of extensions and expansions, including the dedication of easements for wastewater and recycled water facilities. This requirement shall help offset the cost of expansion of wastewater treatment facilities and collection and delivery systems for both wastewater and recycled water made necessary by the new development.

## **SYSTEMS EVALUATION REPORT (ONGOING)**

The City shall analyze treatment facilities expansion needs upon 75 percent utilization of treatment plant capacity. The analysis will identify probable costs, should treatment facility expansions be necessary.

The City will analyze the collection system on an as-needed basis to identify existing and future infrastructure improvements necessary for meeting City customer needs.

## **INTERAGENCY OPERATIONS AGREEMENT (ONGOING)**

Maintain the regional approach for processing wastewater and maintain a cooperative working relationship with the other jurisdictions participating in the regional system. This includes expansion of the existing plant and service area to ensure specified reserve capacities are maintained.

## **PRE-TREATMENT PROGRAM (ONGOING)**

Continue to implement a pre-treatment program to prevent hazardous materials from entering the wastewater system from industrial dischargers and other sources.

## **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has an impact on the wastewater or recycled water systems to the Environmental Utilities Department. Consider the Department’s comments during the review of the proposed project. Environmental review of a project shall include wastewater treatment plant and collection system capacity and potential alternatives to treatment and discharge, as well as recycled water distribution capacities and capabilities.



### **DEVELOPMENT AGREEMENTS (ONGOING)**

The City shall require proponents of new development to enter into an agreement specifying their fair share obligations for the provisions of wastewater and recycled water system facilities. The intent of the agreement shall be to provide 100 percent of the needed system, unless the City makes findings that there are special circumstances (economic or social benefit to the City and its residents), and to indicate from what source and time frames the facilities will be provided.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall specify total projected wastewater generation, impacts, and treated wastewater use potential based on land use designations within the plan area. Through development agreements, identify the provision of expanded wastewater treatment capacity, reuse, and delivery systems and designate responsibilities.

### **WASTEWATER REDUCTION (PROPOSED)**

Establish a process for examining large generators of wastewater to ensure that treatment capacity is available, and that wastewater generation is minimized. Additionally, the City shall explore incentives to the public and private sectors for wastewater reuse and actively promote the reduction and reuse programs through various means of communication to maximize contact with water users who could benefit from the program.

### **WATER AND ENERGY CONSERVATION PROGRAMS (COMPONENT INSTITUTED BY THE GENERAL PLAN)**

Ensure the implementation of the policies in the Water and Energy Efficiency component of the Public Facilities Element to facilitate implementation of water conservation programs. Minimum water conservation standards, water conservation programs, monitoring mechanisms, and public education on water issues can indirectly help reduce the load on the wastewater treatment facilities.

### **WASTEWATER EDUCATION PROGRAMS (ONGOING)**

In conjunction with the programs offered on water conservation, actively pursue public education programs on wastewater generation, treatment, and reuse. Aggressive efforts should be made to reach all households with appropriate information and provide accessibility through the timing and location of these programs.

### **LEGISLATIVE ACTIVITIES (ONGOING)**

Continue to monitor and comment on State and federal legislative activities and changing regulatory issues that impact how the City provides utility services to its customers.

## **SOLID WASTE COLLECTION AND DISPOSAL, SOURCE REDUCTION & RECYCLING**

### **LAND USE DESIGNATION (EXISTING)**

Apply the Transfer Station land use designation identified in the Land Use Element, as applicable, to ensure the viability of solid waste transfer stations and related recycling operations.

### **ZONING ORDINANCE (EXISTING)**

Per the City's Zoning Ordinance, specify standards that ensure, to the extent feasible, compatibility between recycling operations and other uses consistent with the goals and policies of the Solid Waste Collection and Disposal, Source Reduction & Recycling component of the Public Facilities Element and the Land Use Element.

### **INTEGRATED WASTE MANAGEMENT PLAN (ONGOING)**

In compliance with AB 939, follow the guidelines of Roseville's Source Reduction and Recycling Element (SRRE), a document approved by the California Integrated Water Management Board. The SRRE describes the City's recycling programs such as drop-off recycling sites, residential green waste collection, and commercial cardboard collection. Actively participate with Western Placer Waste Management Authority staff to assure maximum materials diversion through the Materials Recovery Facility, helping to meet the goals of AB 939 for all jurisdictions.

### **MATERIALS RECOVERY FACILITY (EXISTING)**

The City should continue to actively participate in the support and ongoing development of the Materials Recovery Facility program through the Western Placer Waste Management Authority. The Materials Recovery Facility includes on-site separation of recyclables, a landfill, an education center, composting capability, and a Household Hazardous Waste facility.

### **DEVELOPMENT AGREEMENTS (ONGOING)**

The City shall require proponents of new development to enter into agreements specifying the required reduction of the development's construction waste stream to avoid an impact to the City's targeted annual solid waste diversion rates. The development's waste stream will be verified through submittal of all disposal and diversion records to the City by the contractors.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has an impact on solid waste to the Environmental Utilities Department for review and comment. Consider the Department's comments during the review process. A waste characterization profile may be required. The Environmental Utilities Department should establish standards specifying the size and type of projects subject to this requirement and should develop suggested source reduction and recycling options. Such information shall be considered during the environmental review for the project.

### **WESTERN PLACER WASTE MANAGEMENT AUTHORITY (EXISTING)**

Continue to participate with the Western Placer Waste Management Authority. Considerations for expansion and addition of new facilities, including the Materials Recovery Facility, will be administered through this inter-jurisdictional authority.

### **INTERAGENCY COOPERATION (ONGOING)**

Continue to address issues of solid waste generation, source reduction, and recycling from a regional perspective. As growth occurs, and the available capacity is used, the City should work with other agencies to explore solutions to growth-related solid waste problems and issues. This includes ensuring that specified reserve landfill capacity is maintained.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall identify solid waste generation, impacts on the regional landfill, and opportunities for source reduction and recycling.

### **SOLID WASTE EDUCATION PROGRAMS (ONGOING)**

Actively pursue public education programs on solid waste issues, including source reduction and recycling. Aggressive efforts should be made to reach all households with appropriate information and provide accessibility through the timing and location of these programs.



## **WATER AND ENERGY EFFICIENCY**

### **WATER EFFICIENT LANDSCAPE ORDINANCE (EXISTING)**

Continue implementation, through the City's Development Services Department and Environmental Utilities Department, a Water Efficient Landscape Ordinance that will provide standards for water-conscious landscaping to reduce water use in developments. This will include the use of drought tolerant, and other water-conserving landscape practices. Requirements shall specify use of trees and other vegetation in new development to provide shade and reduce energy demands for cooling.

### **WATER CONSERVATION ORDINANCE (EXISTING)**

Implement, through the Environmental Utilities Department, the Water Conservation Ordinance that sets standards for water use and establishes a monitoring system.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that has an impact on water and energy sources and supply to the Environmental Utilities and Electric Departments for review and comment. Consider the Departments' comments during the review of the proposed project. A conservation plan may be required. The Environmental Utilities and Electric Departments shall establish standards specifying the size and type of projects subject to this requirement. Environmental review of a project shall examine conservation opportunities and include determinations of conservation measures that may be taken during and after construction. Landscape plans shall comply with the Water Efficient Landscape Ordinance.

### **WATER CONSERVATION PLANNING AND IMPLEMENTATION (ONGOING)**

Specify, through the City's water conservation plans, what implementation measures shall be taken in the event of drought conditions. Conservation plans include those required by the Department of Water Resources, the United States Bureau of Reclamation the Water Forum and City's Water Efficient Landscape Ordinance.

### **INTERAGENCY COORDINATION AND COOPERATION (ONGOING)**

Work closely with other agencies, federal, State, local, and region-wide, to expand City energy and water conservation programs, to develop new methods of water reuse, and to undertake major projects in energy conservation and load management.

### **RECYCLED WATER (EXISTING)**

Continue development of the proper infrastructure to facilitate recycled water use within the City through implementation of the Regional Wastewater and Recycled Water Systems Evaluation.

### **CAPITAL IMPROVEMENT PLAN (EXISTING)**

Plan for conservation of water and energy resources in the City's Capital Improvement Plan (CIP). The plan shall establish priorities for major projects that will make the City's electrical system more efficient and provide additions to the City's infrastructure that will facilitate recycled water use in non-residential landscape applications.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall specify the preservation of scarce resources, indicate conservation measures and programs, and identify opportunities to use recycled water, when appropriate.

## **GROUNDWATER PROTECTION PROGRAMS (COMPONENT INSTITUTED BY THE GENERAL PLAN)**

Ensure the implementation of the policies in the Open Space and Conservation Element of the General Plan that include policies to protect the quality and quantity of the City's groundwater and recharge areas including participation in the West Placer Groundwater Sustainability Agency.

## **PUBLIC EDUCATION PROGRAMS (ONGOING)**

Actively pursue, through the Environmental Utilities and Electric Departments, public education programs on water and energy issues, and drought contingency measures. In conjunction with the programs offered on water conservation, actively pursue public programs on wastewater generation, treatment, and recycled water use. Aggressive efforts should be made to reach all households and provide accessibility through the timing and location of these programs.

## **MONITORING PROGRAMS (PROPOSED)**

Establish, through the Environmental Utilities and Electric Departments, an effective program for identifying and monitoring large energy and water consumers. Subsequently develop programs to work with these consumers in developing alternative methods to reduce consumption levels.

## **LOAD/RESOURCES MANAGEMENT PLAN (PROPOSED)**

Complete and regularly update, through the Electric Department, a Load/Resources Management Plan. This Plan should be updated on an annual basis. The Load/Resources Management Plan shall:

- Provide projections of future power requirements;
- Specify the standards of efficiency, conservation, reliability, and load management;
- Identify electric sources, define objectives, and specify implementation measures and monitoring mechanisms to achieve these standards; and
- Specify programs to moderate peak demand, helping to ensure that customers do not experience interruptions of service.

The Load/Resources Management Plan should also provide a summary of resources, existing and planned, to meet identified needs in a cost-effective manner.

## **TITLE 24 OF THE BUILDING CODE (EXISTING)**

Through the Building Division, continue to enforce Title 24 and Roseville-specific energy requirements that define construction standards that promote energy conservation.

## **ZONING ORDINANCE (EXISTING)**

Continue to implement the City's Zoning Ordinance that includes development standards that promote energy conservation and the use of alternate energy resources. Such standards may include building orientation and solar access standards.

## **PUBLIC/PRIVATE CONSERVATION PROGRAMS (ONGOING)**

Promote public/private programs that facilitate water and energy conservation. Establishing minimum water conservation/efficiency standards, incentive programs, and water and energy conservation education can provide direction to these programs and indirectly help reduce consumption.



## **SAFETY ELEMENT**

### **SEISMIC AND GEOLOGIC HAZARDS**

#### **CALIFORNIA GEOLOGIC SURVEY (ONGOING)**

Continue to monitor California Geologic Survey studies. Pursuant to state legislation, the California Geologic Survey studies potentially active faults on an ongoing basis. Information on a previously unknown or inactive fault that is discovered and/or becomes active can be obtained by monitoring such studies. Discovery of any such fault in the region may require modification of the City's development and building codes.

#### **EMERGENCY OPERATIONS PLAN (EXISTING)**

Through the Roseville Fire Department, maintain and update the Emergency Operations Plan that describes response strategies for all types of emergencies. The Plan addresses interagency cooperation, emergency functions, continuity of government responsibility, and public awareness. In addition, the Plan provides for the operation of police, fire, and health services, as well as transportation alternatives, in the event of an emergency. The City shall implement this Plan in the event of a hazardous seismic or geologic occurrence.

#### **CALIFORNIA BUILDING CODE (EXISTING)**

Through the Building Division of the Development Services Department, continue to enforce and update the California Building Code that includes construction standards for seismic and geologic safety.

#### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that may be impacted by grading, soil, or geologic issues to the Engineering and Building Divisions of the Development Services Department. Consider the comments of these divisions in the development review process.

The environmental review for projects shall include a full inventory of potential grading impacts and any potential soil or geologic concerns, assessment of potential project impacts, and identification of mitigation and monitoring measures. Issues relating to slopes, liquefaction, ground failure and erosion shall be addressed. Project design, grading, and building construction techniques shall be utilized, as applicable, to minimize impacts.

Sites that are determined to have significant slope shall be identified and appropriate design restrictions shall be implemented to avoid the risk of erosion or landslide. Graded slopes shall generally be limited to 2:1 where feasible. Slopes that are less than 2:1 should be encouraged. The use of retaining walls or stepped building designs should be pursued as an alternative to high or steep slopes where feasible and desirable.

#### **GRADING ORDINANCE (EXISTING)**

Enforce and regularly evaluate the Grading Ordinance. The Grading Ordinance includes specific standards for project construction and erosion control. This Ordinance requires prompt re-vegetation of disturbed areas, avoidance of grading activities during wet weather, avoidance of disturbance within drainageways, and other erosion control measures.

#### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans are consistent with the goals and policies of the General Plan. Specific Plans shall identify potential geologic, soil, and seismic hazards and shall also include measures to reduce the risk of such hazards for proposed development. Proposed Specific Plans shall identify criteria for

development on steep slope areas, as applicable, in order to ensure public safety and minimize environmental and aesthetic impacts.

### **LAND USE DESIGNATION (ONGOING)**

In areas where potentially significant soil and erosion impacts are identified, the City should consider open space or other appropriate land use designations, as specific in the Land Use Element, to minimize potential impacts.

## **FLOOD PROTECTION**

### **LAND USE DESIGNATION (EXISTING)**

The City shall designate all areas identified as the City's Regulatory Floodplain with the Flood Area Combining land use designation as defined in the Land Use Element. The boundaries of the floodplain shall be as specified in the Floodplain Designations section of the Flood Protection component of the Safety Element. Floodplain areas shall be preserved as specified in the Open Space and Conservation Element. Such preservation may include required dedication to the City.

### **ORDINANCE MODIFICATION (ONGOING)**

Modify the City's ordinances to include floodplain use regulations consistent with the goals, policies, and implementation measures of the Safety, Land Use, Open Space and Conservation, and Parks and Recreation Elements.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer all development proposals that have a direct or indirect impact on flood protection to the Development Services Department – Engineering Division and Public Works Department Floodplain Manager for review and comment. In addition, forward such proposals to other agencies, as applicable, including the U.S. Army Corps of Engineers, Central Valley Flood Protection Board, Federal Emergency Management Agency, California Department of Fish and Wildlife, Placer County Resource Conservation District, and Placer County Flood Control District. Consider the comments of the agencies during the development review process.

Through the development review process, the City shall pursue the following:

- Where applicable, ensure that the facilities provide a 200-year level of flood protection.
- Promote the use of open grassy swales and other storm water management features to carry run-off from urban areas to natural drainage courses.
- Ensure that large continuous paved areas within development areas provide adequate mitigation for peak flow runoff and storm water management.
- Encourage development to use pervious paving materials where practical.
- Ensure design that prevents the diversion of run-off onto neighboring parcels.
- Encourage development to discharge run-off into pervious areas.

All building pads shall be located a sufficient distance above the City's Regulatory Floodplain elevation, as determined by the Public Works Department, to minimize the potential of flood damage caused by flooding. The review of improvement plans shall ensure that all storm drainage culverts and bridges along designated floodplains are designed to accommodate, at a minimum, 100-year flood volumes with at least



one foot of freeboard as measured from where the water would otherwise overtop. Where practicable, such improvements should accommodate 150 percent of the 100-year volumes.

### **FLOOD INFORMATION UPDATE (ONGOING)**

Update the City's flood studies, modeling, regulations, and impact fees at a minimum of every five years, or whenever information becomes available that would significantly modify previous data. "New information" could take the form of new studies, change in City policy, consideration of a major development project or Specific Plan, or implementation of a flood control project. This will be overseen by the Public Works Department. When a new flood study is deemed appropriate, funding may be by City, State, and/or federal sources, or by private funds from developing areas.

### **NATIONAL FLOOD INSURANCE PROGRAM (ONGOING)**

Continue City participation in the National Flood Insurance Program (NFIP). This will include adoption and administration of updated Federal Emergency Management Agency (FEMA) model ordinances and Flood Insurance Rate Maps (FIRM). This will be overseen by the Public Works Department and will require no special funding needs.

### **PLACER COUNTY FLOOD CONTROL DISTRICT (ONGOING)**

Remain actively involved in activities managed by the Placer County Flood Control District. This involvement includes cooperation in the development of a comprehensive regional data base. Encourage regional drainage planning and design for all individual developments in the Placer County Flood Control District to address cumulative flooding impacts. Continue to participate in regional flooding studies, including the Auburn Creek/Coon Creek/Pleasant Grove Creek Flood Mitigation Plan and the Dry Creek Watershed Flood Control Plan. This will be overseen by the Public Works Department. Annual funding for membership is provided via the City's General Fund.

### **INTERAGENCY COORDINATION (ONGOING)**

Continue City coordination with other agencies on issues of flood control. Coordination between the City and adjacent jurisdictions occurs through several mechanisms, including the distribution of development proposals for review and comment. Continue City cooperation with federal, State, and local agencies, including the U.S. Army Corps of Engineers, Central Valley Flood Protection Board, Federal Emergency Management Agency, California Department of Fish and Wildlife, Placer County Resource Conservation District, and Placer County Flood Control District. This will be overseen by the Development Services Department – Planning Division and Public Works Department, as appropriate, and will require no special funding needs.

### **FLOOD ALERT AND EARLY WARNING SYSTEMS (ONGOING)**

Continue to develop, implement, and expand the Flood Alert and Early Warning Program systems and integrate the systems with other local jurisdictions to form a regional warning program. This is overseen by the Public Works Department. Annual funding is provided through the City's General Fund.

### **SPECIFIC PLANS (ONGOING)**

Ensure that future Specific Plans and Specific Plan Amendments are consistent with the goals and policies of the General Plan. The Specific Plans shall include the designation and preservation of floodplain areas and adjacent habitat. Provisions shall be incorporated to ensure that public infrastructure, utilities, and emergency services remain functional during flood conditions. Such infrastructure and facilities include water, sewer and gas mains, telephone and electric lines, streets and bridges, hospitals, and fire and police stations. Financing mechanisms shall be explored to fund necessary flood protection improvements and maintenance. Development Agreements may be utilized to secure implementation and funding provisions. This is overseen by the Development Services Department – Planning

Division/Engineering Division and Public Works Department and will require no special funding needs (Specific Plans are 100 percent cost recovery by the developers).

### **MASTER DRAINAGE PLAN (ONGOING)**

Require a master drainage plan as part of the approval process for all Specific Plans and large development projects, as determined by the Development Services Director. The master drainage plan must consider cumulative local and regional drainage and flooding mitigation. The intent of the plan is to ensure that the overall rate of runoff from a project does not exceed pre-development levels. If necessary, this shall be achieved by incorporating runoff control measures to minimize peak flows and/or assistance in financing or otherwise implementing comprehensive drainage plans. This is overseen by the Development Services Department – Planning Division/Engineering Division and Public Works Department and requires no special funding needs.

### **STORM MAINTENANCE PROGRAM (ONGOING)**

Continue the Parks, Recreation & Libraries Department's regular storm maintenance program within the City's creeks and floodplain areas. This program clears and removes debris that could contribute to blockage and flooding and may include the removal of silt. Annual funding is provided by the City's General Fund.

### **FINANCING MECHANISMS(ONGOING)**

Continue to explore mechanisms to finance flood prevention and storm maintenance programs. This includes continued collection of the Pleasant Grove and Dry Creek Watershed Mitigation Fees. Seek State and federal assistance. Consider alternative funding sources, including the establishment of drainage, utility, and assessment districts. This is overseen by the Public Works Department.

### **MULTI-HAZARD MITIGATION PLAN (EXISTING)**

The City's Multi-Hazard Mitigation Plan describes the type, location, and extent of hazards that can affect the City; describes the City's vulnerability to these hazards; and includes a mitigation strategy that provides the City's blueprint for reducing the potential losses. The City's Multi-Hazard Mitigation Plan is subject to Federal Emergency Management Agency (FEMA) review and certification every five years.

## **POLICE SERVICES**

### **POLICE DEPARTMENT POLICY (ONGOING)**

Continue to emphasize the use of modern technology in providing effective law enforcement for the community. The Police Department sets a response goal of three minutes or less for 90 percent of all emergency calls. Additionally, timely response to routine calls and the high visibility of patrol service strengthens security within the community.

### **DEPARTMENT TRAINING PLAN (ONGOING)**

Continue to maintain, update, and implement a training plan for all Police Department employees. The program stresses current law enforcement standards and techniques to ensure that employees have the skills necessary to accomplish their mission.

### **COMMUNITY SERVICES DIVISION (EXISTING)**

Continue to provide exceptional prevention programs and community partnerships. Examples include police officers assigned as liaisons to all neighborhoods; police officers stationed on high school campuses for security, as well as youth mentorship and education; Citizen's Police Academy; police department volunteers; proactive outreach to youth through programs such as Roseville Police Activities League; and, providing counseling and referrals for troubled families.



### **PARKS DESIGN PROCESS (ONGOING)**

The Parks, Recreation & Libraries Department should continue to consult with City law enforcement officials in the design of City parks to ensure ease of surveillance. The park design should also consider visibility within the neighborhood for added security.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer all development proposals to the Roseville Police Department for review and comment. Police Department staff will review plans for building safety and other crime prevention considerations. =

### **INTERAGENCY AND INTERAGENCY COORDINATION (ONGOING)**

Continue coordination between the Police and the Parks, Recreation & Libraries Departments in ensuring park patrol and security, and in coordinating outreach, recreation and prevention programs for youth and the community. Continue to work with the City's Traffic Engineering Division to review traffic collision data and formulate ongoing plans for traffic safety. In addition, the Police Department should continue its mutual aid relationships with other law enforcement agencies, including the California Highway Patrol and Union Pacific Railroad's private police department.

## **FIRE PROTECTION**

### **FIRE PREVENTION PROGRAMS (ONGOING)**

Continue to pursue and promote the following fire prevention programs:

- Regular inspection and code enforcement
- Fire-safe roofing
- Adequate access to and fire breaks adjoining open space areas
- Early warning devices, such as automatic detection and reporting devices and smoke detectors
- Automatic fire suppression systems, such as fire sprinkler systems
- Public education and information
- Code and ordinance development
- Training and planning
- Fire investigation and data analysis
- Hazardous materials process and inspection

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer all development proposals to the Roseville Fire Department for review and comment. Consider the Department's comments during review of the proposed project. The review process shall consider the provision of access to lands for firefighting purposes, street access to all structures, fire prevention programs, and the enforcement of building and fire codes and City ordinances.

### **CALIFORNIA BUILDING CODE (EXISTING)**

Enforce the California Building Code specifications and standards for building safety. Roofing and building materials, construction techniques, wiring standards, and fire detection/warning devices are defined and enforced to minimize risk of structural fire damage.

### **CALIFORNIA FIRE CODE (EXISTING)**

The State Fire Code (California Code of Regulations, Title 24, Part 9) provides specifications and standards for fire safety. Early warning devices, such as automatic sprinkler systems, automatic detection and reporting devices, and smoke detectors are required as preventative measures to reduce risk of fire. The Code also specifies the quantity of water needed for fire protection.

### **WEED ABATEMENT ORDINANCE (EXISTING)**

Continue to enforce the City's Weed Abatement Ordinance. This Ordinance specifies that weeds be eradicated from residential areas to prevent their becoming fire fuel. Additionally, proper implementation of this Ordinance will ensure accessibility of fire fighters to open space areas and creation of firebreaks that slow the spread of fire.

### **SPECIFIC PLANS (ONGOING)**

Ensure that Specific Plans specify anticipated need for additional fire services based on land use designations within the plan area. The location and size of fire facilities shall be described so that the Fire Department may more effectively meet the level of service specified in the City's Standards of Cover document. Require that each Specific Plan provides a fire facilities phasing plan and require that funding be available at the time of development.

### **CAPITAL IMPROVEMENT PROGRAM (EXISTING)**

Continue to utilize the City's CIP as a source of funding for capital improvements for fire stations and facilities equipment. Providing adequate levels of firefighting capacity will help to improve the City's ISO rating, as determined by the Insurance Services Office.

### **FIRE SERVICE CONSTRUCTION TAX (EXISTING)**

Explore ways to utilize funding strategies, such as the Fire Service Construction Tax and development agreement provisions as a source of revenue to pay for new fire facilities and equipment, as long as funding is available. Pursue alternative funding sources in the future.

### **DEDICATIONS, FEES, AND EXACTIONS (EXISTING)**

As appropriate, require, as a condition of project approval, dedication of land or payment of appropriate fees and exactions to help offset municipal costs for fire-related facilities and services. As growth occurs, this measure will help to ensure continued provision of adequate services at required levels of service.

### **WATER SYSTEM MASTER PLAN (EXISTING)**

Continue to cooperate with the Environmental Utilities Department to maintain and update the Water System Master Plan. The Plan shall specify objectives and standards that permit effective monitoring of water needs. The Plan shall address adequate provision of water sources, quantities, and water pressure, along with an emergency back-up system to ensure maximum firefighting capacity.

### **INTERAGENCY AGREEMENTS (ONGOING)**

Continue to participate in the statewide mutual aid agreement, whereby the Fire Department will respond to any other department or district when the need arises. In addition, the Department should continue its mutual aid arrangements with other agencies, including that through the Office of Emergency Services (OES) Region IV, Placer County Operational Area.

### **ANNUAL REPORT (ONGOING)**

Continue to prepare Fire Department annual reports. These reports provide the Fire Department with a means of monitoring service levels and addressing problems before they become serious. This annual evaluation shall include the establishment of goals and objectives, formulation of key indicators relating to



activities/efficiency that can be monitored through the year, and a line-item cost for each program or objective. The annual report shall include a review of fire service levels and departmental goals, as adopted by City Council.

### **TECHNICAL TRAINING PROGRAM (ONGOING)**

Continue to develop and expand the Fire Department's technical training program to ensure that its personnel are properly trained and updated as new techniques and equipment become available.

#### **PROGRAM OBJECTIVES**

- To meet Occupational Safety and Health Administration (OSHA) mandated training requirements
- To meet State and local Emergency Medical Services (EMS) agency requirements
- To meet Insurance Services Office (ISO) fire training requirements
- To provide professional development to meet organizational needs

### **FIRE INVESTIGATION PROGRAM (ONGOING)**

Fires within the City of Roseville are investigated by Roseville Fire Department investigators. The Fire Department's program will ensure proper investigation of the cause, origin, and circumstances of each fire; collect and preserve evidence; coordinate with authorities in detection, apprehension, and prosecution of arsonists; and pursue each investigation to its conclusion. Adequate information is submitted to the State Fire Marshal for compilation into their annual report.

### **EMERGENCY OPERATIONS PLAN (EXISTING)**

Through the Roseville Fire Department, maintain and update the State-required Emergency Operations Plan that describes response strategies for all types of emergencies. The Plan addresses interagency cooperation, emergency functions, continuity of government, and public awareness. In addition, the Plan provides for the operation of police, fire, and health services, as well as transportation alternatives, in the event of an emergency. City evacuation procedures are submitted to the State Office of Emergency Services (OES) for approval.

### **NATIONAL FIRE INCIDENT REPORTING SYSTEM (EXISTING)**

Continue to develop and expand upon the National Fire Incident Reporting System structured database for capturing essential fire service information. Performance indicators are routinely reviewed to evaluate capability and coverage, demand for service, and trends. Key components of the system include Geographical Information Systems (GIS) and mapping, fire incident reporting, emergency medical management, personnel and training management, inspection management, and equipment and supplies inventory management. Fire Department incident data is computer captured and submitted to the State Fire Marshal's Office.

### **STANDARDS OF COVER (EXISTING)**

Continue to respond to calls and meet level of service requirements to emergency and non-emergency calls as outlined by the Standards of Cover. The Standards of Cover document contains minimum requirements relating to the organization and deployment of fire operations, emergency medical operations, and special operations to the public by the Fire Department. Standards of cover are distribution, concentration, response reliability, and station location efficiency. These are measures used to objectively and quantitatively analyze the relationship between existing or new fire station locations, equipment and the fire department's capacity and capabilities. The Standards of Cover systems approach consists of the following eight components: Existing Deployment, Risk Identification, Risk Expectations, Service Level Objectives, Distribution, Concentration, Performance and Reliability, and Overall Evaluation.

## **HAZARDOUS MATERIALS**

### **HAZARDOUS MATERIALS LISTING (ONGOING)**

Continue to require the submittal of lists of hazardous materials used in existing and proposed industrial and commercial businesses by those businesses. This list shall be maintained by the Fire Department and updated through periodic review.

### **DEVELOPMENT REVIEW PROCESS (ONGOING)**

Refer any development proposal that may be impacted by, or cause an impact related to, the storage, handling, or disposal of hazardous materials to the Fire Department and other appropriate agencies responsible for hazardous materials. Consider input from the Fire Department and other agencies in the development review process.

Continue to require Hazardous Materials Management Plans and, where necessary, Risk Management Prevention Plans pursuant to state law. The use of toxic or hazardous materials requiring the filing of a business plan for emergency response pursuant to Section 25503.5 of the California Health and Safety Code, or materials identified in Section 5194, Title 8 of the California Code of Regulations, shall be critically analyzed by the City when considering any use. All users shall submit a list of hazardous and toxic materials with a qualified discussion of potential chronic and acute long-term health hazards and toxicological effects, including those on children, from acute short-term or chronic long-term exposure.

### **EMERGENCY PREPAREDNESS**

Through the City's Emergency Management Team, ensure that the City is prepared to respond to disasters, including earthquakes, floods, major power outages, major fires, radiological accidents/attacks, chemical accidents/attacks, and biological accidents/attacks. Maintain day-to-day operation of disaster preparedness and readiness, and when a disaster occurs, prioritize and develop strategies to handle the disaster incident.

### **INTERGOVERNMENTAL COORDINATION (ONGOING)**

Work cooperatively with other local and State agencies in a coordinated effort to inform and educate the public regarding the storage, handling, and disposal of household hazardous materials.

### **HAZARDOUS WASTE PICKUP (ONGOING)**

Continue the City's hazardous waste pickup program. This includes periodic drop-off and pickup programs for hazardous materials.

### **INTERAGENCY COOPERATION (ONGOING)**

Respond, in accordance with the Emergency Operations Plan, to hazardous materials emergencies. Both the California Highway Patrol (CHP) and the City of Roseville have developed plans that discuss the participants, responsibilities, organization, and operation to be complied with in the event of a hazardous materials emergency, including clean-up and de-contamination procedures.

### **HAZARDOUS WASTE DISPOSAL PROGRAMS**

Continue the Environmental Utilities Department's hazardous waste program for paint, batteries, electronics, sharps medications, and other relevant materials to ensure appropriate collection and disposal.



## HEALTH SERVICES

### PUBLIC/PRIVATE COOPERATION (ONGOING)

Continue City policy of cooperation with health care providers who accept their “fair share” of medically indigent patients and increase efforts to assist others to adopt this policy.

### PUBLIC EDUCATION AND INJURY PREVENTION (ONGOING)

Continue to explore opportunities to educate the public in accident prevention and Emergency Medical Services. Communicate with other agencies that have the same concerns and develop coalitions to create strategies of implementation.

### FIRE INCIDENT REPORTS AND EMERGENCY MEDICAL SERVICES STANDARDS OF COVER (EXISTING)

Continue to monitor private agencies that provide emergency medical service within the City's service delivery boundaries. Continue to report statistical incident data related to emergency medical service through the Fire Department Records Management System. Continue to monitor and update the standards for emergency medical service response times.

## NOISE ELEMENT

### MAXIMUM ALLOWABLE NOISE EXPOSURE FOR TRANSPORTATION SOURCES (ONGOING)

The City shall use the noise level standards contained in Table IX-1 for reviewing new development of noise-sensitive uses exposed to transportation noise sources. These standards are also to be used for evaluating new proposed transportation noise sources and the impacts from the noise sources upon nearby noise-sensitive uses.

Where a noise-sensitive land use is proposed near an existing or future transportation noise source, such as a highway, arterial, airport, or railway line, noise measurements will be performed to determine whether existing and/or future noise levels due to that source will exceed the standards of Table IX-1 at the outdoor activity areas of the proposed use. Similarly, where a highway, airport, railroad line or other transportation noise source is proposed near existing or future noise-sensitive uses, a noise analysis will be prepared to ensure that the noise produced by that source will not exceed the standards of Table IX-1 at the outdoor activity areas of noise-sensitive uses.

### DEVELOPMENT REVIEW PROCESS (ONGOING)

Continue the City's existing development review process, in accordance with the requirements contained in such documents as the Noise Ordinance, Zoning Ordinance, Building Code (including Chapter 35), State Noise Insulation Standards (Title 24), Community Design Guidelines, the Specific Plans and their design guidelines, the California Environmental Quality Act, and other statutes.

Acoustical analysis, where required, shall be included in the environmental review for projects. Such analysis shall include identification of noise impacts and potential mitigation measures. Where feasible, mitigation should focus on site planning and project design solutions rather than the creation of noise barriers. Analyses shall include an assessment of potential construction noise impacts, as needed. In general, acoustical analyses should:

- A. Be the responsibility of the applicant for private development projects.
- B. Be prepared by a qualified person experienced in the fields of environmental noise assessment and architectural acoustics.

- C. Include representative noise level measurements with sufficient sampling periods and locations to adequately describe local conditions and the predominant noise sources.
- D. Estimate existing and projected (20 years) noise levels in terms of Ldn or CNEL and compare those levels to the adopted policies of the Noise Element.
- E. Recommend appropriate mitigation to achieve compliance with the adopted policies and standards of the Noise Element. Where the noise source in question consists of intermittent single events, the report must address the effects of maximum noise levels in sleeping rooms in terms of possible sleep disturbance.
- F. Estimate noise exposure after the prescribed mitigation measures have been implemented.
- G. Describe a post-project assessment program that could be used to monitor the effectiveness of the proposed mitigation measures.

Develop and employ procedures to ensure that the adopted noise mitigation measures identified pursuant to acoustical analyses are implemented in the project and building permit processes. Develop and employ procedures to monitor compliance with the standards of the Noise Element after completion of projects where noise mitigation measures have been required.

#### **NOISE LEVEL CONTOUR MAPS (ONGOING)**

To generally evaluate the potential for noise conflicts associated with new development and projects, refer to the official Roseville Noise Level Contour Maps maintained by the Planning Division. Noise level contours have been prepared for existing and future transportation-related noise sources within the Planning Area.

The contour maps show generalized locations of the noise contours associated with the various noise sources. The contour maps can be used as a tool for evaluating the potential for a proposed noise-sensitive land use to be exposed to noise levels that may exceed the Noise Element standards. Because local topography, vegetation, or intervening structures may significantly affect noise exposures at a particular location, the noise contours should be considered generalized and not site-specific.

#### **NOISE ORDINANCE (ONGOING)**

Continue to implement the City's Noise Ordinance to ensure compliance with the goals, policies, and standards contained in the Noise Element.

#### **CALIFORNIA VEHICLE CODE (EXISTING)**

Continue to enforce the California Vehicle Code sections relating to adequate mufflers and modified exhaust systems.

#### **INTERAGENCY COOPERATION (ONGOING)**

Work in cooperation with Caltrans and the Union Pacific Railroad to explore mitigation solutions for noise impacts resulting from existing and proposed highway and railroad facilities. Efforts should focus not only on impacts to new development projects, but also on pursuing solutions to reduce impacts on existing development exposed to "unacceptable" noise levels.

#### **NOISE LEVEL PERFORMANCE STANDARDS (ONGOING)**

The City shall use the Noise Level Performance Standards contained in the Noise Element reviewing new development of noise-sensitive uses exposed to fixed noise sources. These standards are also to be used for evaluating potential impacts of proposed new fixed noise sources upon nearby noise-sensitive uses.



Where a noise-sensitive land use is proposed near a fixed noise source, such as an industrial facility, noise measurements will be performed to determine whether existing and/or future noise levels due to that source will exceed the standards of the Noise Element within the property line of the proposed use. Similarly, where a fixed noise-producing use such as an industrial facility is proposed near an existing or future noise-sensitive use, a noise analysis will be prepared to ensure that the noise produced by that use will not exceed the standards of the Noise Element within the property line of the noise-sensitive use.

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